



GROWTH MANAGEMENT DEPARTMENT STAFF REPORT
VILANO BEACH TOWN CENTER OVERLAY DISTRICT

October 11, 2023 Public Meeting
VBTCDR 2023-05 Vilano Mixed Use

To: North Coastal Design Review Board
Staff: Teresa Bishop, AICP, Planning Manager
Date: September 29, 2023

Applicant: Rick Johnston
9471 Baymeadows Rd., Suite 103
Jacksonville, FL 32256

Location: 2806 Coastal Highway and 80 Vilano Road
FLUM: TCMUD
Zoning: TCMU

Applicable Land Development Code Standards: [Section 3.10](#) – Vilano Beach Town Center Overlay District.

Summary of Request: Applicant is requesting design approval for the property located at 2806 Coastal Highway and 80 Vilano Road, allowing for the construction of 16 multi-family dwelling units and 4 tourist home units.

DRB Review

The applicant is requesting DRB approval for landscaping, roofing material, colors, and architectural style for the Multi-family dwelling units. Building elevation, and renderings are included in this staff report.

Staff Review

Planning Division: The applicant is requesting DRB review for 16 multi-family units and four tourist home units. The applicant presented this item to the DRB in August, as a workshop item. A Pre-Application Meeting with the Development Review Committee was held in June 2022 and Commercial Plans were reviewed by the Development Review Committee in September 2023. Since the DRB workshop in August, the applicant has changed the project from Townhome to Multi-family Apartment, in order to address County requirements for access; however, no changes were made to the overall design. Overall, it appears the design components are compatible with the character of the Vilano Beach Town Center.

The applicant has removed the live/work commercial building from this review. This building will be subject to DRB review and approval when submitted in the future. The commercial plans show this area, for completion of infrastructure to the subject property.

Comprehensive Plan Density

The proposed project does not exceed the density allowed by Policy A.3.2.2 of the Comprehensive Plan or Ordinance No. 2020-2, subject to Residential Exchange approval.

Building Type

Type II, without retail frontage. The subject property, currently addressed as 2806 Coastal Highway was designated as Town Center Mixed Use in 2020. The Regulatory Plan was not amended to show the subject property as Vilano Beach

Town Center; therefore, a staff interpretation was made for the Building Type; Type II without retail frontage is consistent with the property located to the south.

Architectural Style

Consistent with Section 3.10.08.A.5, an independent Architectural Study was performed by Don Crichlow & Associates, which provided the proposed designs were not consistent with the strict Florida Vernacular (Old Florida Beach); however, were a more modern or contemporary version of Florida Vernacular, characterized with a mix of Spanish, Mediterranean and Caribbean styles. Overall the Architect found the buildings a tweak on an old traditional style and further found the proposed style contributes to the objectives of the Vilano Beach Town Center.

Color Options

The Applicant has provided six color options for DRB approval. The renderings show the details and use of the colors throughout the project. The colors appear consistent with the Town Center.

Parking

The plans show underground parking and garages with the multi-family units. The VBTC requires one space per dwelling unit. There are 16 multifamily dwelling units proposed requiring 16 spaces and four tourist homes proposed requiring four spaces. The site plan show sufficient parking for the residential units. The site plan depicts commercial parking, which is not part of this approval.

Applicable Code Sections:

Section 3.10.04.A.4. The existing building appears to be Building Type II. The addition is not listed on the Regulatory Plan, since it was added in 2020. It may be presumed the additional property will be considered Building Type II.

Section 3.10.04.A.5. Consistent with Section 3.10.08.A.5, an independent Architectural Study was performed by Don Crichlow & Associates, which provided the proposed designs were not consistent with the strict Florida Vernacular (Old Florida Beach); however, were a more modern or contemporary Florida Vernacular, characterized with a mix of Spanish, Mediterranean and Caribbean styles. Overall the Architect found the buildings a tweak on an old traditional style and further found the proposed style contributes to the objectives of the Vilano Beach Town Center.

Section 3.10.04.A.8. HVAC shall be screened in accordance with this section and will be reviewed with the construction plan review.

Section 3.10.04.A.9. Transmission, phone and cable boxes will be placed in the rear of the development and decorated in a manner compatible with the architectural style of the building. These utility elements are not shown on the site plan. The DRB may want to ask the applicant to provide where such utility elements are located and how those are screened.

Section 3.10.04.A.10. Chain-length, barbed wire or similar fencing is not proposed with this plan. The applicant has provided for fencing around the pool and gate to the beach.

Section 3.10.04.A.11. The applicant has not provided a lighting plan. Lighting shall be addressed in accordance with the TCMU regulations and applicable Land Development Code regulations, and will be reviewed further with the construction plans. In addition, existing or proposed exterior or interior lighting at the site shall meet the provisions of Section 4.01.09 of the Land Development Code for the protection of marine turtles.

Section 3.10.04.A.12 & 13. Pedestrian accessways and streetscape elements were provided with the construction plans and may require modification for compliance with the Land Development Code.

Section 3.10.04.A.14. Balconies, windows and porches are provided in the renderings and elevation drawings for your review.

Section 3.10.04.A.15. There are no drive-in facilities.

Section 3.10.04.A.16. Signage was not submitted at this time for review or approval. If the applicant proposes signage in the future, the sign will be reviewed by the NCDRB.

Section 3.10.04.A.17. Accessways, driveways and access points are shown on the site plan.

Section 3.10.04.A.18. Gas station is not proposed.

Section 3.10.05.A-F Site Development Criteria. The existing building appears to be Building Type II. The addition is not listed on the Regulatory Plan, since it was added in 2020. It may be presumed the additional property will be considered Building Type II. Office and retail are not proposed at this time.

Section 3.10.05.G. Architectural Standards. Three styles are allowed within the Vilano Beach TCMU, Art Deco, Art Moderne, or Florida Vernacular also known as Old Florida Beach. The DRB must approve new buildings and renovations according to these styles. The DRB shall consider:

1. expert testimony regarding the authenticity of the architectural design,
2. documented patterns for Art Deco, Art Moderne, or Florida Vernacular,
3. the aesthetics of the proposed building or renovation,
4. its contribution to the objectives of the VBTC Overlay District.

The County enlisted Don Crichlow & Associates (Report attached) to provide an Architectural Review, consistent with Section 3.10.08.A.5, of the Land Development Code. The Report provided the proposed designs were not consistent with the strict Florida Vernacular (Old Florida Beach); however, were a more modern or contemporary Florida Vernacular, characterized with a mix of Spanish, Mediterranean and Caribbean styles. Overall the Architect found the buildings a tweak on an old traditional style and further found the proposed style contributes to the objectives of the Vilano Beach Town Center.

Section 3.10.05.I. Signage. Signage was not submitted at this time for review or approval. If the applicant proposes signage in the future, the sign will be reviewed by the NCDRB.

Section 3.10.05.J. Parking. The plans show underground parking and garages with the multi-family units. The VBTC requires one space per dwelling unit. There are 16 multifamily dwelling units proposed requiring 16 spaces and four tourist homes proposed requiring four spaces. The site plan show sufficient parking for the residential units. Please note the site plan depicts the commercial parking, which is not part of this approval. Parking will be reviewed with the construction plans.

Section 3.10.05.L. Landscape. Landscaping, buffering and screening is proposed according to the LDC and TCMU regulations. A landscape site plan is provided. Landscape will be reviewed with the construction plans.

Section 3.10.08.B. Required Pre-application Meeting. The applicant presented this application to the DRB in August, as a workshop item; a Pre-Application Meeting with the Development Review Committee was held in June 2022; and Commercial Plans were reviewed by the Development Review Committee in September 2023.

Section 3.10.08.C. Application and Permitting Requirements. The applicant submitted the required documents for DRB review, which include the following:

Architectural Review Comments prepared by Don Crichlow & Associates

Landscape Plans

Site Plan

Renderings

North, West, East, South Elevation

Floor Plans

Material and Color Chart

Pool

Walkover Elevation

Gate

Application

CORRESPONDENCE

Staff has not received any phone calls or letters regarding the proposal as of the writing of this Staff Report.

SUGGESTED ACTION TO APPROVE

The Design Review Board may consider a motion to approve **VBTCDR 2023-05 Vilano Mixed Use**, landscaping, roofing material, colors, and architectural style for the Multi-family dwelling units, as described within the application, provided:

- The request complies with Section 3.10 of the St. Johns County Land Development Code, and is consistent with the intent and purpose of the Overlay District.

SUGGESTED ACTION TO DENY

The Design Review Board may consider a motion to deny **VBTCDR 2023-05 Vilano Mixed Use**, landscaping, roofing material, colors, and architectural style for the Multi-family dwelling units, as described within the application, provided:

- The request does not comply with Section 3.10 of the St. Johns County Land Development Code.

The Board may consider additional conditions and findings.

Don Crichlow & Associates

St. Augustine, Florida

Architectural Review Comments
Vilano Beach Town Center
Beach at Vilano
VBTC DR 2023-05

Prepared by
Donald A. Crichlow, AIA
FL. Lic. AR0015950
September 20, 2023

North Coastal Overlay District: Vilano Beach Town Center Overlay

Propose and Intent

The Vilano Beach Town Center (VBTC) is envisioned as a compact, pedestrian-oriented, mixed-use district that serves Vilano Beach and surrounding areas. Unlike suburban residential and shopping areas, this type of mixed-use district requires urban types of development regulations concerning setbacks, parking requirements, height limitations and permitted uses.

The Vilano Beach Town Center is a designated Community Redevelopment Area (CRA) with the goal to foster economic redevelopment of the area. The intent of the development standards for the Vilano Beach Town Center is to encourage redevelopment and new development that results in a diverse mixture of compatible uses which create a lively community with daytime and evening activities. Anticipated uses within the Vilano Beach Town Center include community oriented commercial uses and services, residential, and recreational and leisure uses related to the waterfront and beach.

These regulations are intended to support the creation of a downtown area that has buildings designed to reflect the unique local flavor and character of this small beach town generally reflected in the existing historic and public buildings.

The development standards shall be utilized for properties located within the Vilano Beach Town Center District as shown on the St. Johns County Future Land Use Map in the adopted St. Johns County Comprehensive Plan.

Don Crichlow & Associates

St. Augustine, Florida

Town Center Design Guidelines

Architectural Styles

The architectural styles of new buildings in the Vilano Beach Town Center shall be authentic representations of one of three styles, Art Deco, Art Moderne, or “Florida Vernacular”, also known as “Old Florida Beach”. The proposed architectural style of all new buildings and renovations to existing buildings will be reviewed by the North Coastal Design Review Board (NCDRB).

The NCCDRB bases its determination of architectural authenticity on: 1) expert testimony regarding the authenticity of the proposed architectural design, 2) documented patterns for Art Deco, Art Moderne or Florida Vernacular, 3) the aesthetics of the proposed building or renovation, and 4) its contribution to the objectives of the VBTC Overlay District.

Beach at Vilano

The proposed condominium development, located just off State Rd. A1A, in the North Coastal Overlay District and the Vilano Beach Town Center Overlay, does not appear to exhibit any of the architectural characteristics found in the Art Moderne or Art Deco architectural styles. Vernacular architecture does not display a formal or distinctive style. It represents the history, influence, and culture of the middle and lower classes. My review, therefore, will focus on the Florida Vernacular (Old Florida Beach) and the project’s commitment to that architectural style.

Design and Scale

The most commonly recognized example of the Florida Vernacular is the “Florida Cracker” style. Florida Vernacular is a style of architecture based on local needs, availability of construction materials and reflecting local traditions. It is a style rooted in practical responses to the humid and sub-tropical climate. It is characterized by large porches, exterior roof overhangs, steep sloped roofs and use of local, authentic materials. I honestly cannot see any of these architectural features in the proposed design. If any architectural style jumps out it would be the Mission Style. The Mission Style, popular in California and the Southwest United States, is characterized by curvilinear gables and parapets, exposed rafter tails at the eaves, dark woods, smooth stucco exteriors and red tile roofs.

The scale of the four buildings in the project appear satisfactory and within the allowable height restrictions and consistent with other structures in the overlay district.

Don Crichlow & Associates

St. Augustine, Florida

Windows and Shutters

The windows appear to be consistent with the Overlay guidelines in both size and light configuration. Bahama shutters, although not technically a feature of Florida Vernacular or Old Florida Beach, are pictured in the Overlay guidelines and so I assume they are acceptable in the Overlay District. Some of the shutters appear to be fixed on some buildings and some operable. The Overlay guidelines state that if shutters are used on some windows, they must be used on all windows. This does not appear to be the case on this project with Bahama shutters indicated on the lower floors but not on the upper levels.

