



GROWTH MANAGEMENT DEPARTMENT STAFF REPORT
VILANO BEACH TOWN CENTER OVERLAY DISTRICT

April 12, 2023 Public Meeting

VBTCDR 2023-01 Vilano Beach Townhomes (aka Breakwater Villas)

To: North Coastal Design Review Board
Staff: Sloane Stephens, Planner
Date: April 5, 2023

Applicant: Russ Ervin
ELM, Inc.
Jacksonville, FL 32207

Location: 145 Vilano Road
FLUM: Town Center Mixed Use (TCMU)
Zoning: TCMU

Applicable Land Development Code Standards: Part 3.10.00: Vilano Beach Town Center Overlay

Summary of Request: Requesting design approval for the construction of the remaining townhome buildings and associated infrastructure for a previously approved townhome development (VBTCDR 2022-09).

STAFF REVIEW

Planning Division: The architectural design of the 3-unit townhome building for this project was approved at the January 11, 2023 NCDRB meeting. At that time, the Applicant also provided drawings of the 8-unit townhome building as a Workshop item. Included in the application are the previously approved 3-unit townhome buildings for reference.

Townhome Buildings

The 4-unit, 5-unit, 6-unit, and 8-unit buildings are attached for consideration. They appear to be in keeping with the architectural characteristics of the previously approved 3-unit building in the Florida Vernacular style and consistent with LDC Section 3.10.05.G. Please see provided elevation renderings below.

Lighting

Proposed site lighting includes flood lights, path bollard lighting, and in-grade sign lights. Such lighting shall be downward facing and not be directly seen at ground level more than 100 yards from the light location. All lighting appears to meet the criteria set forth in LDC Section 3.10.04.A.11.

Amenity Area

Although the conceptual pool pavilion elevations are not in color, it appears it is the Applicant's intention to have the architectural style match the townhome buildings' Florida Vernacular style. Upon review, this would be compliant with LDC Section 3.10.05.G. Staff has recommended that the Applicant prepare colored elevations of all sides of the conceptual pool pavilion for Board review. The Applicant has stated they will come prepared with those materials to the meeting on April 12th.

Landscape/Hardscape & Fountain

Environmental Staff shall complete full review of landscape plans with future construction plan submittals.

The streetscape of the sidewalks surrounding the project are proposed reused glass pavers and coquina sidewalks, which would match the streetscape design throughout the balance of the Town Center.

The proposed fountain is to replace a previously existing streetscape fountain. Per LDC Section 3.10.05.A.13, fountain elements are encouraged in the Vilano Town Center area to provide for bicycle and pedestrian activity. The proposed fountain appears to have the same mosaic tile pattern as the previous fountain, adds some optional seating for pedestrians, and will be visible from all sides of the walkway. Please see the below comparison of the previously existing versus the proposed fountain design:

Previous Fountain Design



Proposed Fountain Design



Street Sign

It appears the proposed signage is not a typical sign for the Vilano Beach Town Center Overlay. However, per LDC Section 3.10.05.I.3.e, signage in addition to the items that are specifically allowed for Building Type II shall require approval of the DRB. The proposed sign is ground-monument style, 2'8.375" in height, 15'8.5" in width, in stucco finish to match the townhome buildings. Letters to display "BREAKWATER VILLAS" in powder-coated aluminum. Signage copy area is 6.5" tall by 14'8.5" wide = 7.96 sf total. The sign follows the curve of the sidewalk on the corner of Vilano and Loja Street. It is proposed to be externally illuminated. Please see attached plans for signage elevation and rendering. Per Comprehensive Plan Policy A.3.1.25, pedestrian-friendly signage on sidewalks will be encouraged. Signage shall comply with land development regulations and permitting requirements. Monument signage is prohibited unless designed of a size and scale suited for a pedestrian walkable place. The applicant should further discuss the proposed signage and its consistency with the Vilano Town Center.

Staff notes that the proposed sign plan has a portion of the monument sign encroaching into the right-of-way. The Applicant will need to seek a right-of-way permit for the allowance of signage in the right-of-way, or revise their signage to be within the property boundaries.

Land Development Code Sections – for reference

LDC Section 3.10.04.A. – General Development Standards and Guidelines (provided in part)

11. Exterior lighting shall be downward facing and designed to encourage outdoor activity during evening hours, although exterior lighting of parking areas shall be kept to a minimum consistent with reasonable safety requirements of the particular business or Structure. Lighting shall not be directly seen at ground level more than one hundred (100) yards from the light location. See additional lighting criteria in 3.06.13. Lighting criteria for the protection of marine turtles and their hatchlings defined in Section 4.01.09 shall be followed accordingly. The use of solar power should be explored to supply electricity to fixtures.

12. Where possible, pedestrian access through Development sites shall be provided for the purpose of providing access to the rear of the buildings and connectivity between the beachfront, the fishing pier, businesses, alleys and parking areas and adjacent residential uses.

13. All new development is encouraged to include streetscape elements that provide for bicycle and pedestrian activity, such as outdoor seating, bicycle racks, fountains, and public art. These elements should facilitate an increased level of activity during daytime and evening hours.

LDC Section 3.10.05.G. – Architectural Standards

1. The architectural styles of new buildings within the VBTC shall be authentic representations of one of three styles: Art Deco, Art Moderne, or "Florida Vernacular", also known as, "Old Florida Beach". The proposed architectural style of all new buildings and renovations to existing buildings must be approved by the Design Review Board. The Design Review Board shall base its determination of conformance to accepted style standards on: 1.) expert testimony regarding the authenticity of the proposed architectural design, 2.) documented patterns for Art Deco, Art Moderne or Florida Vernacular, 3.) the aesthetics of the proposed building or renovation, and 4.) its contribution to the objectives of the VBTC Overlay District.

2. Additions or expansions to existing buildings which are of a Spanish/Mediterranean architectural style will not be required to be reflective of Art Deco, Art Moderne or Florida Vernacular, but must be architecturally compatible with the existing building style, be authentic representations of the documented Spanish/Mediterranean architectural style and be approved by the Design Review Board.

3. All buildings constructed within Town Center Mixed Use District shall have a minimum ground floor, floor to ceiling height of 12 feet.

4. A building's main entrance shall face the main roadway. Buildings located at street corners shall have entrances at the corner or one entrance on each street frontage.

5. Exterior finish materials shall be appropriate for the style of the building, and shall be limited to light colored, stone, brick, stucco, pre-cast concrete, clear glass, clapboard siding, or wood shingles. Walls shall be of no more than two materials, and shall change material along a horizontal line, with the heavier material below the lighter material.
6. Building finishes, design, and architectural detailing shall be consistent and of the same quality for all sides of the building, whereby all outside walls of the building shall be finished with the same materials and chosen style as the front.
7. The void to solid ratio of the frontage includes fenestration (windows, porches, arcades, loggias and balconies). The minimum requirement for fenestration on facades shall be 25 percent.
8. Porches, arcades and loggias may have high localized void to solid ratios, however a continuous series of these elements can undermine the solidity of a façade and should be avoided.
9. Balconies shall be used in moderation and shall be integrated into the overall composition of the façade. Balconies shall not be implemented in a monotonous or repetitive configuration. This pertains to both indented balconies (loggias) and to cantilevered ones.
10. Balconies and porches may be of decorative metal, wood, carved stone, concrete or stucco, and shall extend no more than 3 feet from the facade of the building.
11. Pitched roofs are allowed and where used shall be of silver colored metal. Flat roofs shall be enclosed by parapets no less than forty two (42) inches high, or as required to enclose equipment.
12. Windows shall be recessed a minimum of two (2) inches and shall be vertical or square in proportions.
13. The glazed area and all other openings of a façade shall be at least 25 percent and shall not exceed 45 percent of the total area of each façade, with each façade calculated separately.
14. Openings in upper stories shall be centered directly above openings in the first story. Openings on the gable ends must be centered. Openings shall be a minimum of two (2) feet from building corners unless building has rounded corners as appropriate to style.
15. If shutters are used, they must be operable, sized to match the opening, and provided for all windows on a given wall.
16. All exterior doors, except garage doors, shall be hinged. All windows, except storefront windows shall be operable.
17. Storefronts, retail and office uses are required to face the frontage line, and shall be directly accessible from the sidewalk, or raised porch, arcade or plaza. Each storefront, and all Building Type I structures, must have clear glazed areas, equal to a minimum of seventy (70) percent of its first floor street facing façade length, between two (2) and eight (8) feet from the ground.
18. All awnings shall be sympathetic to the buildings architecture and designed as an integral component of the overall signage package. All awnings on the street level shall project a minimum of four (4) feet from the building façade. All awnings on stories above the first floor shall project a minimum of three (3) feet from the building façade. Variances may be granted administratively in the event that existing site features, such as, but not limited to, narrow sidewalks, utility line poles, and street trees restrict the applicant from full compliance with these regulations. All awnings shall be sloped 30 degrees from horizontal and shed awnings shall have both ends open.
19. All awnings at street level shall have an eight (8) inch vertical valance along the front of the awning. The valance must be provided with concealed weight to prevent excessive movement in high winds. Internally illuminated or vinyl awnings are prohibited.
20. Blank walls facing Vilano Road, Coastal Way or Poplar Avenue shall not be permitted. No parking garages shall be allowed to face Vilano Road or Coastal Highway. No off-street parking lots shall front on Vilano Road or Coastal Highway. No Street facing walls within the VBTC boundaries shall be used as service entrances. The use of

entranceways and display windows shall be used to create business and storefronts that are festive and inviting to the pedestrian and customers.