Balcony Railings

A variety of balcony railings are utilized on the buildings. All appear to be metal or horizontal cable railings. Some railings are vertical pickets with Chippendale design inserts. The Chippendale style originated in 18th century Europe. It is most appropriate for buildings in the Georgian or Federal Style or Colonial Revival. Although the Chippendale style railing is popular on Southeast coastal homes, Chippendale and Florida Vernacular are competing design motifs.

Color Scheme

With the exception of the dark wood features on the buildings (i.e., columns, garage doors, railings and eave brackets), the wall colors appear to meet the Overlay guidelines.

Roof Design

The proposed roof design on all buildings is a low slope, metal roofing and appear to be of a silver color consistent with the Overlay Guidelines.

Exterior Lighting

No information was presented on the proposed lighting for the new addition.

Summary and Analysis

This project has been reviewed in strict conformance with the VBTC Overlay Guidelines which call for “authentic representations” of either Art Deco, Art Moderne or Florida Vernacular (Old Florida Beach). Although I find many features of the proposed design inconsistent with the Florida Vernacular (Old Florida Beach) style, many of these features are common on coastal architecture over the past 30 years or more. This might

Don Crichlow & Associates

St. Augustine, Florida

suggest a more “Modern” or “Contemporary” Florida Vernacular style characterized by a mix of Spanish, Mediterranean and Caribbean styles. It represents a stylistic upgrade to the more traditional Florida Vernacular. These upgrades take the form of porch railings, wood siding, large windows, darker colors, and Caribbean influences. So “Modern” or “Contemporary” Florida Vernacular may be considered as a “tweak” on the old traditional style with eclectic features employed into the design. The NCDRB may find that the proposed design contributes to the objectives of the VBTC Overlay District. I do believe the Beach at Vilano can be said to fit into this category.



Application for Overlay District Review
 Growth Management Department
 Planning and Zoning Section
 4040 Lewis Speedway, St. Augustine, FL 32084
 Phone: 904.209.0675; Fax: 904.209-0576

Date Overlay District Property ID No (Strap)

Applicant Phone Number
 Address Fax Number
 City State Zip Code E-mail

Project Name

Project Address & Location

Type of Review Commercial Use Multi-family Use Other:
Check all that apply
 The Project Involves New Building Changes to an existing Building Exterior Repainting Signage (Individual)
Check all that apply Unified Sign Plan Fences / Walls Parking / Lighting Landscaping / Buffers
 Other:

Describe Project and work proposed to be done (Provide additional information by attachment as needed)

One parcel is a green field site and the other was a former Pizza Hut restaurant. This new mixed-use development will include commercial retail, restaurant, Live/Work and residential uses spread out in 6 buildings on the current properties. The commercial uses will be located at the corner of Coastal Highway and Vilano with residential uses behind moving east towards the Atlantic Ocean. All required parking will be contained on site.

I HEREBY CERTIFY THAT ALL INFORMATION IS CORRECT:
 Signature of owner or person authorized to represent this application:

Signed By _____

Printed or typed name(s)

Contact Information of person to receive all correspondence if different than applicant:

Phone Number Fax Number E-mail
 Postal Address Name
 City State Zip Code



















Please notify the Planning and Zoning Section at 904.209.0675 if you need any special assistance or accommodations to attend the meeting or if you have any questions concerning this application.

Please list any applications currently under review or recently approved which may assist in the review of this application including the name of the PUD/PRD:

PROJECT: 20230802077 - JOHNSTON VILANO MIXED USE CONSTRUCTION DOCUMENTS - ARC LANDSCAPE PLAN AND BUILDING SCHEDULE - 11/13/23 10:34 AM - 6614444.MATTHEWS DESIGN GROUP, INC.

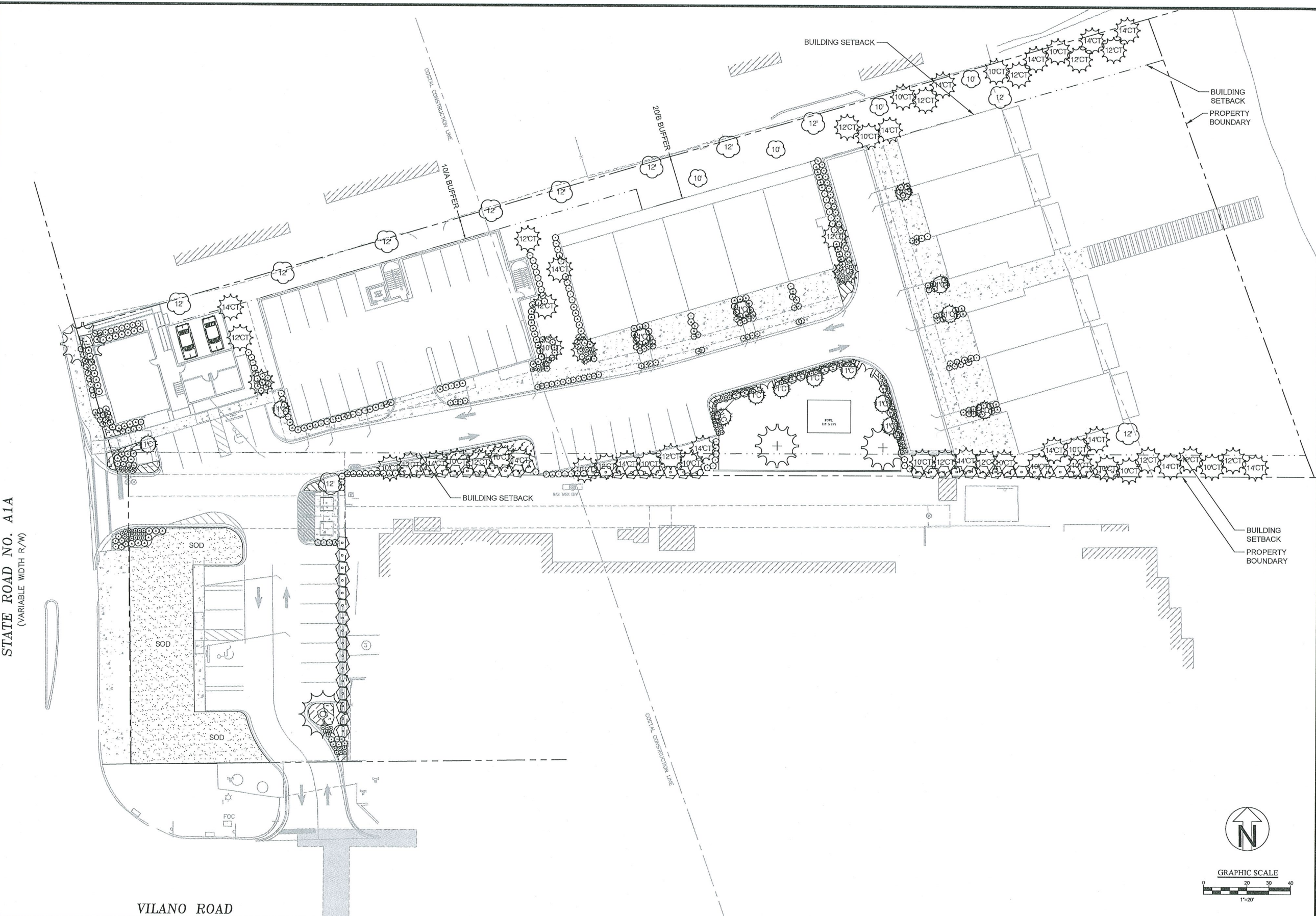
PLANT SCHEDULE

2023-08-16 10:34

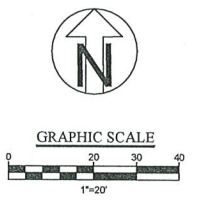
TREES	CODE	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE	QTY
	10'	Juniperus virginiana	Eastern Redcedar	YES	3" Cal. / 10' Ht.	4
	12'	Juniperus virginiana	Eastern Redcedar	YES	4" Cal. / 12' Ht.	11
	PM2	Phoenix dactylifera 'Medjool'	Medjool Date Palm	NO	14' Ct.	3
	10'CT	Sabal palmetto	Cabbage Palmetto	YES	10' C.T.	22
	12'CT	Sabal palmetto	Cabbage Palmetto	YES	12' Ct.	18
	14'CT	Sabal palmetto	Cabbage Palmetto	YES	14' Ct.	16
	PM	Transplant Phoenix dactylifera	Transplant Medjool Date Palm	NO		1
	11'CT	Washingtonia robusta	Mexican Fan Palm	NO		15
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE	QTY
	BX	Bougainvillea x Color T.B.D. Full in pot and blooming	Bougainvillea	—	Multi-trunk / 3'-4' Ht.	10
	CO	Codiaeum variegatum 'Oakleaf'	Oakleaf Croton	—	12" Ht. x 12" Sp.	130
	JB	Juniperus virginiana 'Brodie'	Brodie Eastern Redcedar	6' H.T.	—	52
	ND	Nerium oleander 'Dwarf' Full in pot and blooming	Dwarf Oleander Pink	—	15" Ht. x 15" Sp.	130
	PO	Podocarpus macrophyllus	Yew Pine	—	36" Ht. min.	83
	ZP	Zamia pumila	Coontie	—	24" Ht.	158
SHRUB AREAS	CODE	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE	QTY
	MC	Muhlenbergia capillaris	Pink Muhly	3 gal.	24" Ht. / Full	12
	ND2	Nerium oleander 'Dwarf' Pinl	Dwarf Oleander	3 gal.	18" Ht. x 12" Sp. / 36" O.C.	33
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE	QTY
	JB2	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	1 gal.	5 runners Min.	262
	SOD	Paspalum notatum	Bahia Grass	sod		4,064 sf

REGISTERED LANDSCAPE ARCHITECT CHARLES L. MCGHEE CHARLES L. MCGHEE	
REVISIONS NO. DATE DESCRIPTION	E.I.L. G.P.M. E.I.L. E.I.L. E.I.L. DATE 08-25-23 JOB NO. 22077
MATTHEWS DESIGN GROUP P.O. BOX 3126, 7 WALDO STREET ST. AUGUSTINE, FL 32084 PHONE: 904.826.1334 • FAX: 904.826.4547 INFO@MDGINC.COM	
ARC-LANDSCAPE PLAN JOHNSTON VILANO MIXED USE ST. JOHNS COUNTY PREPARED FOR RICK JOHNSTON	
SHEET No: AL-1 OF 13	

STATE ROAD NO. A1A (VARIABLE WIDTH R/W)



VILANO ROAD



ARC-LANDSCAPE PLAN
JOHNSTON VILANO MIXED USE
 ST. JOHN'S COUNTY
 PREPARED FOR
 RICK JOHNSTON

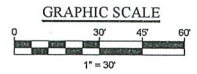
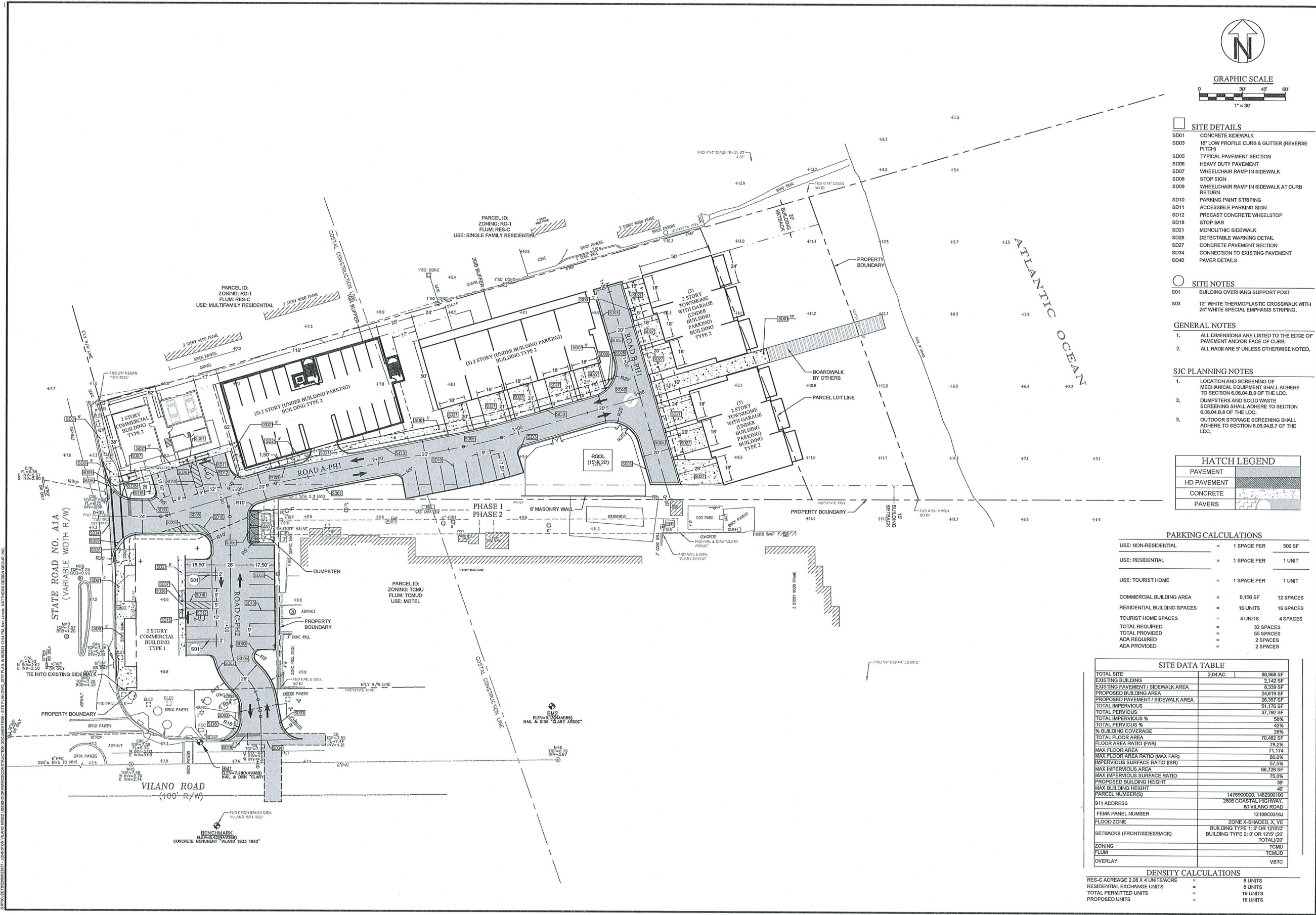
MATTHEWS DEEM
 P.O. BOX 3126, 7 WALDO STREET
 ST. AUGUSTINE, FL 32084
 PHONE: 904.826.1334 • FAX: 904.826.4547
 INFO@MDGINC.COM

NO.	DATE	DESCRIPTION

DESIGNED BY: E.J.L. G.P.M.
 DRAWN BY: E.J.L.
 DATE: 06-23-23
 JOB NO.: 22077

REGISTERED LANDSCAPE ARCHITECT
 ERIC J. LANEHART
 CA#26356 FL#869877

SHEET NO. **AL-2**
 OF 13



- SITE DETAILS**
- SD01 CONCRETE SIDEWALK
 - SD03 18" LOW PROFILE CURB & GUTTER (REVERSE FLOW)
 - SD05 TYPICAL PAVEMENT SECTION
 - SD06 HEAVY DUTY PAVEMENT
 - SD07 WHEELCHAIR RAMP IN SIDEWALK
 - SD08 STOP SIGN
 - SD09 WHEELCHAIR RAMP IN SIDEWALK AT CURB RETURN
 - SD10 PARKING PAINT STRIPING
 - SD11 ACCESSIBLE PARKING SIGN
 - SD12 PRECAST CONCRETE WHEELSTOP
 - SD18 STOP BAR
 - SD21 MONOLITHIC SIDEWALK
 - SD28 DETECTABLE WARNING DETAIL
 - SD27 CONCRETE PAVEMENT SECTION
 - SD34 CONNECTION TO EXISTING PAVEMENT
 - SD40 PAVER DETAILS

- SITE NOTES**
- S01 BUILDING OVERHANG SUPPORT POST
 - S03 12" WHITE THERMOPLASTIC CROSSWALK WITH 24" WHITE SPECIAL EMPHASIS STRIPING.

- GENERAL NOTES**
- ALL DIMENSIONS ARE LISTED TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB.
 - ALL RADII ARE 5' UNLESS OTHERWISE NOTED.

- SJC PLANNING NOTES**
- LOCATION AND SCREENING OF MECHANICAL EQUIPMENT SHALL ADHERE TO SECTION 6.06.04.B.9 OF THE LDC.
 - DUMPSTERS AND SOLID WASTE SCREENING SHALL ADHERE TO SECTION 6.06.04.B.8 OF THE LDC.
 - OUTDOOR STORAGE SCREENING SHALL ADHERE TO SECTION 6.06.04.B.7 OF THE LDC.

HATCH LEGEND

PAVEMENT	
HD PAVEMENT	
CONCRETE	
PAVERS	

PARKING CALCULATIONS

USE: NON-RESIDENTIAL	= 1 SPACE PER	500 SF
USE: RESIDENTIAL	= 1 SPACE PER	1 UNIT
USE: TOURIST HOME	= 1 SPACE PER	1 UNIT
COMMERCIAL BUILDING AREA	= 6,156 SF	12 SPACES
RESIDENTIAL BUILDING SPACES	= 16 UNITS	16 SPACES
TOURIST HOME SPACES	= 4 UNITS	4 SPACES
TOTAL REQUIRED	=	32 SPACES
TOTAL PROVIDED	=	55 SPACES
ADA REQUIRED	=	2 SPACES
ADA PROVIDED	=	2 SPACES

SITE DATA TABLE

TOTAL SITE	2.04 AC	88,968 SF
EXISTING BUILDING		2,142 SF
EXISTING PAVEMENT / SIDEWALK AREA		8,339 SF
PROPOSED BUILDING AREA		24,819 SF
PROPOSED PAVEMENT / SIDEWALK AREA		26,387 SF
TOTAL IMPERVIOUS		51,776 SF
TOTAL PERVIOUS		37,792 SF
TOTAL IMPERVIOUS %		56%
TOTAL PERVIOUS %		43%
% BUILDING COVERAGE		28%
TOTAL FLOOR AREA		70,482 SF
FLOOR AREA RATIO (FAR)		79.2%
MAX FLOOR AREA		11,174
MAX FLOOR AREA RATIO (MAX FAR)		80.0%
IMPERVIOUS SURFACE RATIO (ISR)		57.5%
MAX IMPERVIOUS AREA		66,726 SF
MAX IMPERVIOUS SURFACE RATIO		75.0%
PROPOSED BUILDING HEIGHT		39'
MAX BUILDING HEIGHT		40'
PARCEL NUMBER(S)	1418500000, 1482500100	
911 ADDRESS	2806 COASTAL HIGHWAY	
	80 VILANO ROAD	
FEMA PANEL NUMBER	12109C0316J	
FLOOD ZONE	ZONE X-SHADED, X, VE	
SETBACKS (FRONT/SIDES/BACK)	BUILDING TYPE 1: 0' OR 12'00"	
	BUILDING TYPE 2: 0' OR 12'00"	
	TOTAL: 20'	
ZONING	TCMU	
FLUM	TCMUD	
OVERLAY	VBTC	

DENSITY CALCULATIONS

RES-C ADREAGE 208 X 4 UNITS/ACRE	=	8 UNITS
RESIDENTIAL EXCHANGE UNITS	=	8 UNITS
TOTAL PERMITTED UNITS	=	16 UNITS
PROPOSED UNITS	=	16 UNITS

SITE PLAN

BEACH AT VILANO

ST. JOHNS COUNTY
PREPARED FOR
BEACH AT VILANO LLC

REGISTERED ENGINEER
ALEX R. AGREE, P.E.
CAZ26255 FL 273715

NO.	DATE	DESCRIPTION

DRAWN BY: _____
 CHECKED BY: _____
 DATE: 06-23-23
 JOB NO.: 22077

MATTHEWS DEEM

P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FL 32084
PHONE: 904.826.1334 • FAX: 904.826.4547
INFO@MDGINC.COM