21. Long monotonous façade designs including, but not limited to, those characterized by unrelieved repetition of shape, form, design, or by unbroken extension of line, shall be avoided.

22. Outdoor pedestrian seating areas are strongly encouraged, and similarly outdoor cafes, rooftop uses, balconies and porches for seating are encouraged.

23. Roof top uses consistent with or compatible with interior uses shall be allowed. Any structures located on the rooftop to support roof top uses shall not exceed 25 percent of the roof top area of the building.

LDC Section 3.10.05.I – Signage Standards (provided in part)

1. General Standards

a. The colors and materials of Signs shall be similar to and compatible with the architectural style and colors and materials of the related commercial or multi-family building.

b. Signs must be professionally designed, lettered and constructed.

c. Wall Signs shall be mounted directly upon wall surfaces, and shall not be mounted upon raceways or other protrusions from the wall surface.

d. In construing the provisions of this Section, messages upon doors or windows, which do not exceed six (6) inches in height, and do not occupy more than 20 percent of the window area shall not be counted as a sign and shall not be subject to review.

e. Signs may be illuminated as provided by Article VII of this Code, however when Signs use exterior lighting, such lighting must be concealed and shielded with hours of illumination to cease no later than 30 minutes after business closing, unless additional time is approved by the DRB.

f. Molded vinyl or plastic internally illuminated signs, iridescent signs, audible, flashing action, paper signs, and internally illuminated box signs are prohibited. No signs with visible backs are permitted. Exposed raceways, transformers, ballasts and electrical wiring are not allowed.

g. LED and neon signs shall be allowed if approved by the Design Review Board.

h. All installation components or hanging devices such as, but not limited to, fasteners, clips, bolts, etc. shall be of a non-corrosive, stainless steel, aluminum, brass or bronze; carbon bearing steel shall be of non-ferrous metal of quality material and finish. All fasteners shall be concealed. All black iron materials shall be finished to withstand corrosion. All penetrations to the fascia shall be neatly sealed in a watertight manner using a single component silicon sealant. All signage shall have an individual circuit and be controlled by a time clock. Exposed conduit or electrical wiring is prohibited.

i. For Signs that contain Federally registered trademarks or service marks, documentation of such registration shall be provided with the application for review.

j. In addition to approved business signs indicated below, the sidewalk café may have the following advertising signs: menu boards on the tables and logos upon table umbrellas.

k. Signage other than the types provided for in this section shall not be allowed within the Vilano Beach Town Center Overlay District. However, signage shall be allowed in accordance with Article VII Special Use Signs, and Special Event Signs.

3. Signage for Building Type II - buildings not having required retail frontages.

- a. Except where the building includes entirely residential uses, a single external sign band may be applied on the façade of each Building Type II, providing that it shall not exceed thirty-six (36) inches in height or 60 percent of the storefront width. The sign band shall be located within the first two stories of the building. If the storefront uses awnings, the copy or logo on the valance shall be considered as square footage against the allowable building signage.
- b. Except where the building includes entirely residential uses additional pedestrian blade signs may be attached perpendicular to the façade extending up to four (4) feet from the frontage line and not exceeding three (3) feet in vertical dimension, including all mounting brackets and hardware, and shall be setback a minimum of two (2) feet from the corner of the building or storefront.
- c. Up to two (2) building identity signs, with the same identity, shall be allowed on buildings of 3 stories, regardless of the number of tenants in the building or the number of facades. Only one building identity sign shall be allowed per facade. Such a sign shall not be internally illuminated and shall not exceed a total sign face area of forty (40) square feet. The building identity sign shall be located within the façade with respect to the architecture of the building or be centered over the primary entrance facing the street.
- d. Where the Building Type II is entirely residential in use, identity signs are permitted for buildings of three stories, and all buildings, regardless of height are permitted address numbers.
- e. Signage in addition to the items specifically allowed here for Building Type II, shall require approval of the Design Review Board.

LDC Section 3.10.05.L – Landscaping Standards (provided in part)

4. General Standards and Guidelines:

a. Plant Species:

(3) A minimum of 50% of the required trees shall be native species, or hybrids or cultivars of native species. No species excluded from the Protected Tree definition (except slash pines) may be used to meet this standard.

(5) Non-living ground cover, such as rocks, gravel, and mulch, may be used in combination with living plant material. The use of artificial plants shall not be permitted to meet any of the landscaping requirements.

b. Minimum Number of Trees: There shall be a requirement of at least eighty (80) Tree Inches per acre, unless technically infeasible as determined by the County Administrator. Additional regulations are required in Section 4.01.05.

h. Street Trees:

(1) Where required by this ordinance, a Street Tree shall be a Cabbage Palm (*Sabal palmetto*) with a clear trunk dimension of between twelve (12) feet and eighteen (18) feet when measured from the finished street elevation directly below the Street Tree.

(2) Street Trees required in a sidewalk area shall be planted in a random pattern within the required planting area on average twenty (20) feet on center. Required Street Trees not in a sidewalk area may be planted closer together, provided all other requirements of this section are satisfied.

i. Shrubs: When used for screening purposes, shrubs shall be cold tolerant and non-deciduous and have a minimum height of twenty-four (24) inches at the time of planting and shall be spaced a maximum of three (3) feet on center.

j. Ground Cover Plants: Ground cover plants shall be spaced so as to present a finished appearance and have reasonably complete coverage within one (1) year after planting. The use of any non-living ground cover such as mulch, gravel, rocks, etc. shall be in conjunction with living plants so as to cover exposed soil.

LDC Section 3.10.08 – Administrative Requirements: Staff review shows there are no open comments on this application. A Pre-application Meeting was not held with the Planning Division. Attached for consideration are:

Application
Supporting Documents

CORRESPONDENCE

No correspondence has been received since the writing of this report.

SUGGESTED ACTION TO APPROVE

The Design Review Board may consider a motion to approve **VBTCDR 2023-01 Vilano Beach Townhomes**, as described within the application, provided:

1. The request complies with Section 3.10 of the St. Johns County Land Development Code, and is consistent with the intent and purpose of the Overlay District.

SUGGESTED ACTION TO DENY

The Design Review Board may consider a motion to deny **VBTCDR 2023-01 Vilano Beach Townhomes**, provided:

1. The request does not comply with Section 3.10 of the St. Johns County Land Development Code.



Application for Overlay District Review
 Growth Management Department
 Planning and Zoning Section
 4040 Lewis Speedway, St. Augustine, FL 32084
 Phone: 904.209.0675; Fax: 904.209-0576

Date Overlay District Property ID No (Strap)

Applicant Phone Number

Address Fax Number

City State Zip Code E-mail

Project Name

Project Address & Location

Type of Review Commercial Use Multi-family Use Other:
Check all that apply

The Project Involves New Building Changes to an existing Building Exterior Repainting Signage (Individual)
Check all that apply Unified Sign Plan Fences / Walls Parking / Lighting Landscaping / Buffers
 Other:

Describe Project and work proposed to be done (Provide additional information by attachment as needed)

Vilano Beach Townhomes is an infill development of forty-nine (49) townhomes comprised of ten (10) buildings located in Vilano Beach Town Center on 3.37 acres at the intersection of Loja Street and Vilano Road. The overall site plan has a full set of approved/ permitted civil engineer documents developed by Matthews Design Group. The previous submission (Appendix A) was approved for the vertical development of three (3) townhomes composed within one (1) building (3-unit) and a workshop item (Appendix B) exhibiting the same design to the largest of the buildings, the 8-unit, to show the design carrying throughout in the "Florida Vernacular Style", recognized under file number "VBTCR 2022-09 Vilano Beach Townhomes - revised from VBTCR 2021-03".

The balance of the development is submitted within this application, consisting of: forty-six (46) additional units within nine (9) buildings comprised of 3-unit (previously approved), 4-unit, 5-unit, 6-unit, and 8-unit designs; the landscape, hardscape, and lighting.

I HEREBY CERTIFY THAT ALL INFORMATION IS CORRECT:
 Signature of owner or person authorized to represent this application:

Signed By _____
 Printed or typed name(s)

Contact Information of person to receive all correspondence if different than applicant:

Phone Number Fax Number E-mail
 Postal Address Name
 City State Zip Code

Please notify the Planning and Zoning Section at 904.209.0675 if you need any special assistance or accommodations to attend the meeting or if you have any questions concerning this application.

Please list any applications currently under review or recently approved which may assist in the review of this application including the name of the PUD/PRD:

Vilano Beach Townhomes (aka Breakwater Villas) Application Description:

Vilano Beach Townhomes is an infill development of forty-nine (49) townhomes comprised of ten (10) buildings located in Vilano Beach Town Center on 3.37 acres at the intersection of Loja Street and Vilano Road. The overall site plan has a full set of approved/permitted civil engineer documents developed by Matthews Design Group. The previous submission (Appendix A) was approved for the vertical development of three (3) townhomes composed within one (1) building (3-unit) and a workshop item (Appendix B) exhibiting the same design to the largest of the buildings, the 8-unit, to show the design carrying throughout in the "Florida Vernacular Style", recognized under file number "VBTCDR 2022-09 Vilano Beach Townhomes - revised from VBTCDR 2021-03".

The balance of the development is submitted within this application, consisting of: forty-six (46) additional units within nine (9) buildings comprised of 3-unit (previously approved), 4-unit, 5-unit, 6-unit, and 8-unit designs; the landscape, hardscape, and lighting throughout the site; the pool and pool pavilion amenity; signage at both site and building units; and the relocation and update of the existing fountain. The street wall of sitting height has been substituted with enhanced landscape plantings and a raised boardwalk.

The following building elevations have been updated from prior submissions (Appendix C) updates including but not limited to: raised boardwalks with ramp and stair access; updated landscape and hardscape; porches at the first floor to accommodate a raised boardwalk for unit access; window grouping changes per respective building elevations; porches updated to break up elevation; downspouts located at front elevations for selected units; materials are further defined; cement plaster/stucco at first floor concrete masonry walls only; fiber cement lap system standard all units at second and third roofs - fiber cement board & batten optional at selected units; fiber cement board & batten at roof terrace penthouse, where located; terrace pergola removed in lieu of wall-mounted corbel trellis (constructability concerns); removal of chimney, where located per unit; and roof terrace railing shifts and updates.

The site and building signage (Appendix D) is included for discussion only and will be formally submitted at a later date.

Remaining Building Submission

March 22, 2023



THIS MATERIAL REPRESENTS PRELIMINARY CONCEPTS AND ARCHITECTURAL AND OTHER DESIGN CONCEPTS BEING CONSIDERED AT THE TIME IT WAS PRODUCED. THIS INFORMATION IS SUBJECT TO REVISIONS AND MODIFICATIONS WITHOUT NOTICE. ALL LOCAL AND STATE INFORMATION, DESCRIPTIONS, PLANS, COPY, GRAPHICS, PHOTOGRAPHY, CHARTS, GRAPHS AND RENDERINGS MAY BE MODIFIED AT ANY TIME AND SHOULD NOT BE RELIED UPON AS FINAL.



Front Elevation (North)



Side Elevation



Side Elevation



Rear Elevation (South)

MATERIAL AND COLOR PALETTE LEGEND

- ① **Raised Seam Metal Roof:**
Berridge
Preweathered
Galvalume
- ② **Stucco, or Horizontal Siding, & Board & Batten:**
Benjamin Moore
2140-70
Winter White
- ③ **Decorative Handrails:**
Aluminium
Dark Bronze
- ④ **Windows:**
Aluminium Clad
or Vinyl
Dark Bronze
- ⑤ **Bahama & Decorative Shutters, Doors, & Garage Doors:**
Benjamin Moore
2140-10
Fatigue Green
- ⑥ **Decorative Beams, Brackets, & Columns, Fascia, and Rooftop Trellis (Optional):**
Benjamin Moore
CSP-30
Espresso Bean
- ⑦ **Sailcloth / Drapery (Optional):**
TBD
- ⑧ **Precast Stone Caps:**
St. Augustine Cast Stone
White, Smooth



THIS MATERIAL REPRESENTS DEVELOPMENT CONCEPTS AND ARCHITECTURAL AND OTHER DESIGN CONCEPTS BEING CONSIDERED AT THE TIME IT WAS PRODUCED. THIS INFORMATION IS SUBJECT TO REVISIONS AND MODIFICATIONS WITHOUT NOTICE. ALL ORALS AND WRITTEN INFORMATION, DESCRIPTIONS, PLANS, COPY, GRAPHICS, PHOTOGRAPHY, CHARTS, GRAPHS AND RENDERINGS MAY BE ACCESSED AT ANY TIME AND SHOULD NOT BE RELIED UPON AS FINAL.



Front Elevation



Side Elevation



Side Elevation



Rear Elevation

MATERIAL AND COLOR PALETTE LEGEND

- ① **Raised Seam Metal Roof:**
Berridge
Preweathered
Galvalume
- ② **Stucco, or Horizontal Siding, & Board & Batten:**
Benjamin Moore
2140-70
Winter White
- ③ **Decorative Handrails:**
Aluminium
Dark Bronze
- ④ **Windows:**
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or Vinyl
Dark Bronze
- ⑤ **Bahama & Decorative Shutters, Doors, & Garage Doors:**
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- ⑥ **Decorative Beams, Brackets, & Columns, Fascia, and Rooftop Trellis (Optional):**
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CSP-30
Espresso Bean
- ⑦ **Sailcloth / Drapery (Optional):**
TBD
- ⑧ **Precast Stone Caps:**
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White, Smooth



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Front Elevation



Side Elevation



Side Elevation



Rear Elevation

MATERIAL AND COLOR PALETTE LEGEND

- ① **Raised Seam Metal Roof:**
Berridge
Preweathered
Galvalume
- ② **Stucco, or Horizontal Siding, & Board & Batten:**
Benjamin Moore
2140-70
Winter White
- ③ **Decorative Handrails:**
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Dark Bronze
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Fatigue Green
- ⑥ **Decorative Beams, Brackets, & Columns, Fascia, and Rooftop Trellis (Optional):**
Benjamin Moore
CSP-30
Espresso Bean
- ⑦ **Sailcloth / Drapery (Optional):**
TBD
- ⑧ **Precast Stone Caps:**
St. Augustine Cast Stone
White, Smooth

BREAKWATER

VILANO BEACH

March 22, 2023

Conceptual 5-Unit Townhome Elevations



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Front Elevation



Side Elevation



Side Elevation



Rear Elevation

MATERIAL AND COLOR PALETTE LEGEND

- ① **Raised Seam Metal Roof:**
Berridge
Preweathered
Galvalume
- ② **Stucco, or Horizontal Siding, & Board & Batten:**
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2140-70
Winter White
- ③ **Decorative Handrails:**
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Dark Bronze
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Benjamin Moore
CSP-30
Espresso Bean
- ⑦ **Sailcloth / Drapery (Optional):**
TBD
- ⑧ **Precast Stone Caps:**
St. Augustine Cast Stone
White, Smooth

BREAKWATER

VILANO BEACH

March 22, 2023

Conceptual 6-Unit Townhome Elevations

SCALE: 1" = 8'-0"



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Front Elevation (East)



Side Elevation



Side Elevation



Rear Elevation (West)

MATERIAL AND COLOR PALETTE LEGEND

- ① **Raised Seam Metal Roof:**
Berridge
Preweathered
Galvalume
- ② **Stucco, or Horizontal Siding, & Board & Batten:**
Benjamin Moore
2140-70
Winter White
- ③ **Decorative Handrails:**
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- ④ **Windows:**
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or Vinyl
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- ⑥ **Decorative Beams, Brackets, & Columns, Fascia, and Rooftop Trellis (Optional):**
Benjamin Moore
CSP-30
Espresso Bean
- ⑦ **Sailcloth / Drapery (Optional):**
TBD
- ⑧ **Precast Stone Caps:**
St. Augustine Cast Stone
White, Smooth

BREAKWATER

VILANO BEACH

March 22, 2023

Conceptual 8-Unit Townhome Elevations

SCALE: 1" = 8'-0"



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RAISED SEAM METAL ROOF



DECORATIVE FRONT and PATIO DOORS



ALUMINIUM CLAD or VINYL WINDOWS



STUCCO or HORIZONTAL SIDING



BAHAMA and DECORATIVE SHUTTERS



GARAGE DOORS

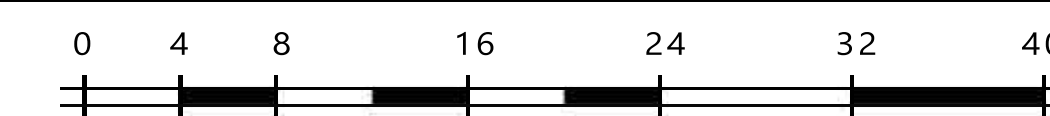


—DECORATIVE LIGHTING

—DECORATIVE LIGHTING

Landscape, Hardscape, & Amenity Submission

March 22, 2023



PLANT MATERIAL

GROUNDCOVERS	SHRUBS	TREES / PALMS
Agapanthus	Sea Grape	Sand Live Oak
African Iris	Coontie	'Brodie' Southern Red Cedar
Aloe	Fakahatchee Grass	Sabal Palms
Shore Juniper	Muhly Grass	-Booted / varied heights
St. Augustine Sod	Wax Myrtle	-Slick / matching heights
	Silver Saw Palmetto	-Curved Trunk
	Simpson's Stopper	Washington Palms
	Schilling's Yaupon	Tree Ligustrum
		Pindo Palm
		Senegal Date Palm
		Phoenix Palm



BREAKWATER

Conceptual Site Landscape - Hardscape Plan

VILANO BEACH

March 20, 2023

SCALE: 1" = 20'-0"