SHEET NO. **06**
OF 13











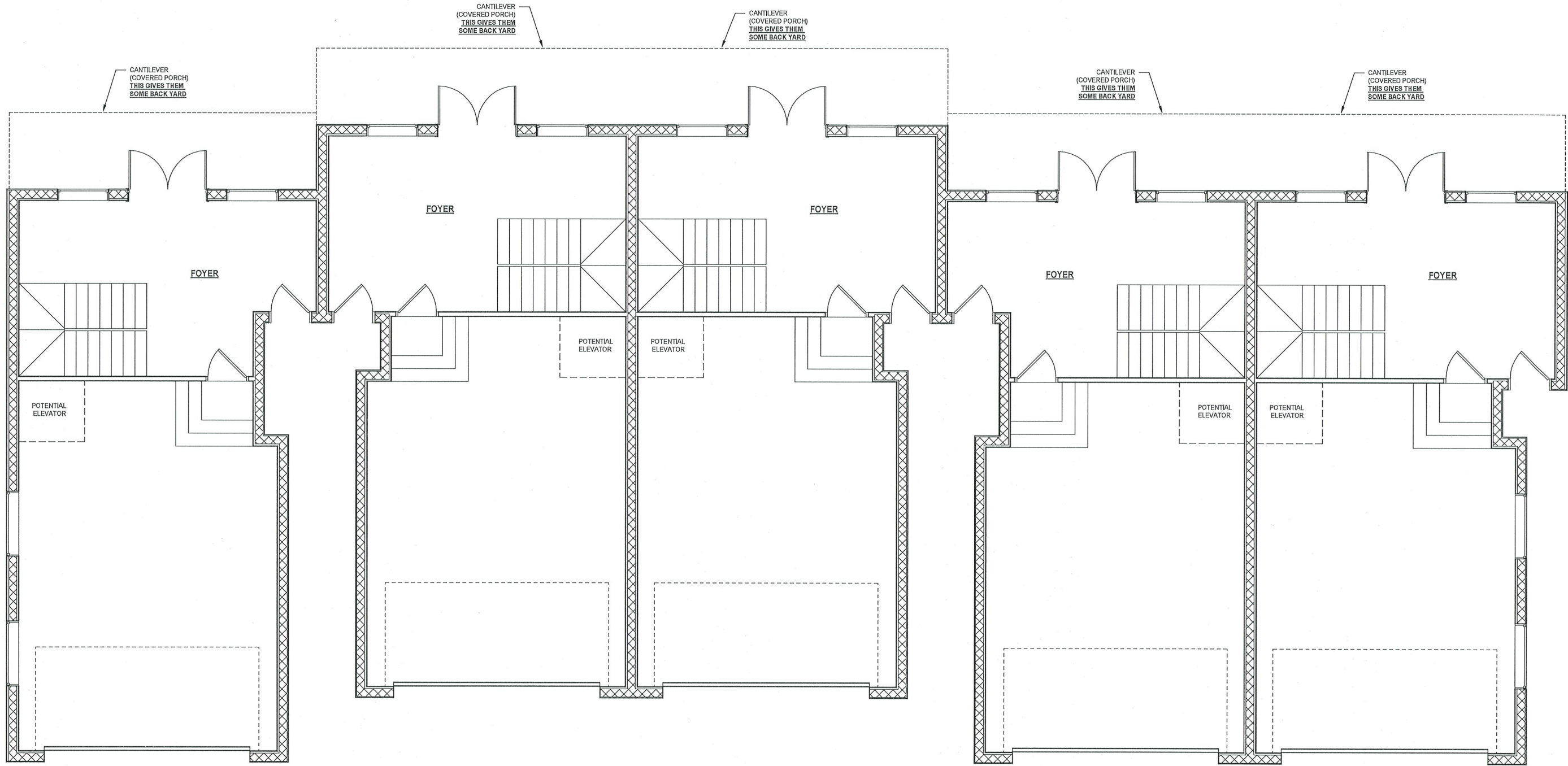


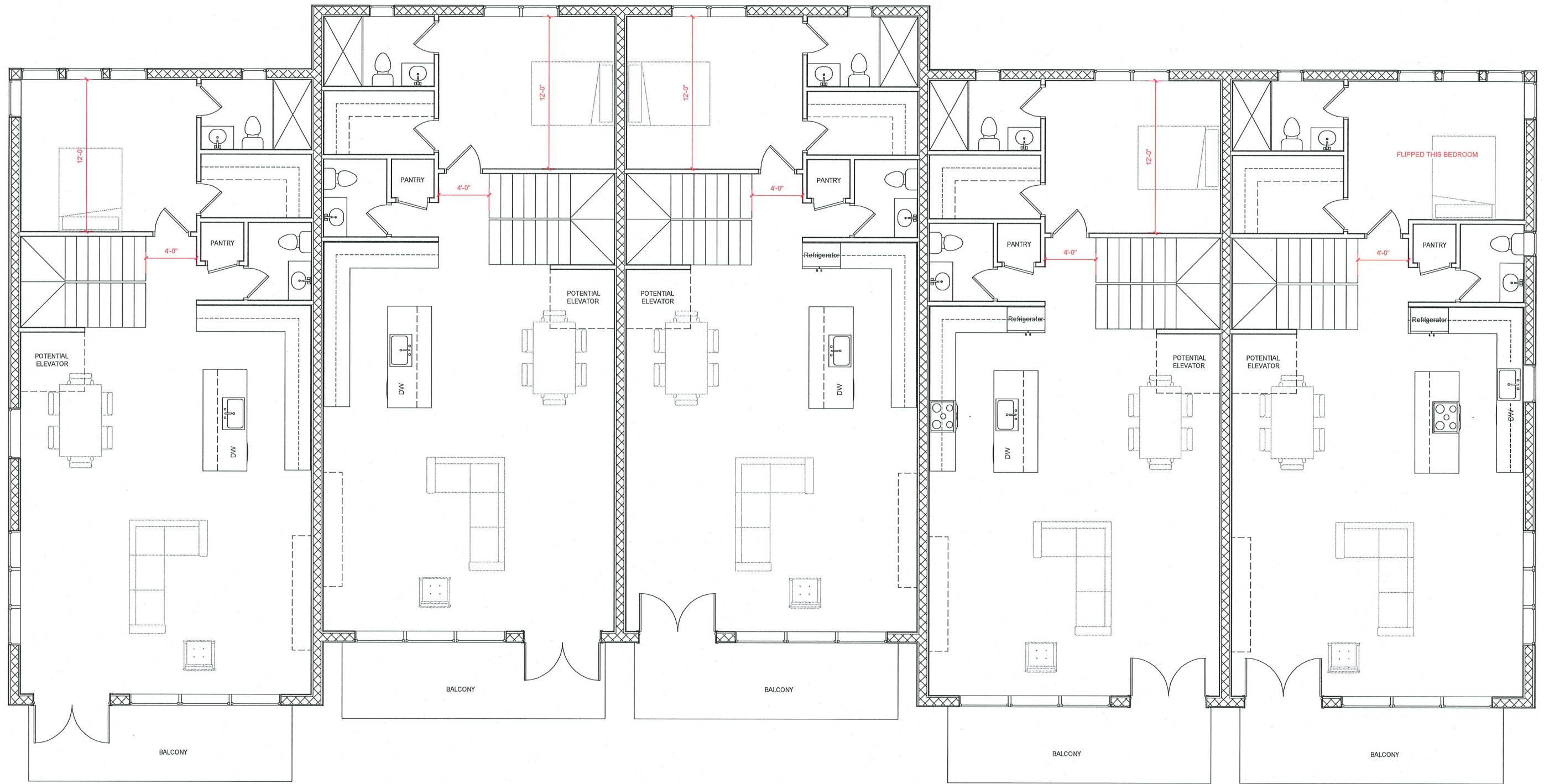


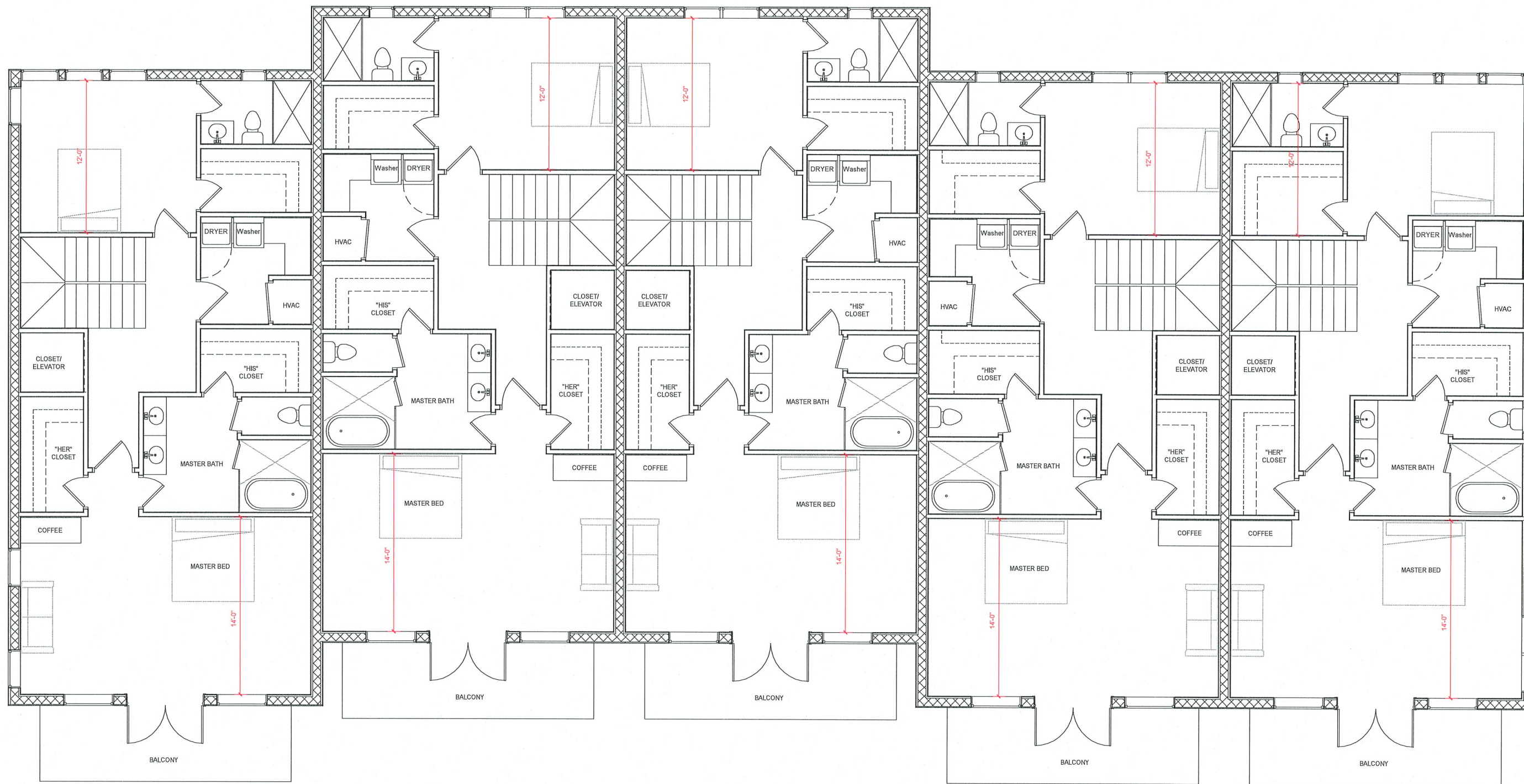


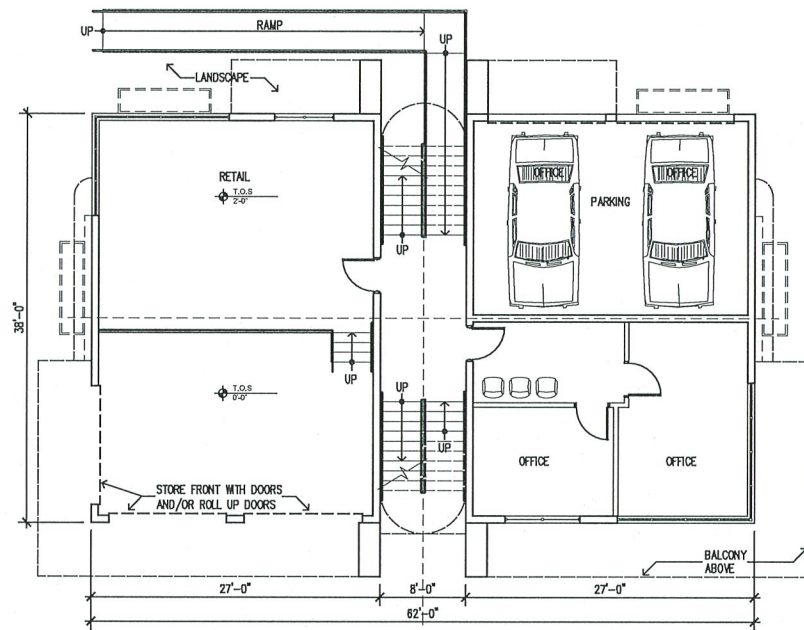




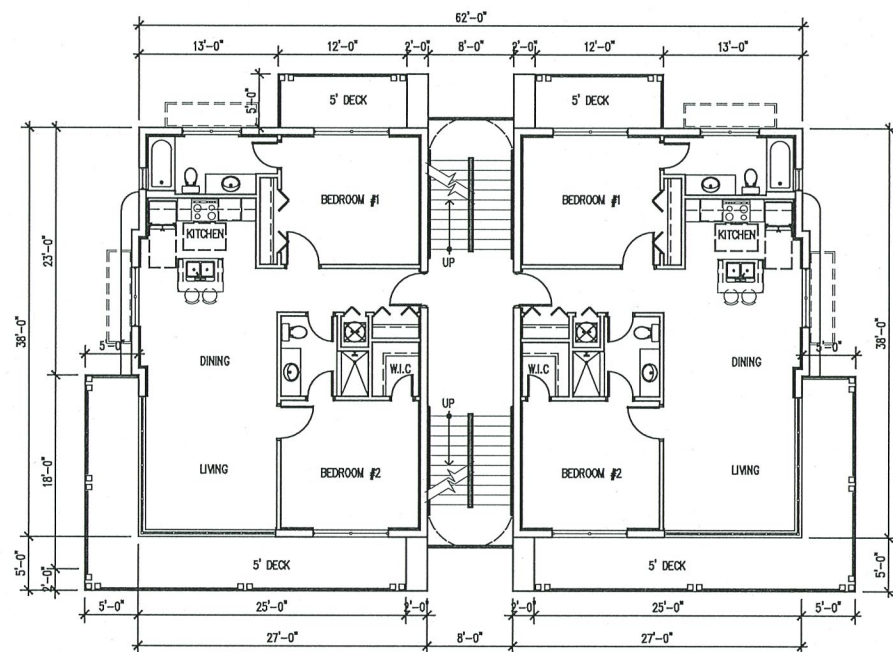




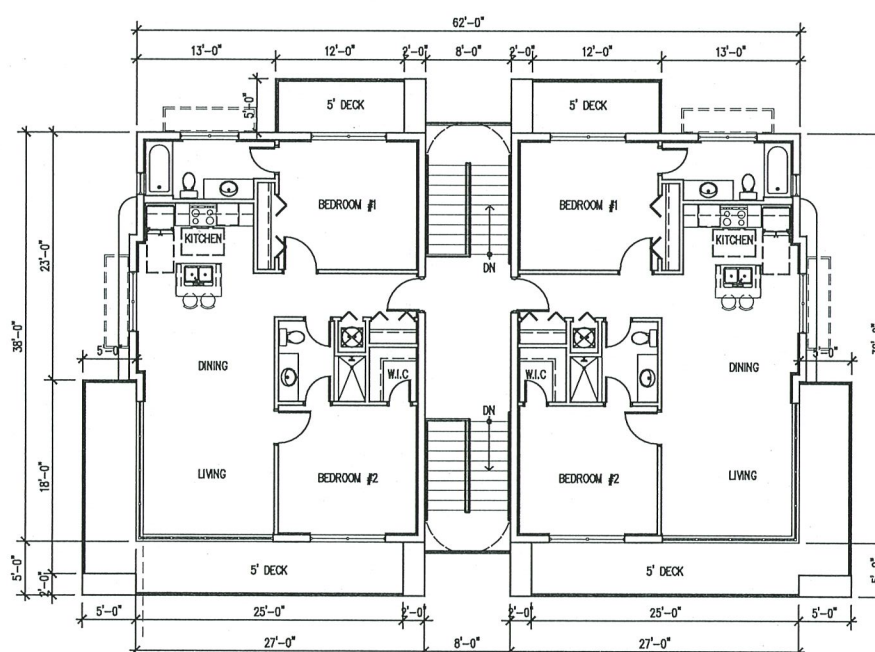




1 GROUND FLOOR PLAN
A2.01 1/8" = 1'-0"



2 SECOND FLOOR PLAN
A2.01 1/8" = 1'-0"



3 THIRD FLOOR PLAN
A2.01 1/8" = 1'-0"

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF FISHER KOPPENHAFFER, P.A. AND IT SHALL NEVER BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF FISHER KOPPENHAFFER, P.A.