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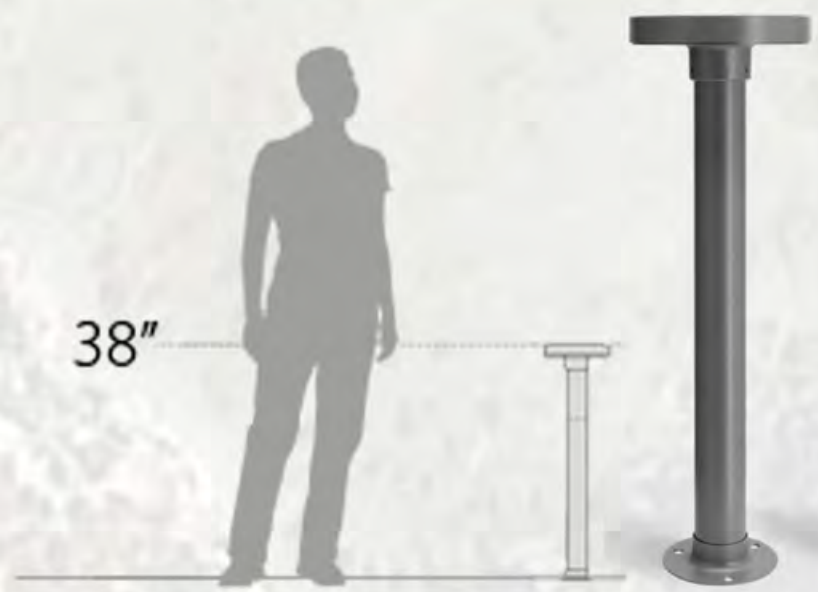


SITE LIGHTING LEGEND

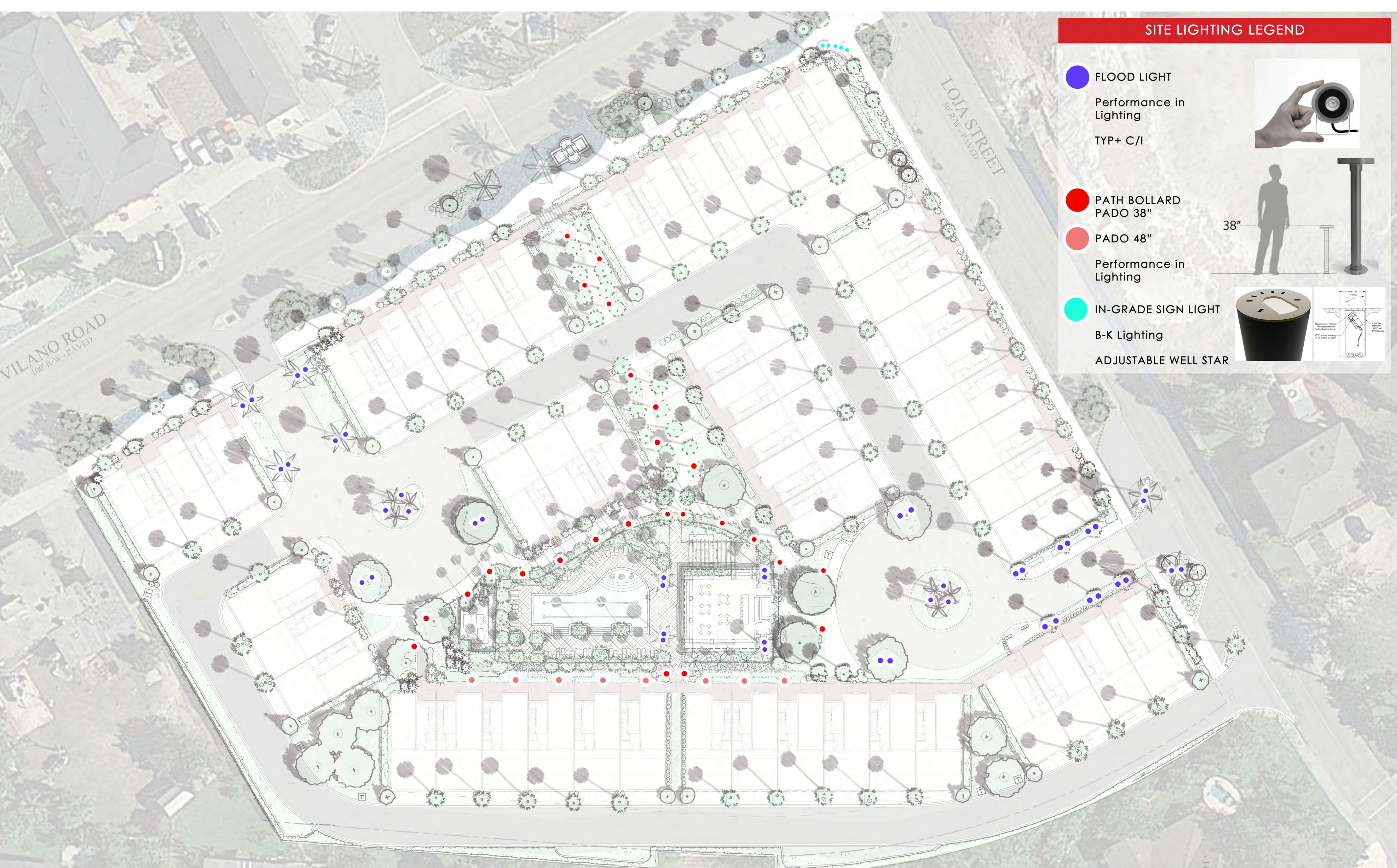
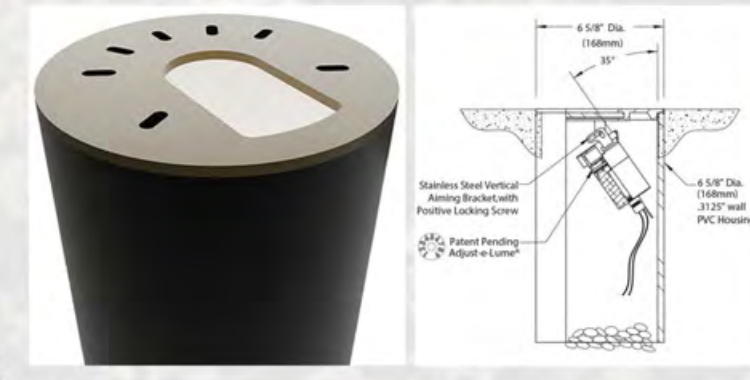
FLOOD LIGHT
 Performance in Lighting
 TYP+ C/I



PATH BOLLARD PADO 38"
PADO 48"
 Performance in Lighting



IN-GRADE SIGN LIGHT
 B-K Lighting
 ADJUSTABLE WELL STAR

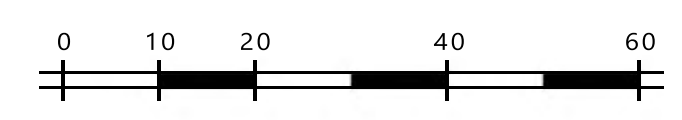


BREAKWATER

VILANO BEACH

March 20, 2023

SCALE: 1" = 20'-0"



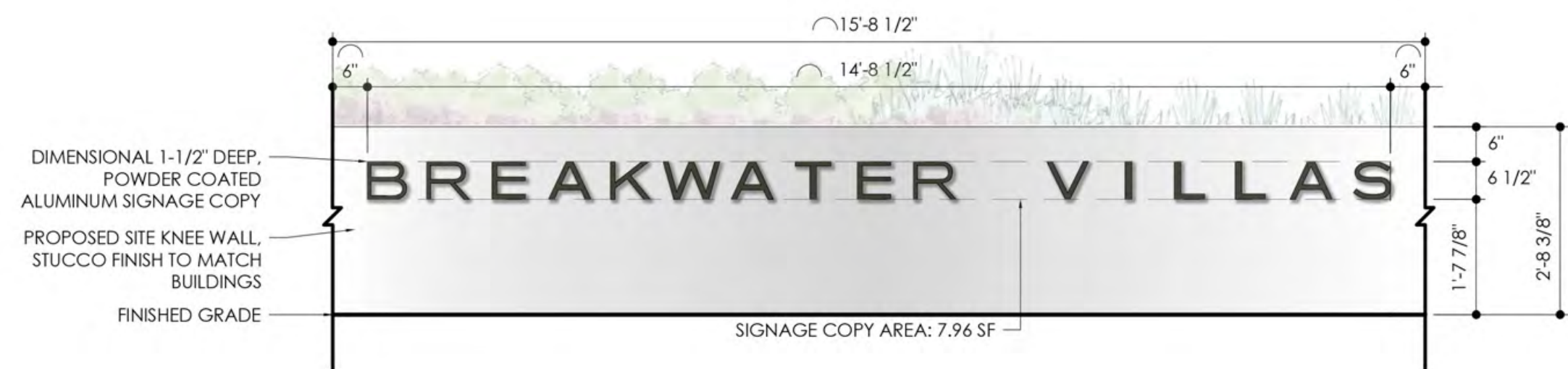
Conceptual Site Lighting Plan



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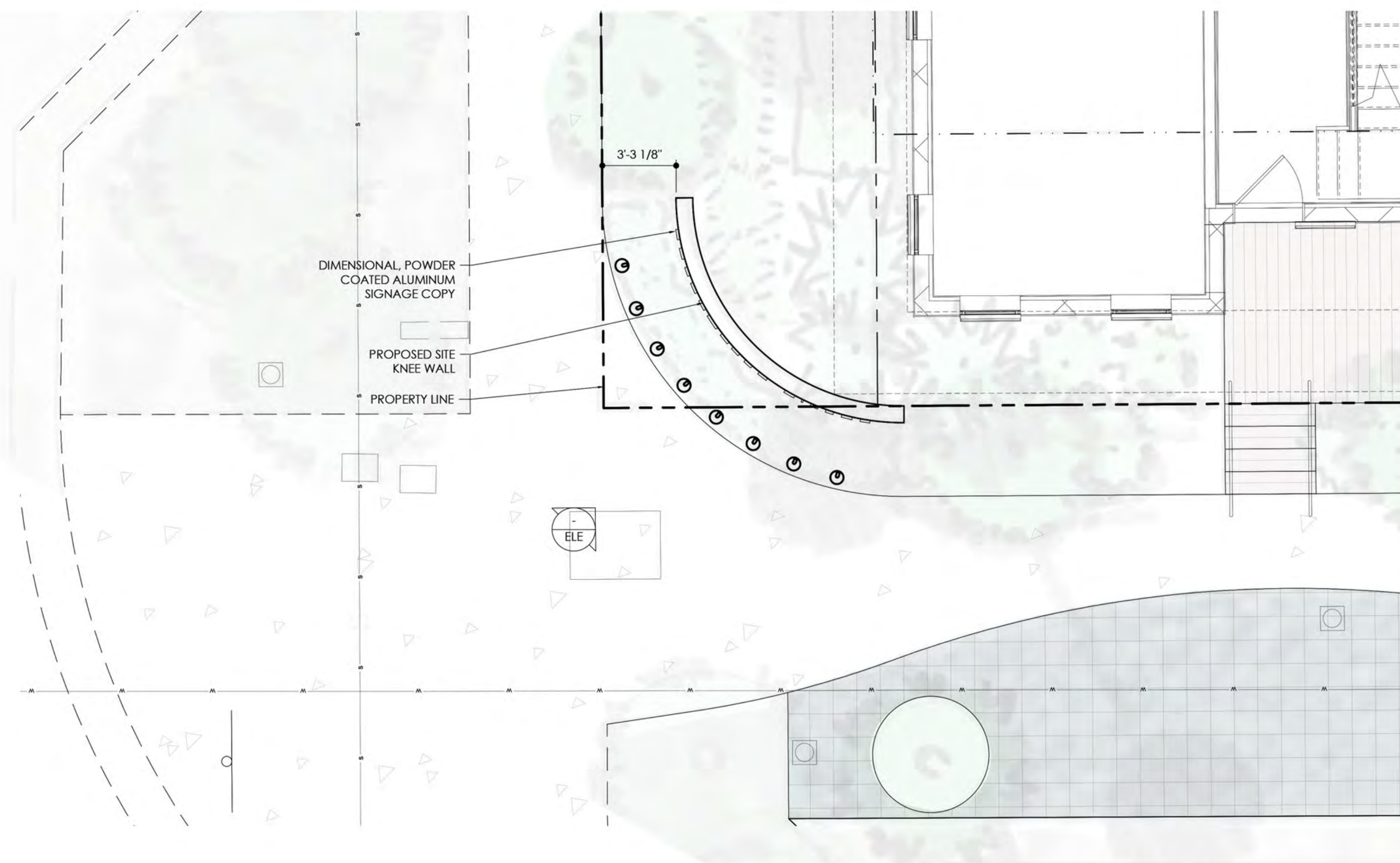




Vilano Road/Loja Street Sign
ELEVATION
1/2" = 1'-0"



Vilano Road/Loja Street Sign
VIGNETTE
NTS



Vilano Road/Loja Street Sign
PLAN
1/4" = 1'-0"



Vilano Road/Loja Street Sign
KEY PLAN
1" = 50'-0"



BREAKWATER

VILANO BEACH

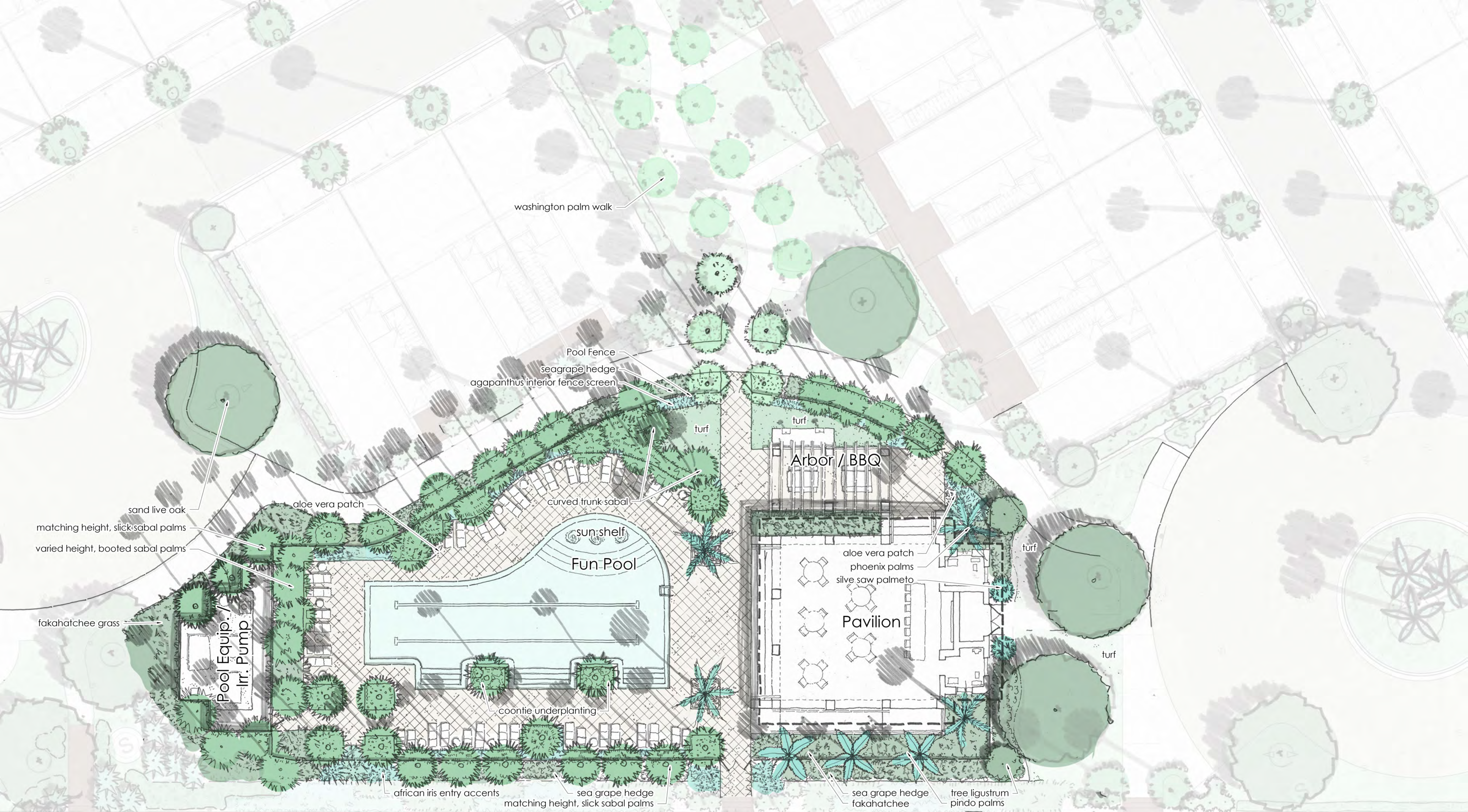
March 21, 2023

Conceptual Vilano Road Fountain

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BREAKWATER

VILANO BEACH

March 20, 2023

SCALE: 1/8" = 1'-0"