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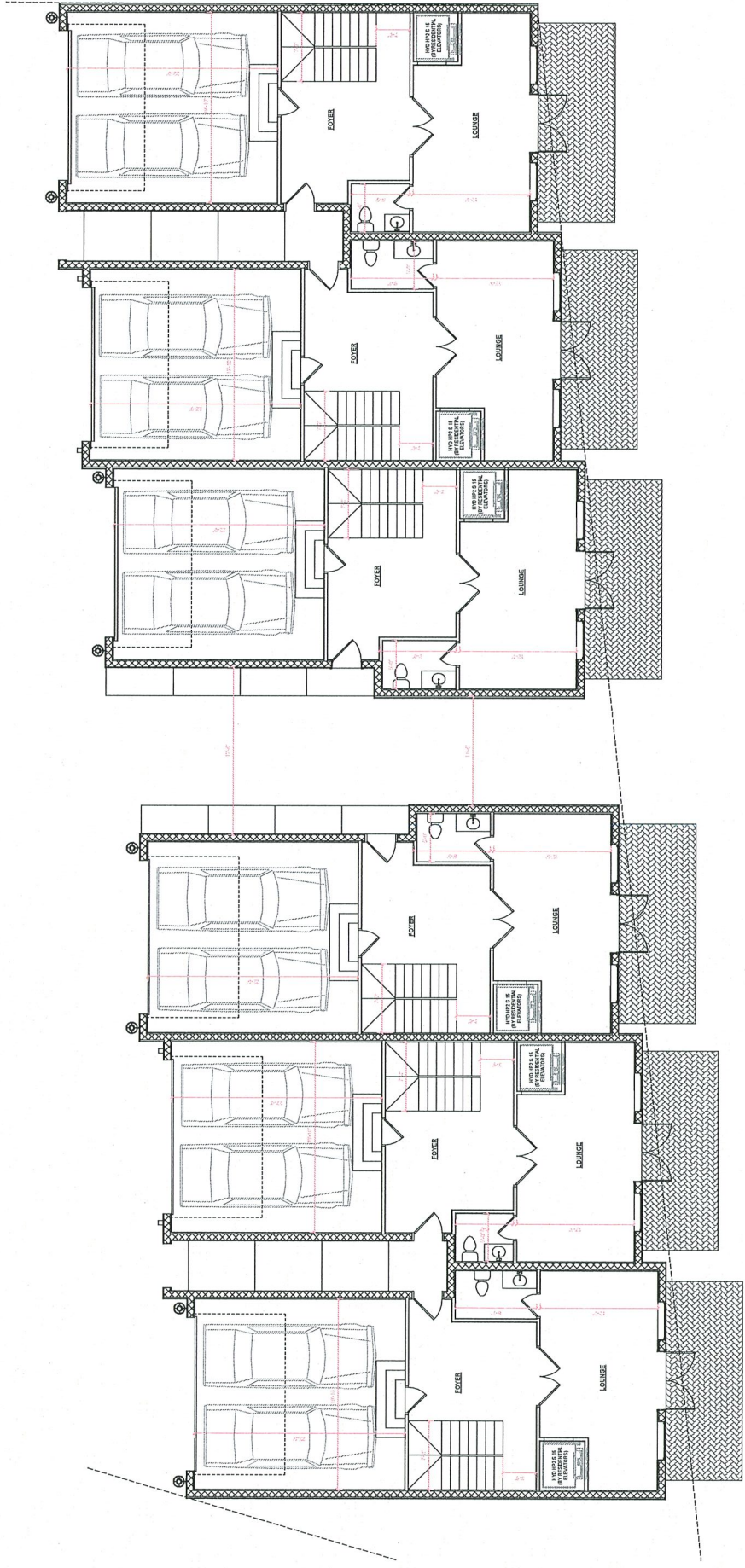
REVISIONS:

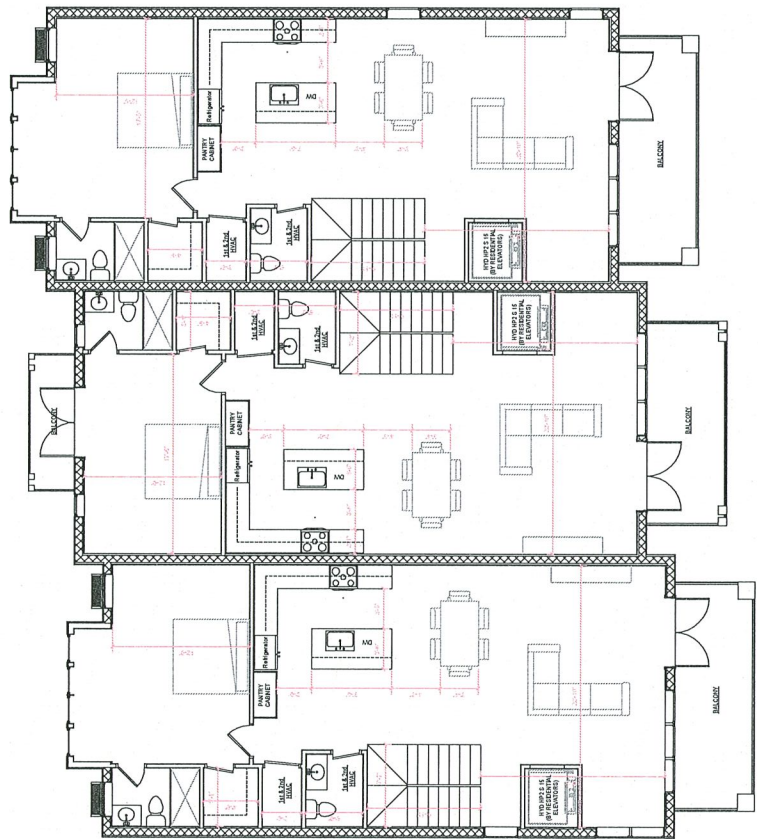
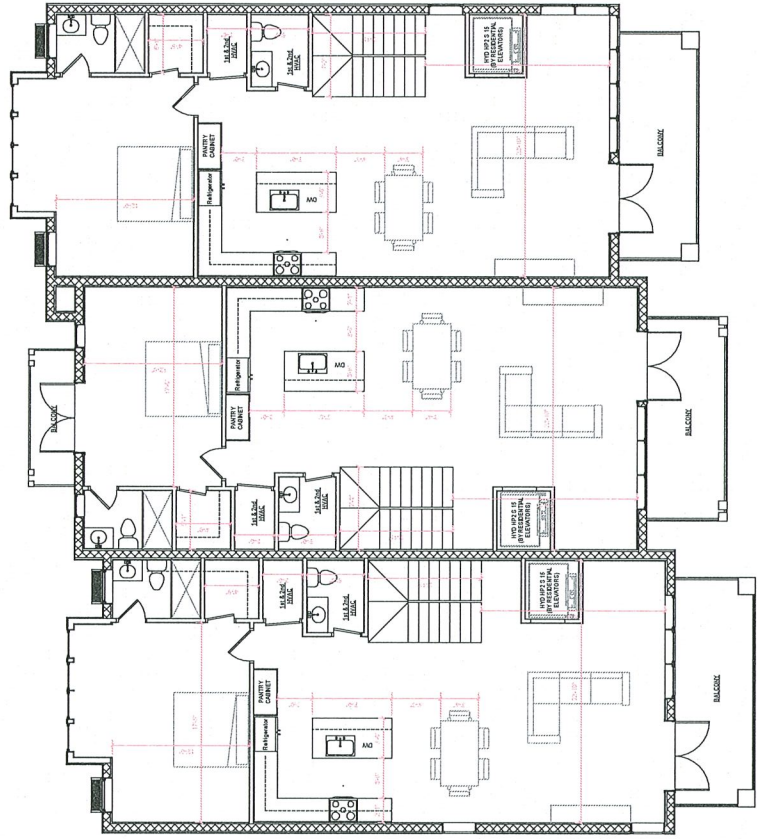
DATE: 06/12/23

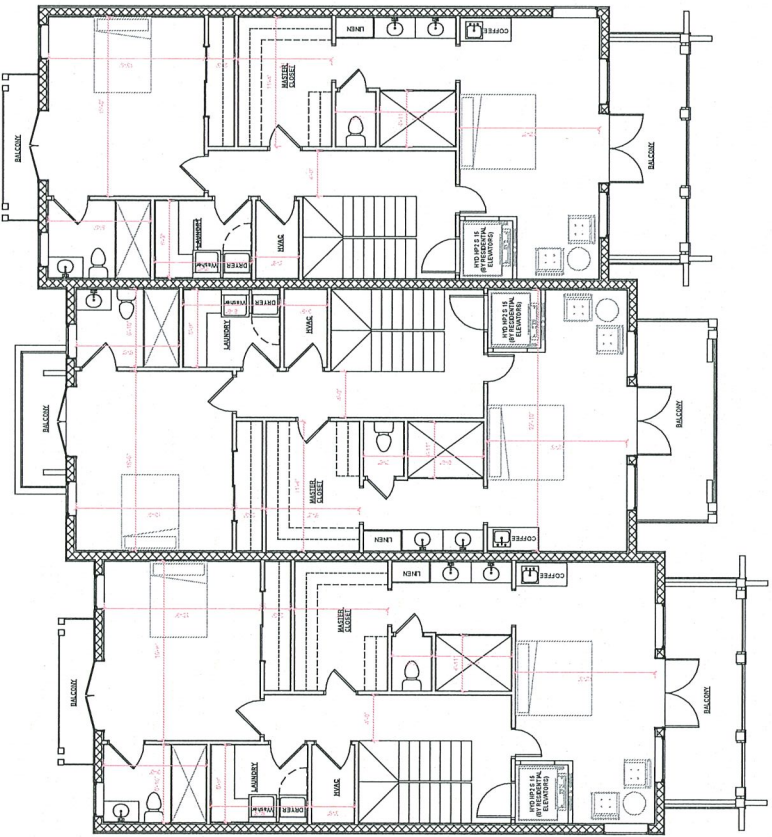
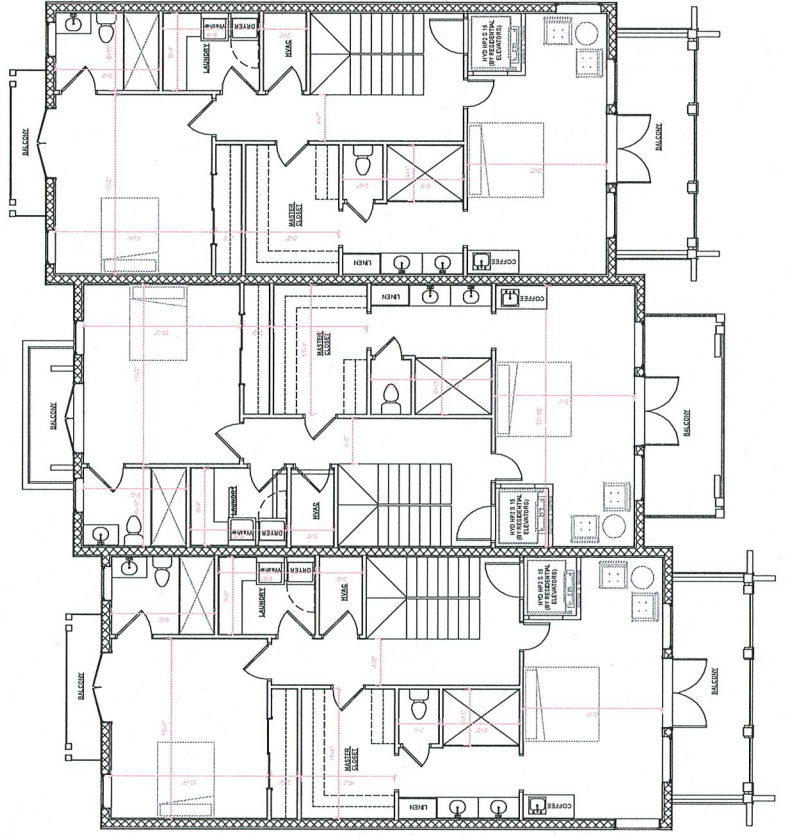
FLOOR PLANS