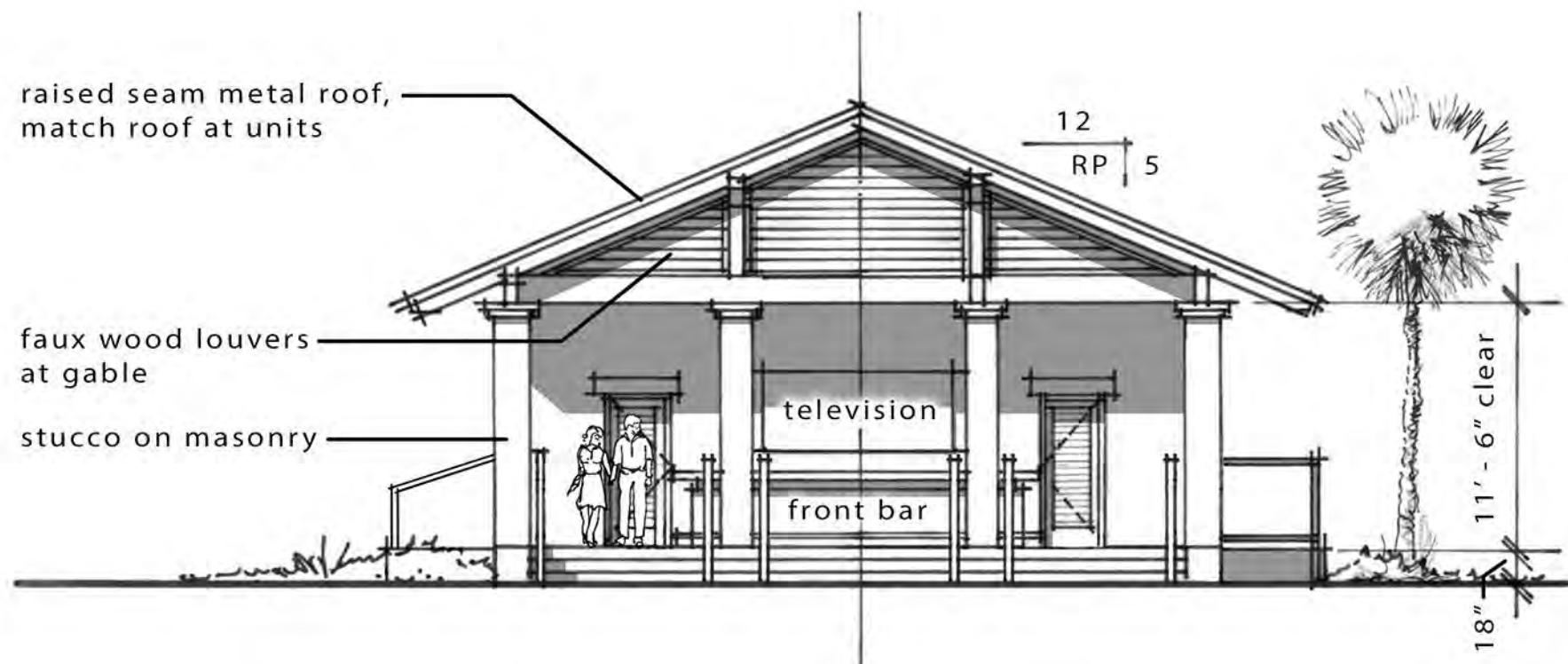


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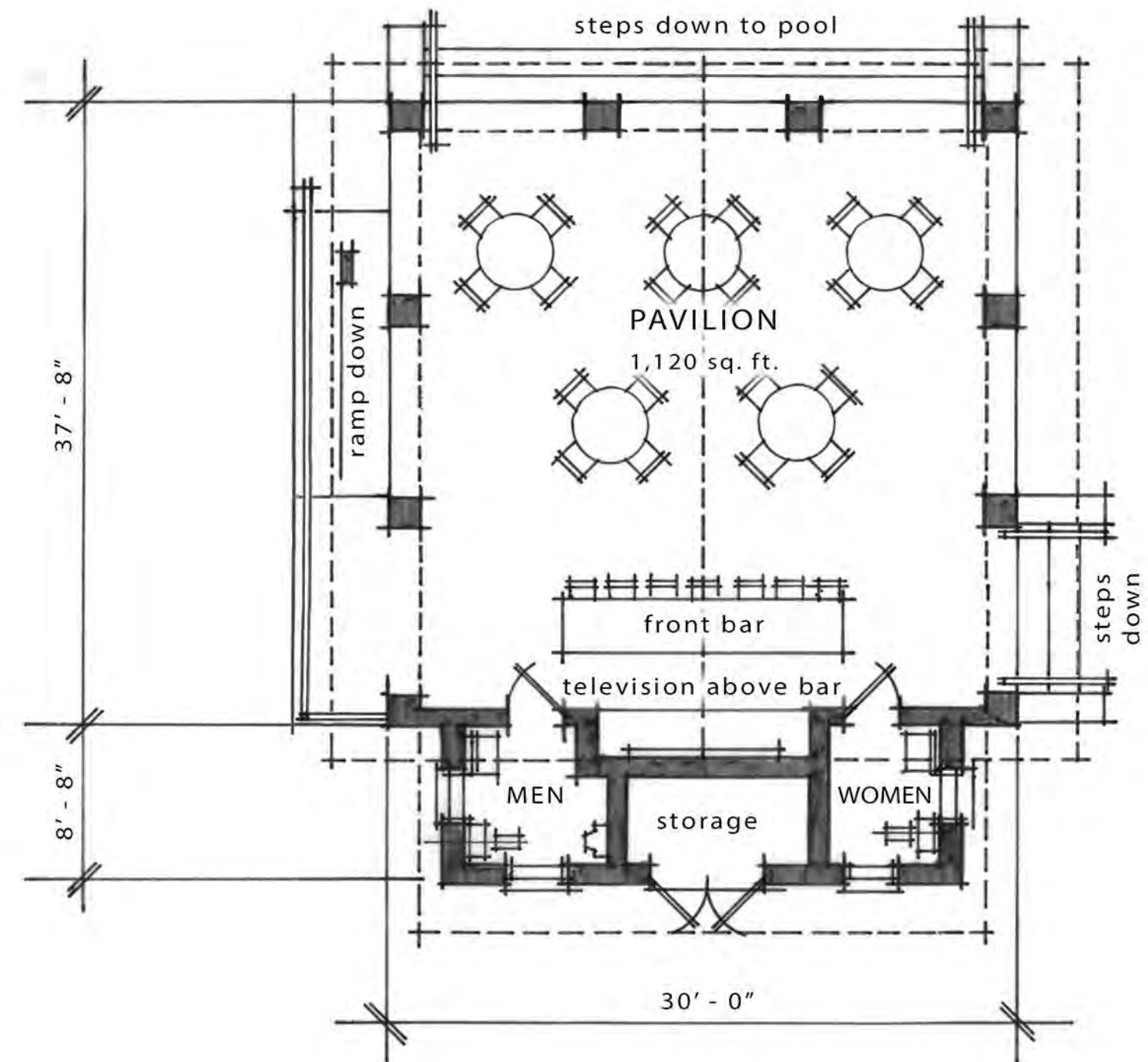
Amenity Conceptual Site Plan

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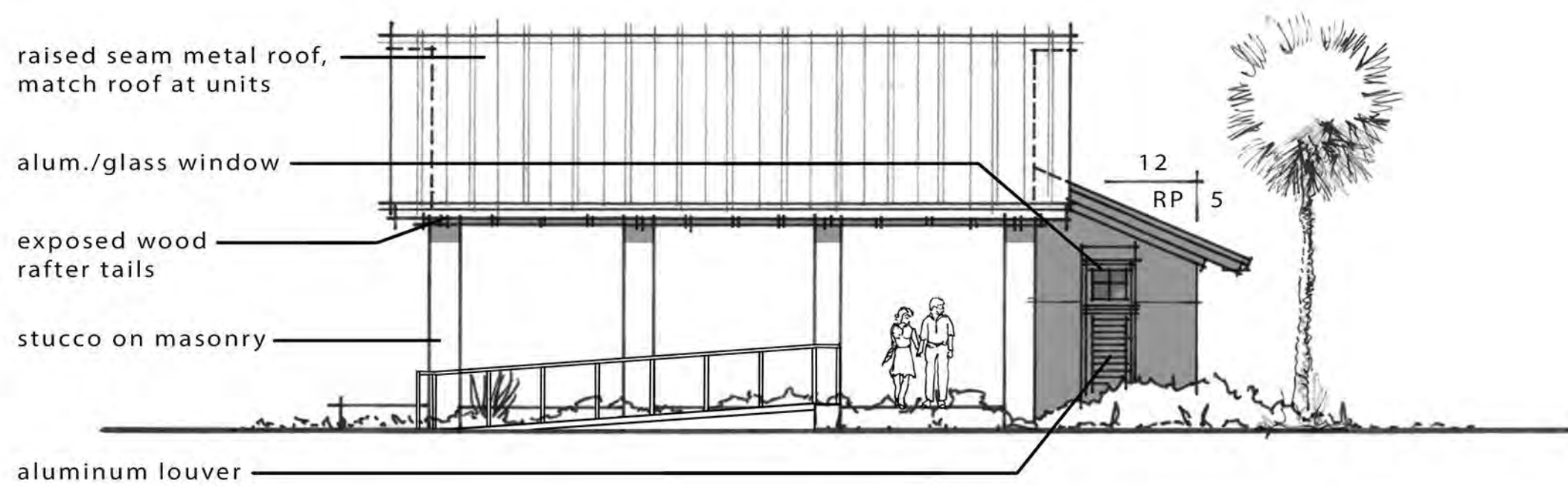




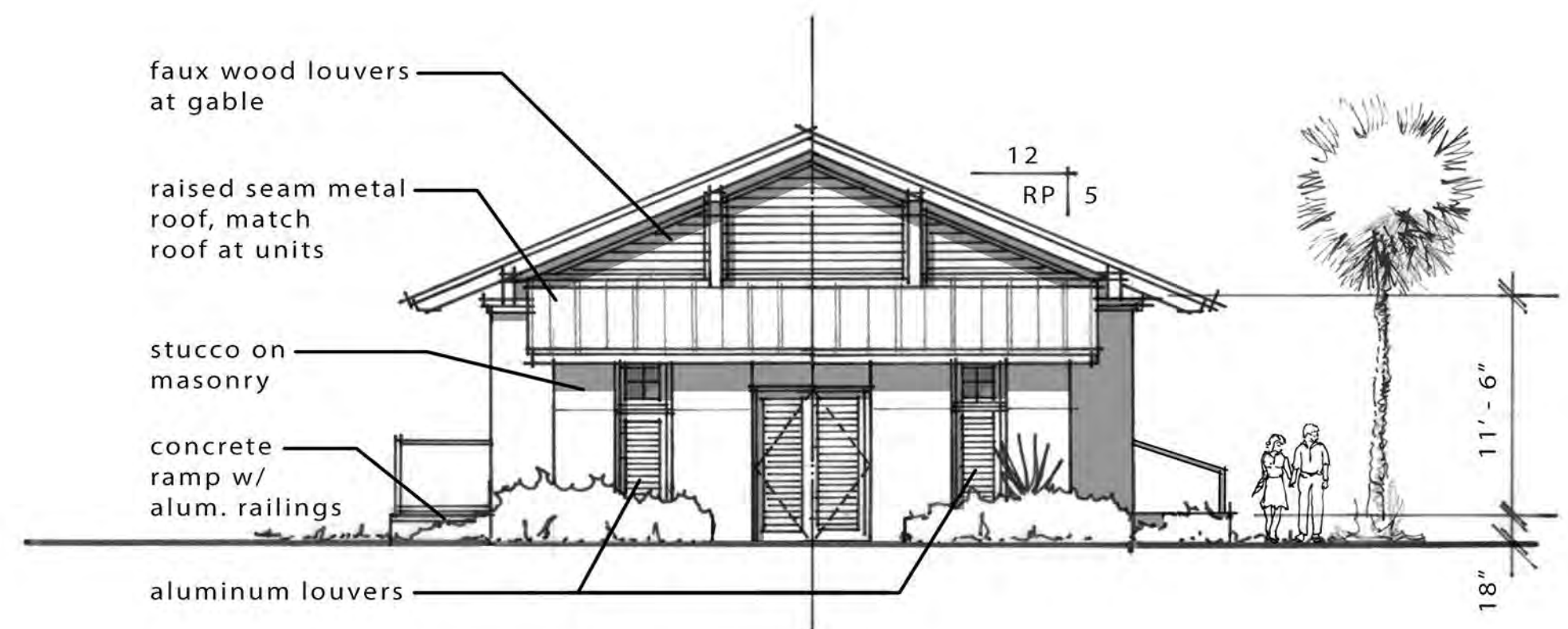
West Elevation



First Floor Plan
under roof: 1,420 sq. ft.



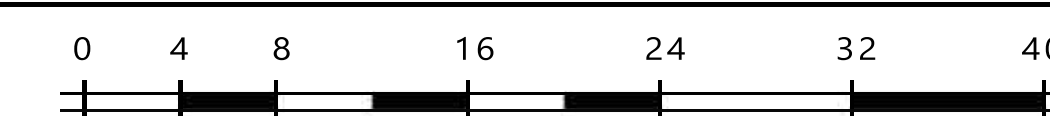
South Elevation (North Similar)



East Elevation

Appendix A: Approved 3-Unit Building Submission

January 4, 2023



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VILANO ROAD



NEW FOUNTAIN LOCATION

TOWNHOMES

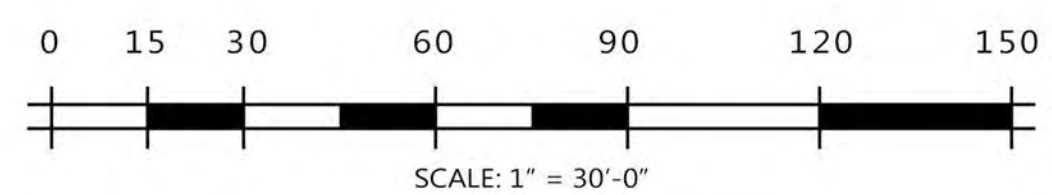
PARKING COURT

LOJA STREET

PARKING COURT

POOL

POOL CABANA



VILANO BEACH TOWNHOMES

VILANO SPRINGS DEVELOPMENT LLC

June 4, 2021

SCALE: 1" = 30'-0"

Conceptual Site Plan

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Original Front Elevation



Proposed Front Elevation (North)



Front Elevation (North)



Side Elevation (East)



Side Elevation (West)



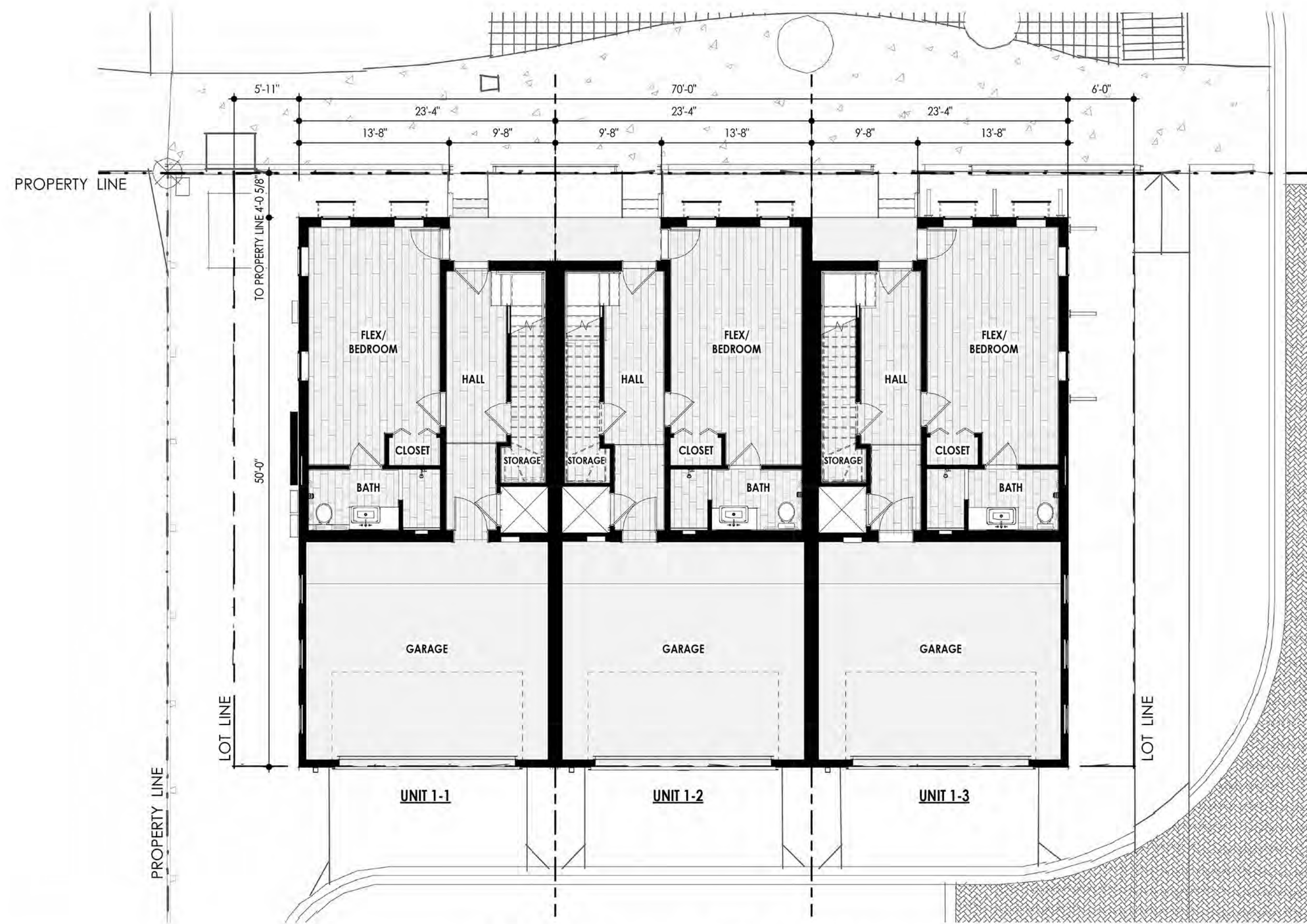
Rear Elevation (South)