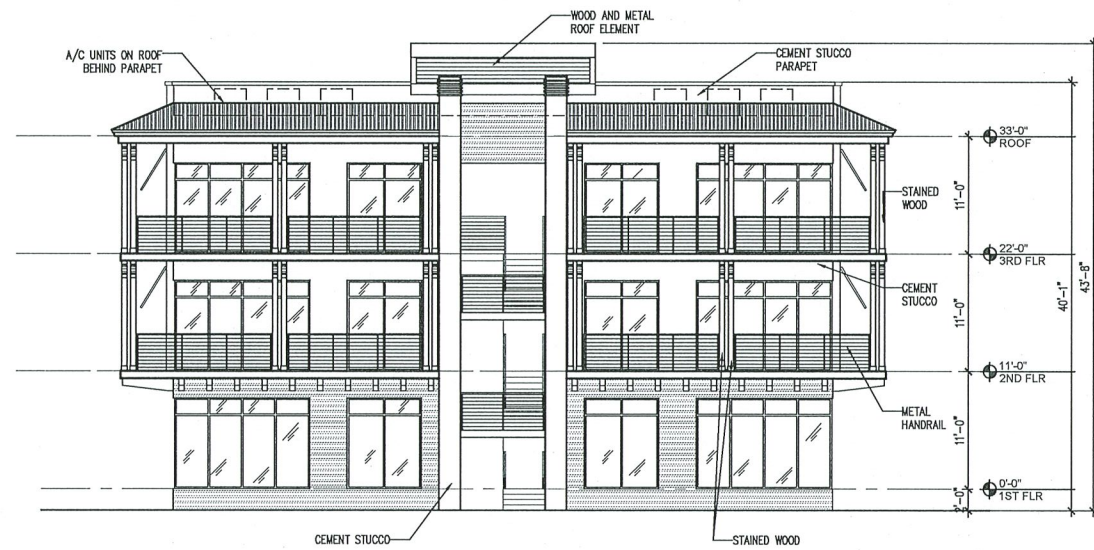
DRAWN BY: DL
CHECKED BY: MSK
PROJECT NO.: 2023-08.1

A2.01

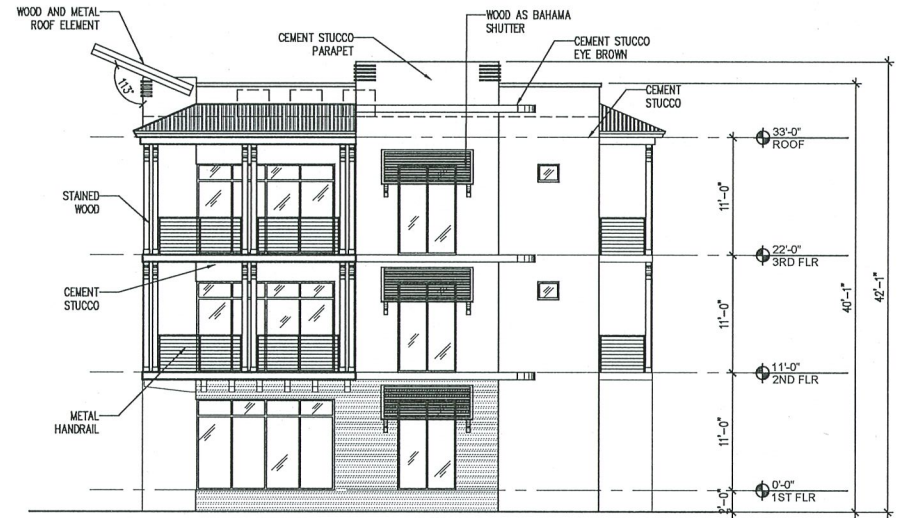




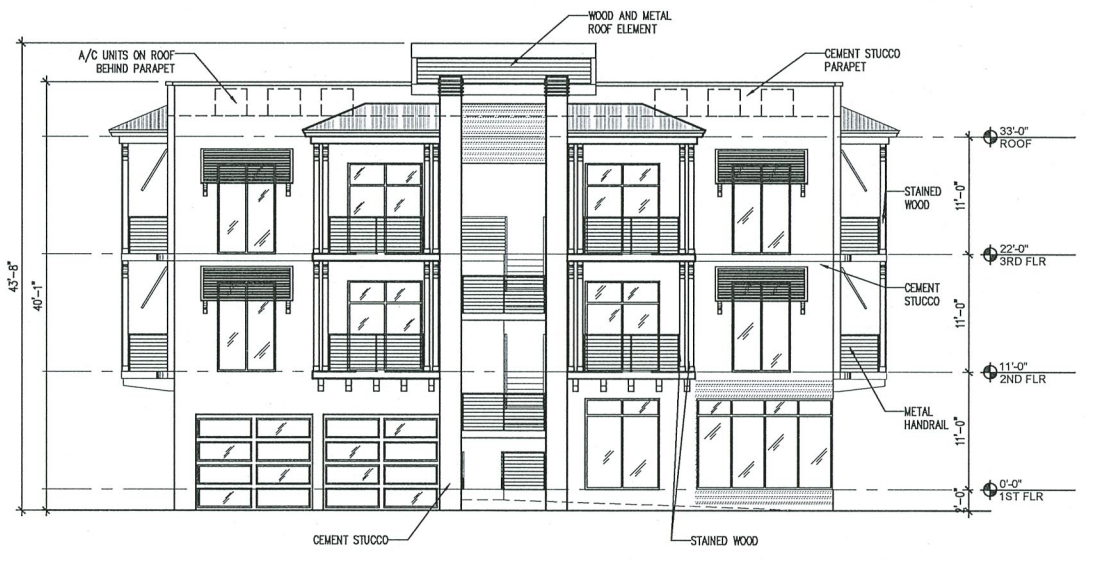




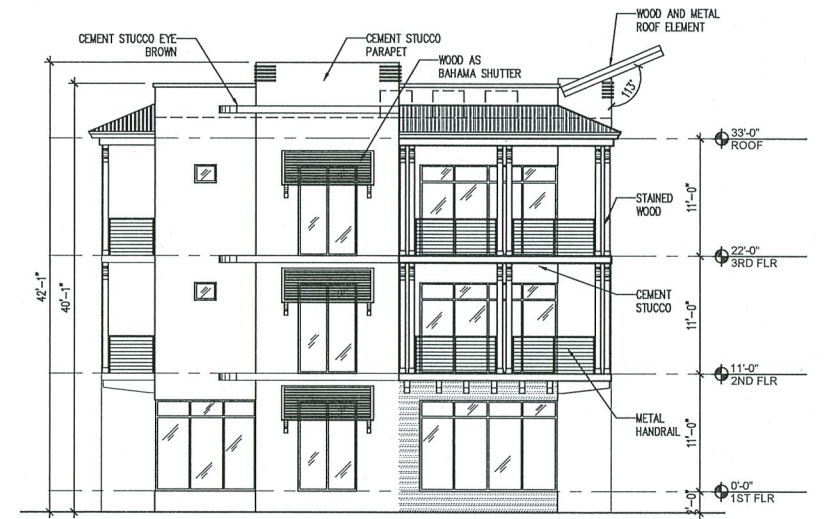
1 SOUTH ELEVATION
A2.01 1/8" = 1'-0"



2 EAST ELEVATION
A2.01 1/8" = 1'-0"



3 NORTH ELEVATION
A2.01 1/8" = 1'-0"



4 WEST ELEVATION
A2.01 1/8" = 1'-0"

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Vilano Townhomes
Live / Work

ST. JOHNS COUNTY, FL

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MIKE KOPPENHAFFER, AIA - LICENSE # 0014945

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 06/12/23

ELEVATIONS

DRAWN BY: DL
CHECKED BY: MSK
PROJECT NO.: 2023-08.1

A5.01

DD



SCALE: 1/4" = 1'-0"

2 WEST
A 300 1/4" = 1'-0"

COLLIN SPELTS,
NCARB
FLORIDA REGISTRATION: # AR99826

No.	Description	Date

VILLANO
CONDOS

ELEVATIONS

Project Number #####
Date July 24, 2023
Drawn By Author
Checked By Checker

A 300

Scale 1/4" = 1'-0"

**COLLIN SPELTS
ARCHITECTURE**

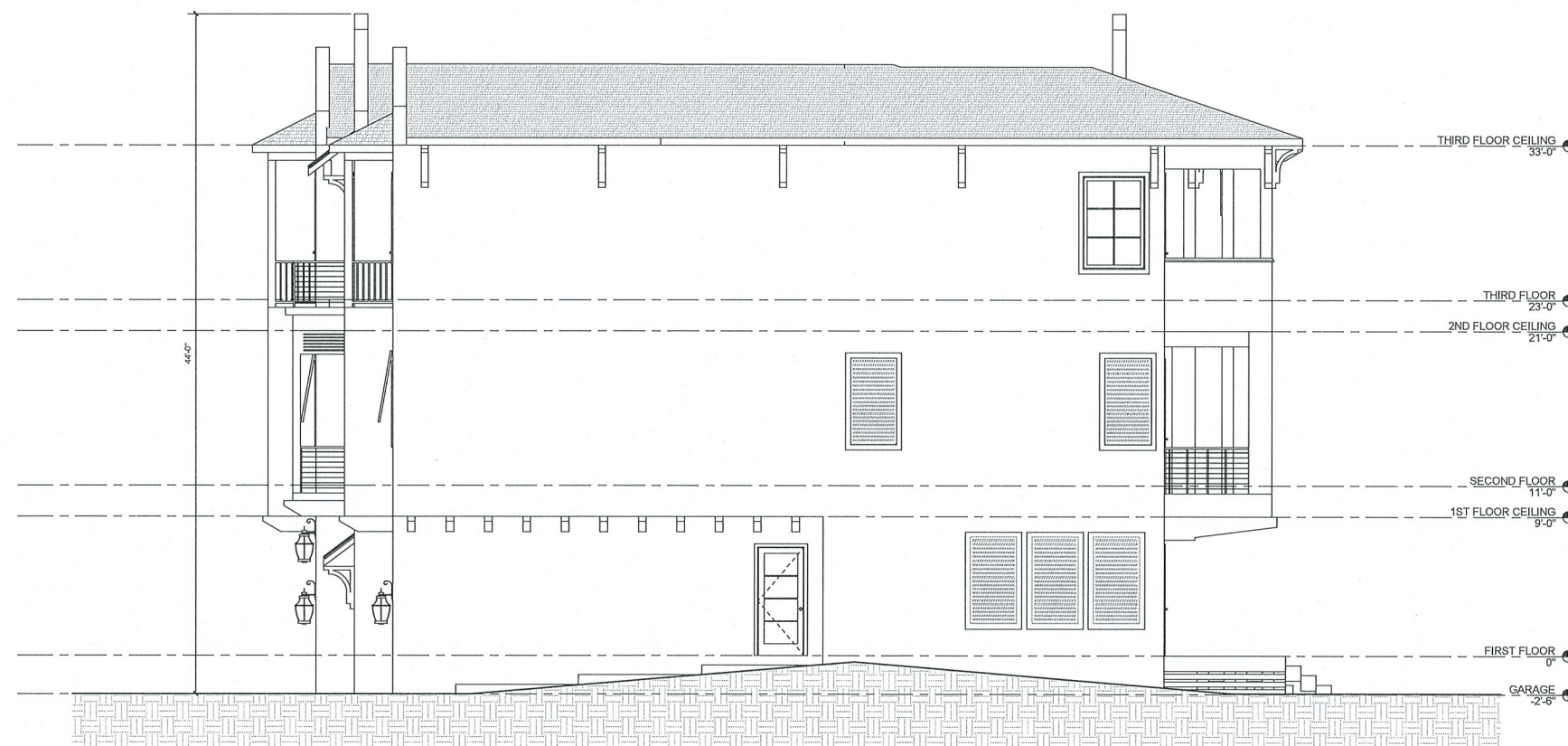
1612 FIFTH ST. S.
JACKSONVILLE BEACH, FL 32250

E: collin@speltsarchitect.com
PH: 904-923-9150

www.speltsarchitect.com



1 EAST
A 301 1/4" = 1'-0"



2 SOUTH
A 301 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

COLLIN SPELTS,
NCARB
FLORIDA REGISTRATION: # AR99826

No.	Description	Date

VILLANO
CONDOS

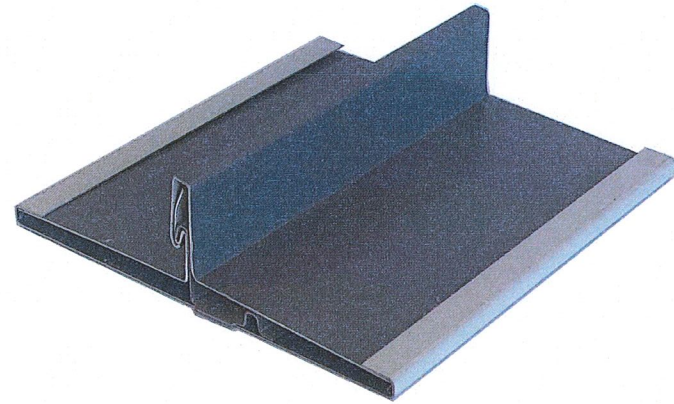
ELEVATIONS

Project Number #####
Date July 24, 2023
Drawn By Author
Checked By Checker

A 301

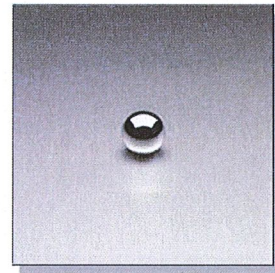
Scale 1/4" = 1'-0"

7/24/2023 12:22:27 AM



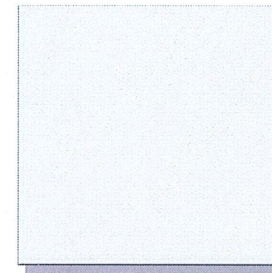
STANDING SEAM METAL ROOF

ROOF MATERIALS

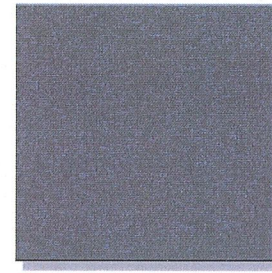


Wilsonart
ENGINEERED SURFACES

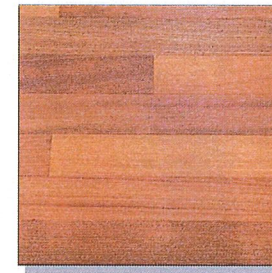
MATTE NATURAL ALUMINUM 6252



Benjamin Moore
DECORATOR'S WHITE
OC-149

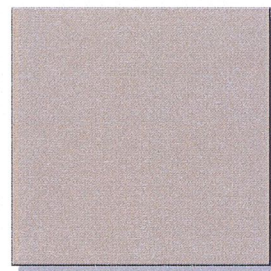


Benjamin Moore
KENDALL CHARCOAL
HC-166

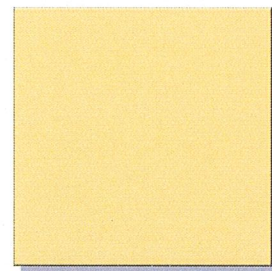


Woodwright
SPECIES: RIBBON SAPELE
SERIAL #60391
SPECIFICATION #60000

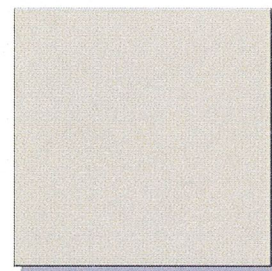
COMMERCIAL BUILDING



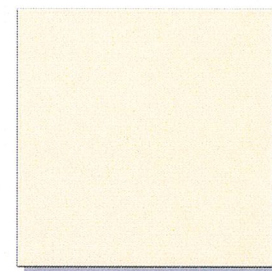
Benjamin Moore
CREEKBED
1006



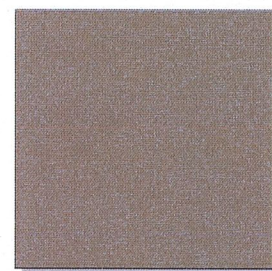
Benjamin Moore
MARBLEHEAD GOLD
HC-11



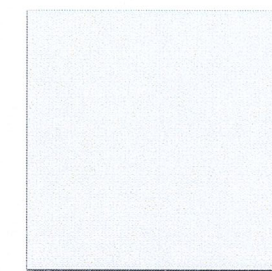
Benjamin Moore
COASTAL FOG
976



Benjamin Moore
SOMERSET PEACH
163



Benjamin Moore
WHITALL BROWN
HC-69

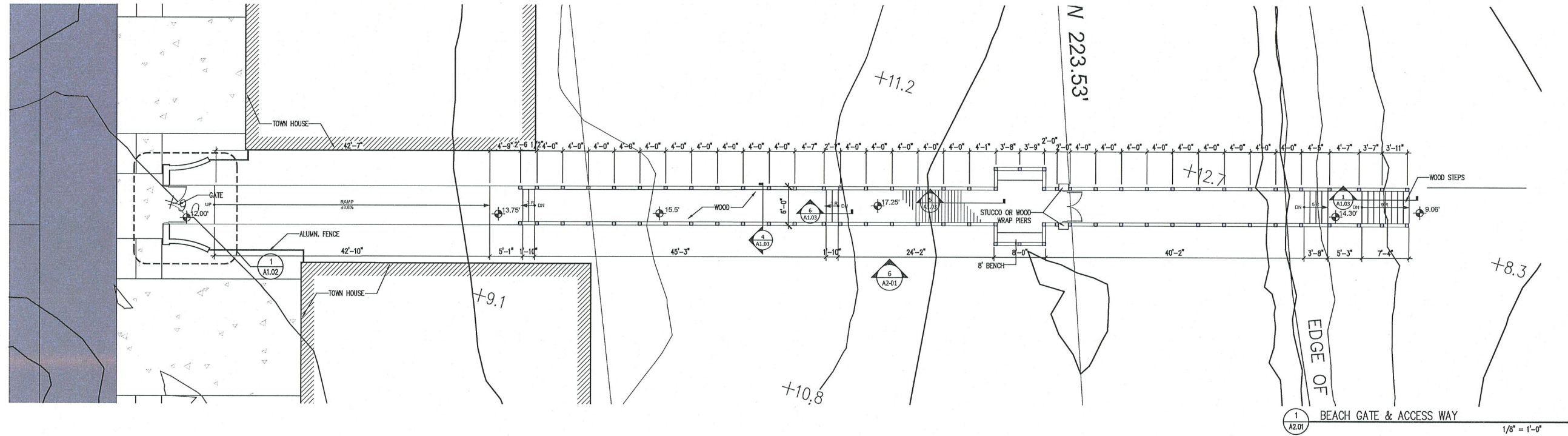


Benjamin Moore
DECORATOR'S WHITE
OC-149

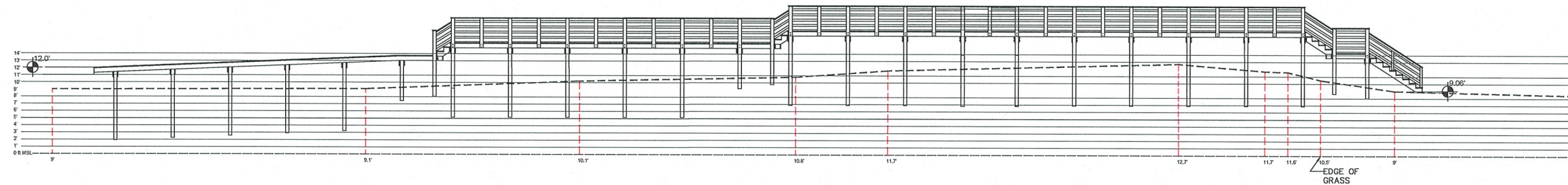
TOWNHOUSES







1 A2.01 BEACH GATE & ACCESS WAY
1/8" = 1'-0"



1 A2.01 WALKOVER ELEVATION
1/8" = 1'-0"

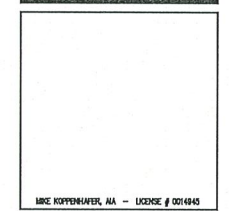
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Fax: 904.367.0088
Corporate License Number: AA26000982

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STRUCTURAL ENGINEERS LLC
REGISTRY NUMBER 34418
ELECTRICAL ENGINEER
JOHN SEARCY & ASSOCIATES, INC.
CA #8805
MECHANICAL & PLUMBING ENGINEER
GREGORY ENGINEERING, INC.
CA #28163

**Vilano Townhomes
Site Features**

ST. JOHNS COUNTY, FL

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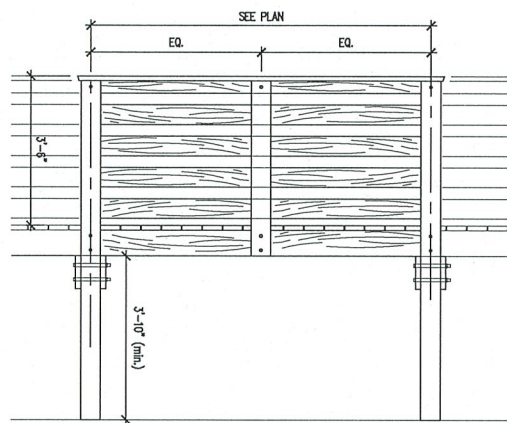


REVISIONS:

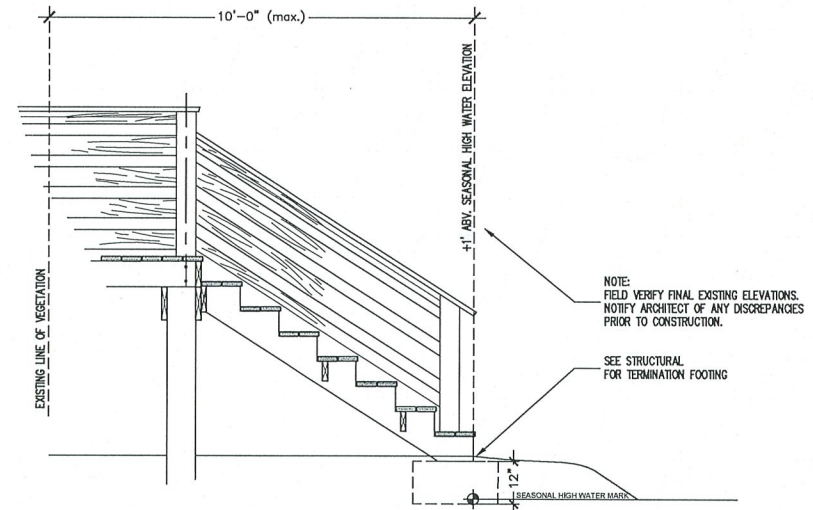
DATE: 06/12/23

WALKOVER
DIMENSION PLAN
/ ELEVATION STUDY
DRAWN BY: DL
CHECKED BY: MSK
PROJECT NO.: 2023-08.2

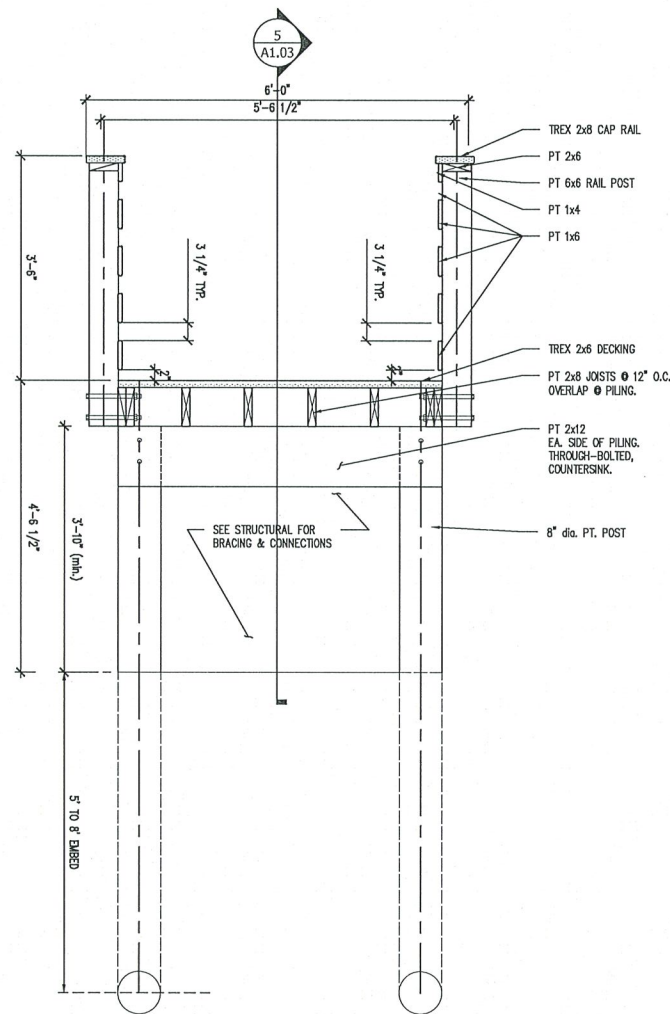
A1.01
DD



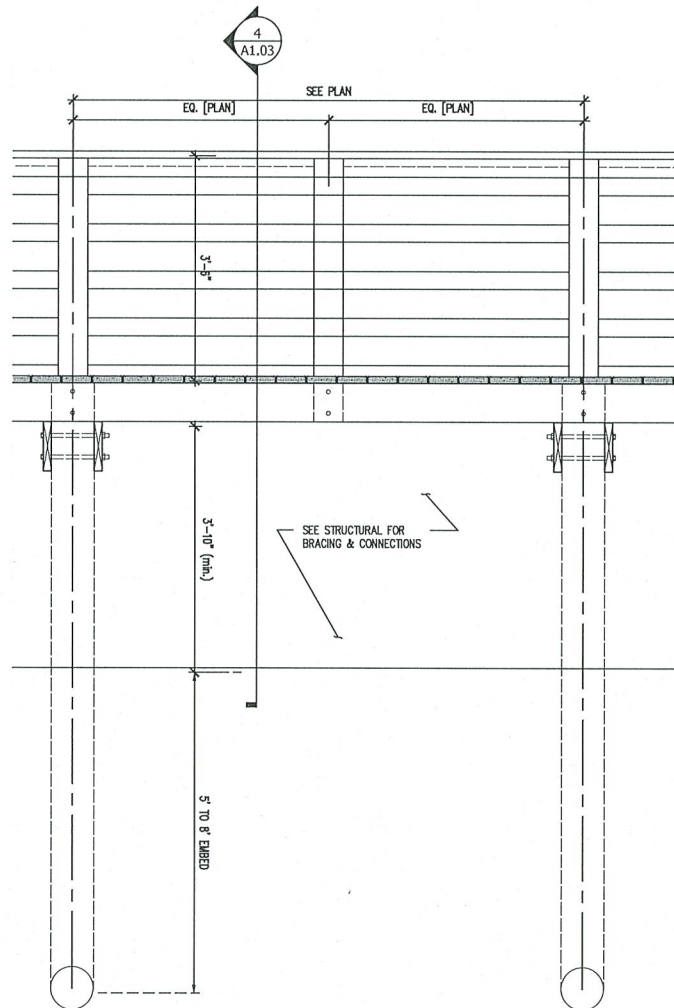
3 ELEVATION @ DUNEWALK OVERLOOK
1/2"=1'-0"



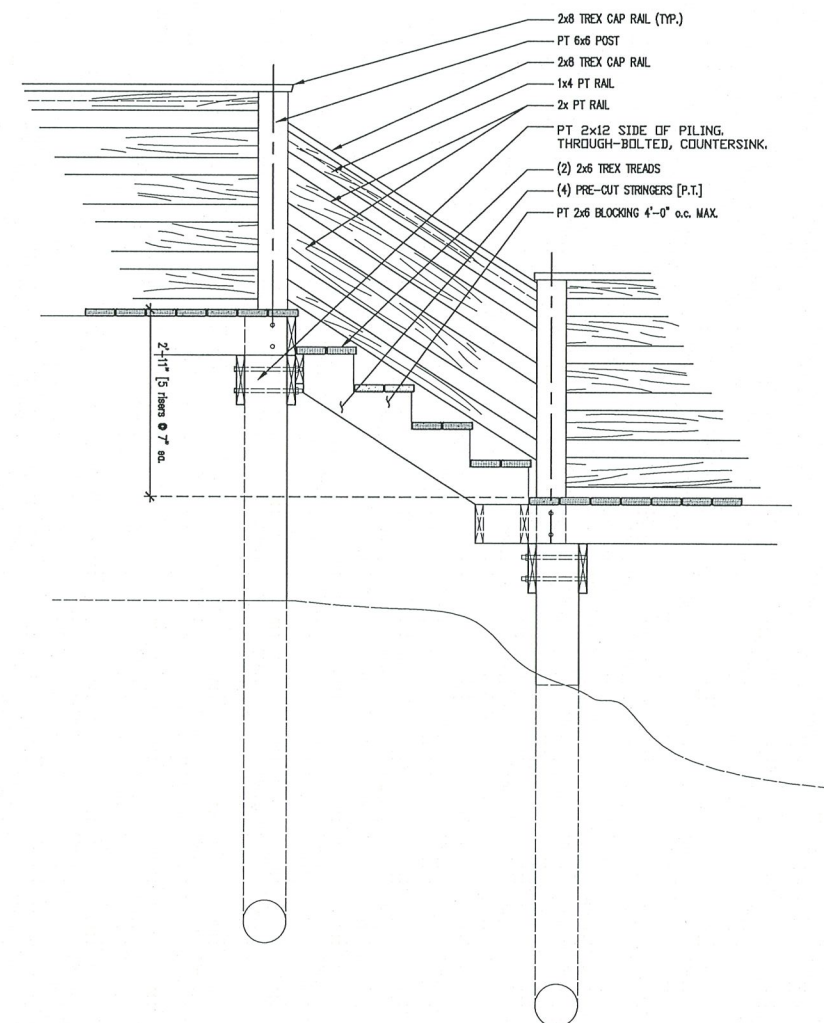
1 SECTION @ SEAWARD LANDING
1/2"=1'-0"



4 SECTION
3/4"=1'-0"



5 SECTION
3/4"=1'-0"



6 STAIR SECTION
3/4"=1'-0"

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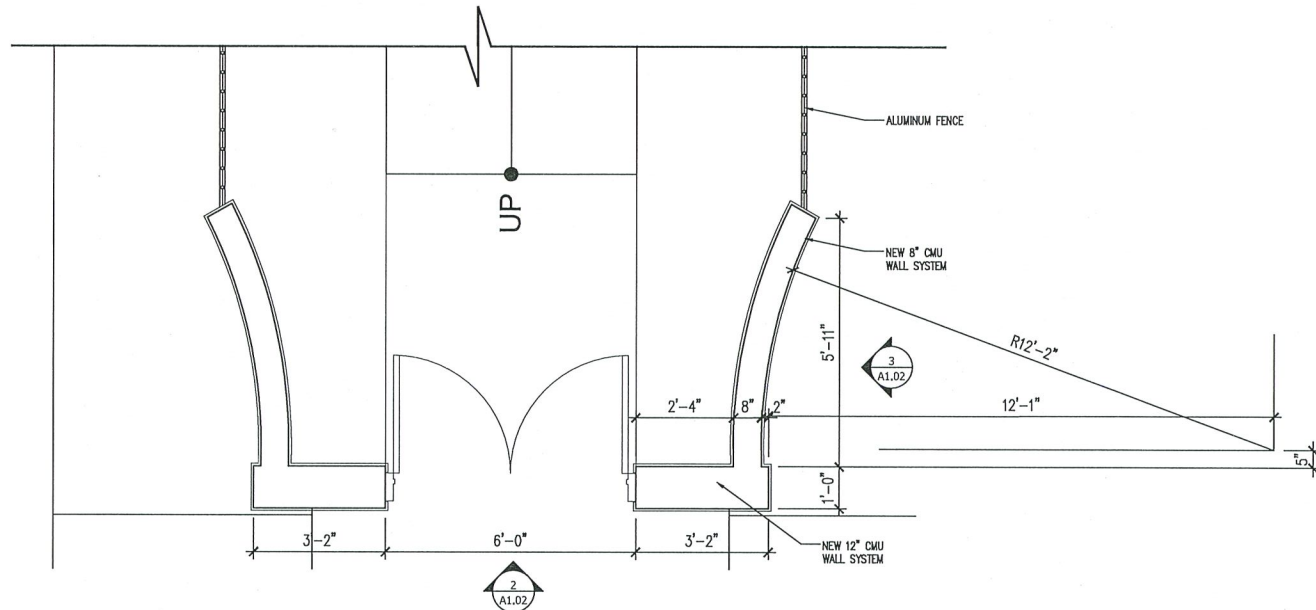
DATE: 06/12/23

WALKOVER
SECTIONS /DETAILS

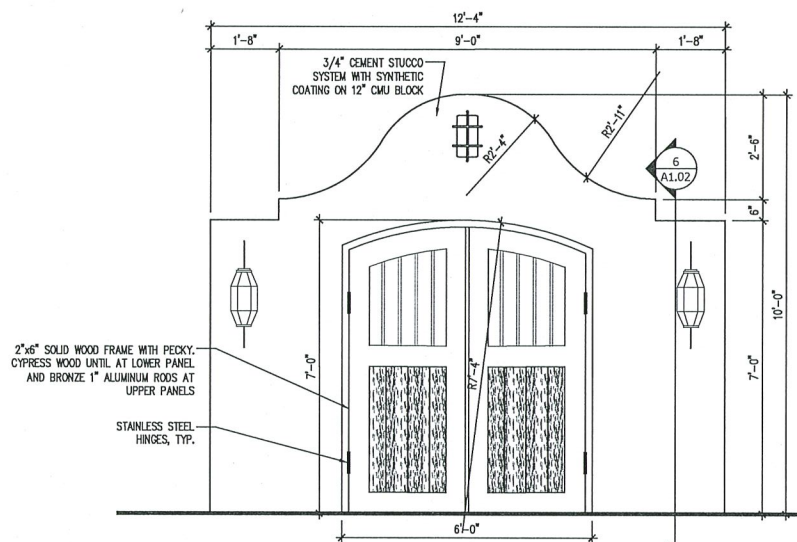
DRAWN BY: DL
CHECKED BY: MSK
PROJECT NO.: 2023-08.2

A1.03

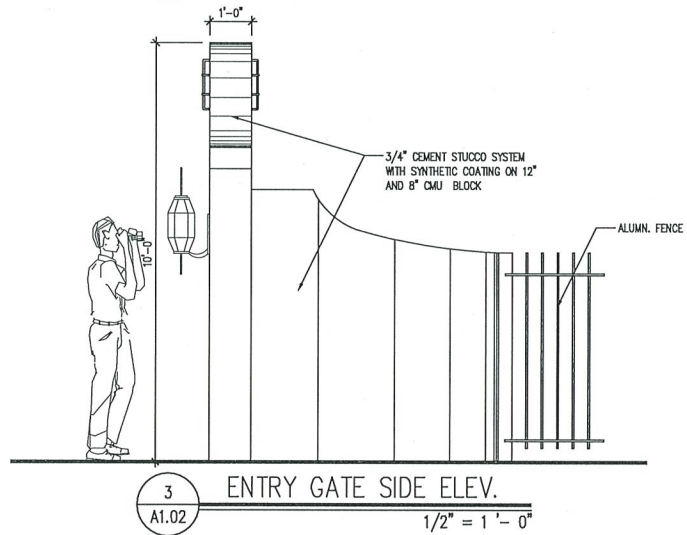
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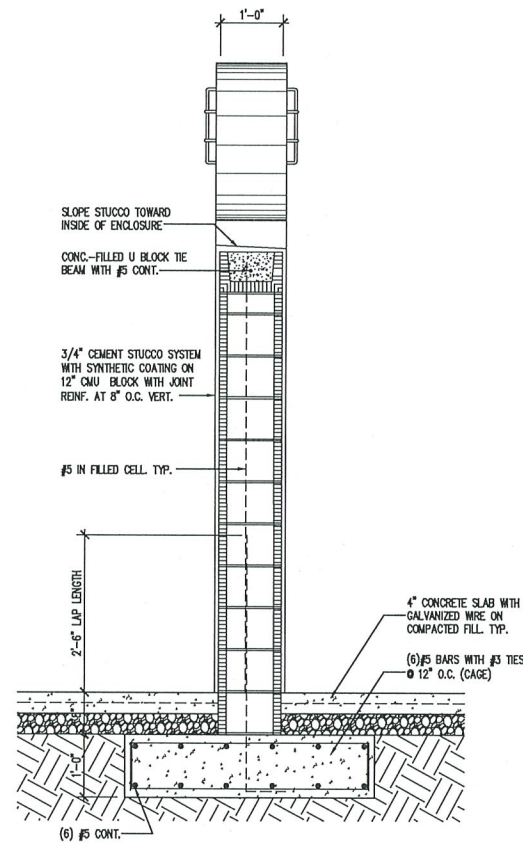
1 LANDSIDE ENTRY GATE TO BEACH
A1.02 1/2" = 1' - 0"



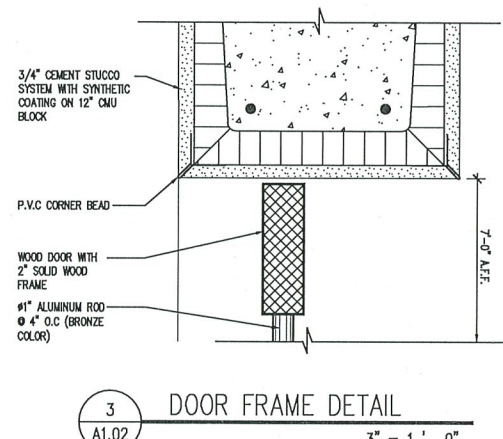
2 LANDSIDE ENTRY GATE TO BEACH
A1.02 1/2" = 1' - 0"



3 ENTRY GATE SIDE ELEV.
A1.02 1/2" = 1' - 0"



4 SECTION
A1.02 3/4" = 1' - 0"



3 DOOR FRAME DETAIL
A1.02 3" = 1' - 0"

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MIC KOPPENHAFFER, P.A. - LICENSE # 004645

REVISIONS:

NO.	DESCRIPTION	DATE

DATE: 06/12/23

LANDSIDE GATE
DIMENSION PLAN
/ELEVATION DETAILS

DRAWN BY: DL
CHECKED BY: MSK
PROJECT NO.: 2023-08.2

A1.02

DD