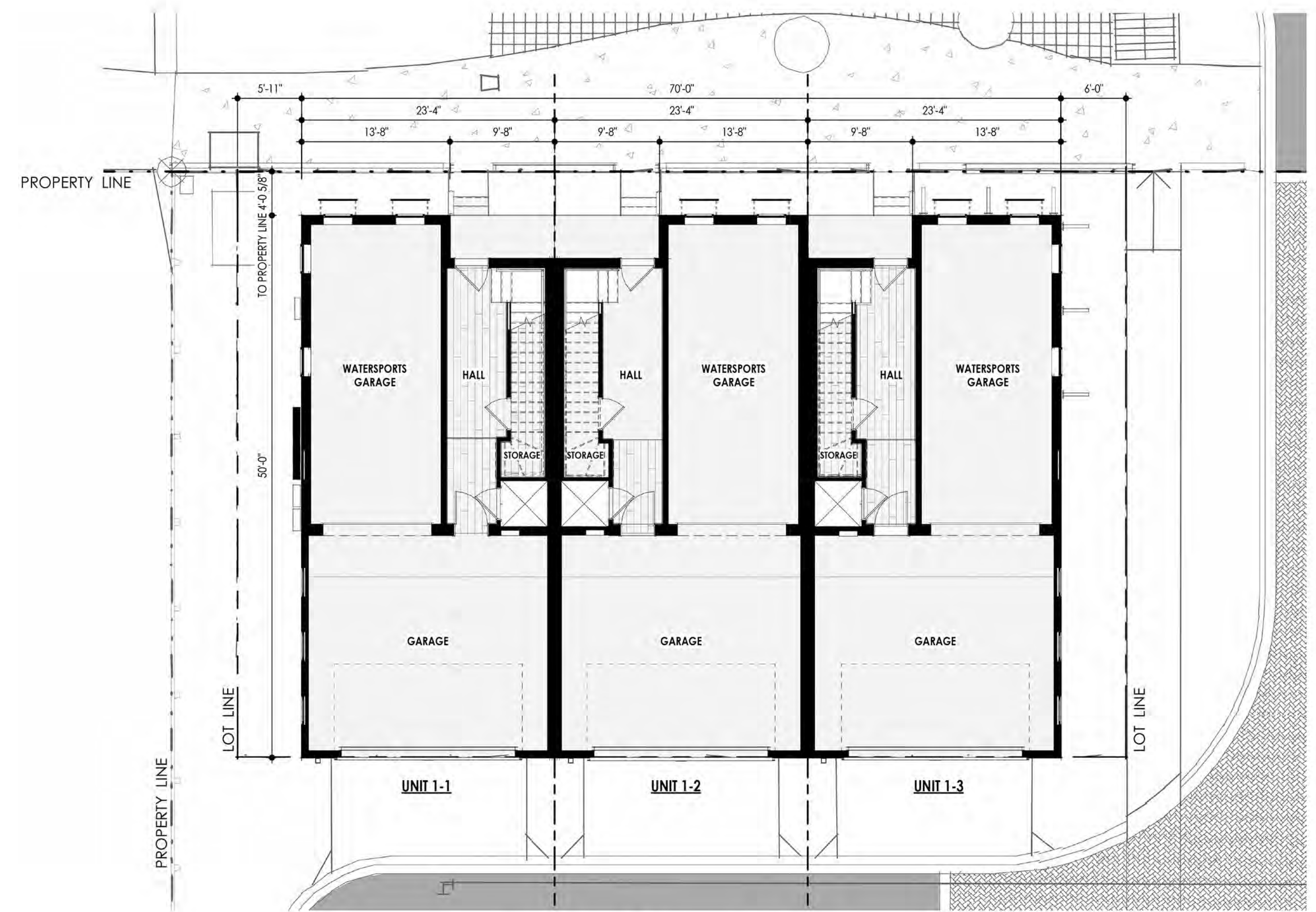
Second Floor - Alternate



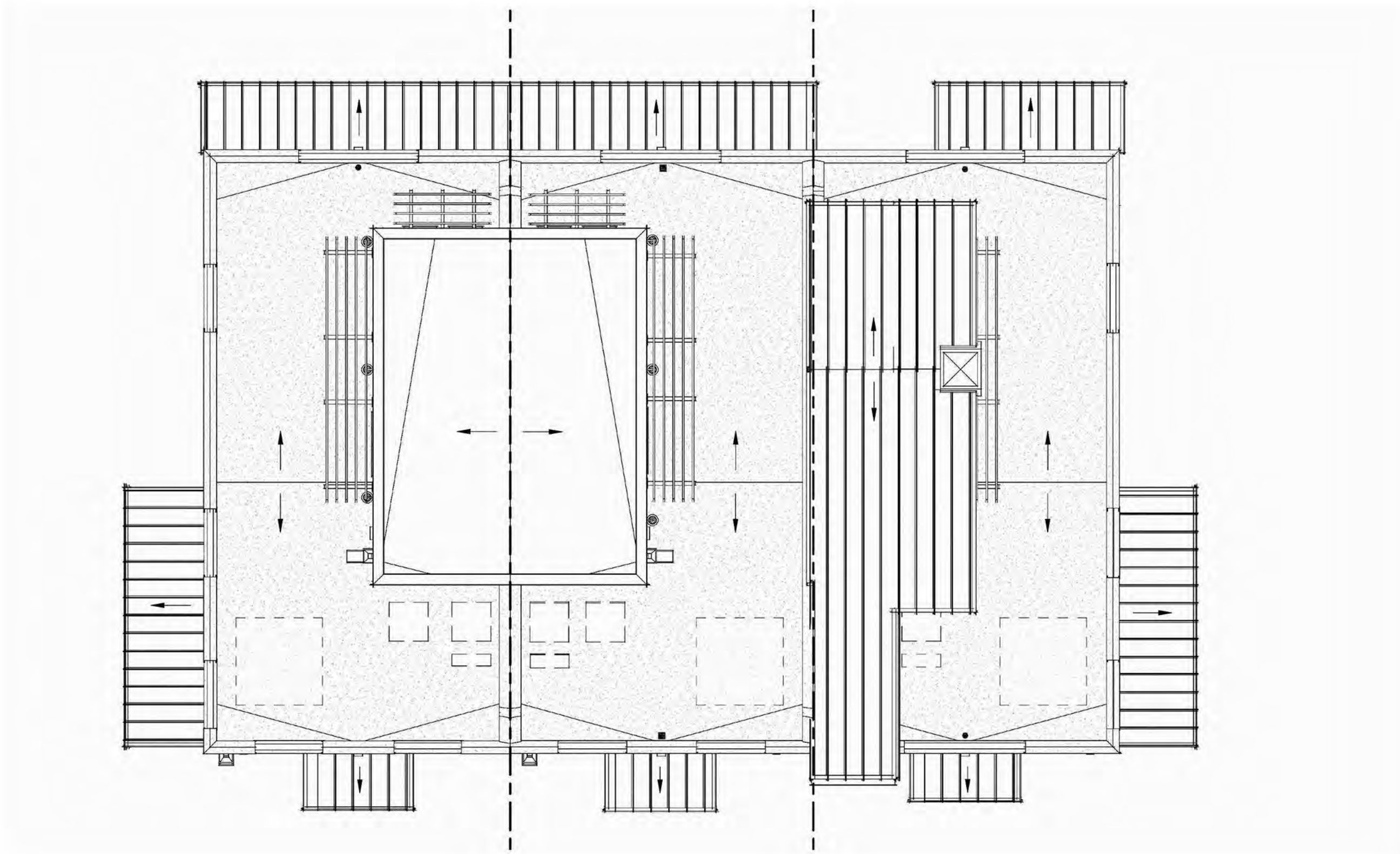
Second Floor - Typical



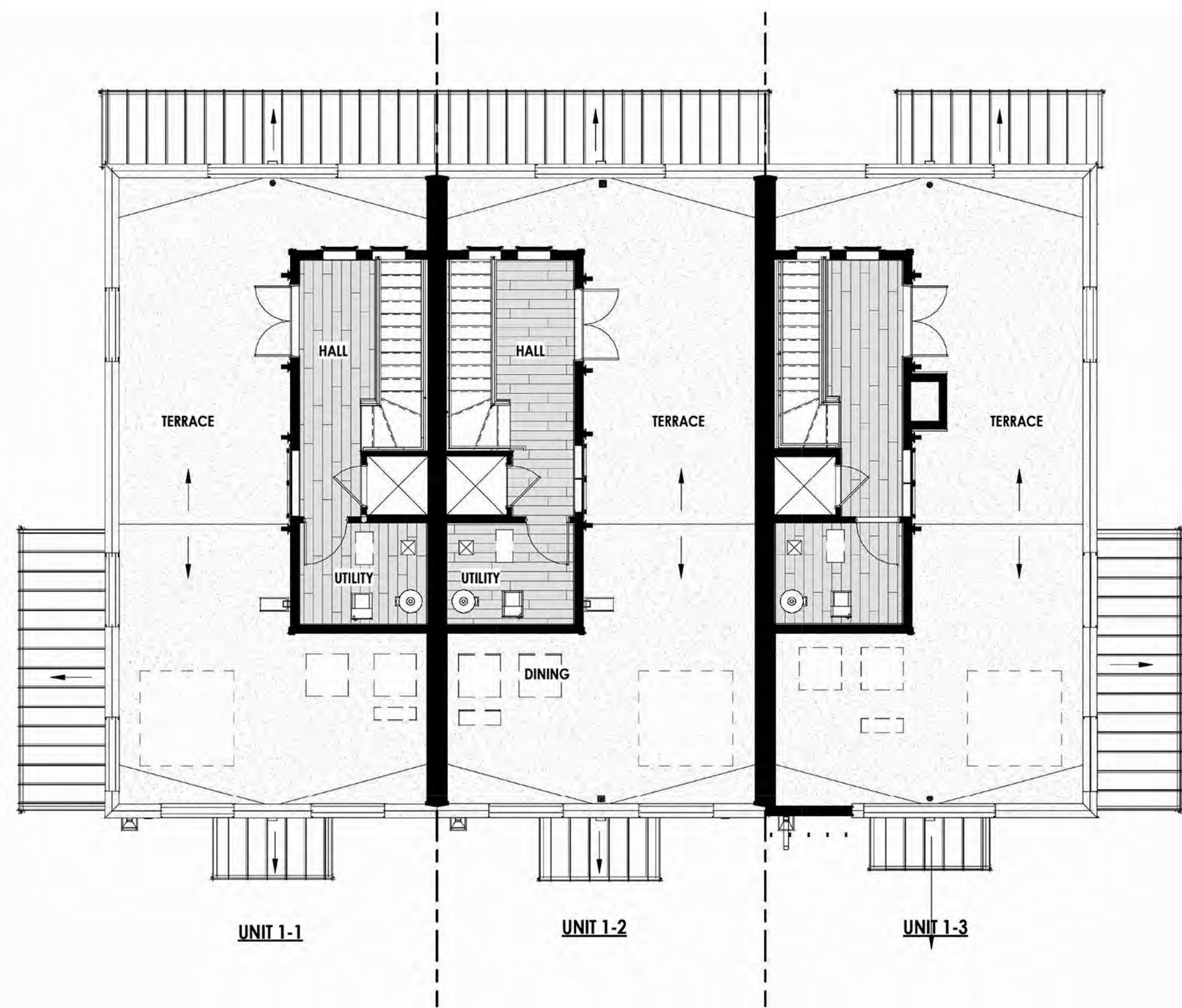
First Floor - Alternate



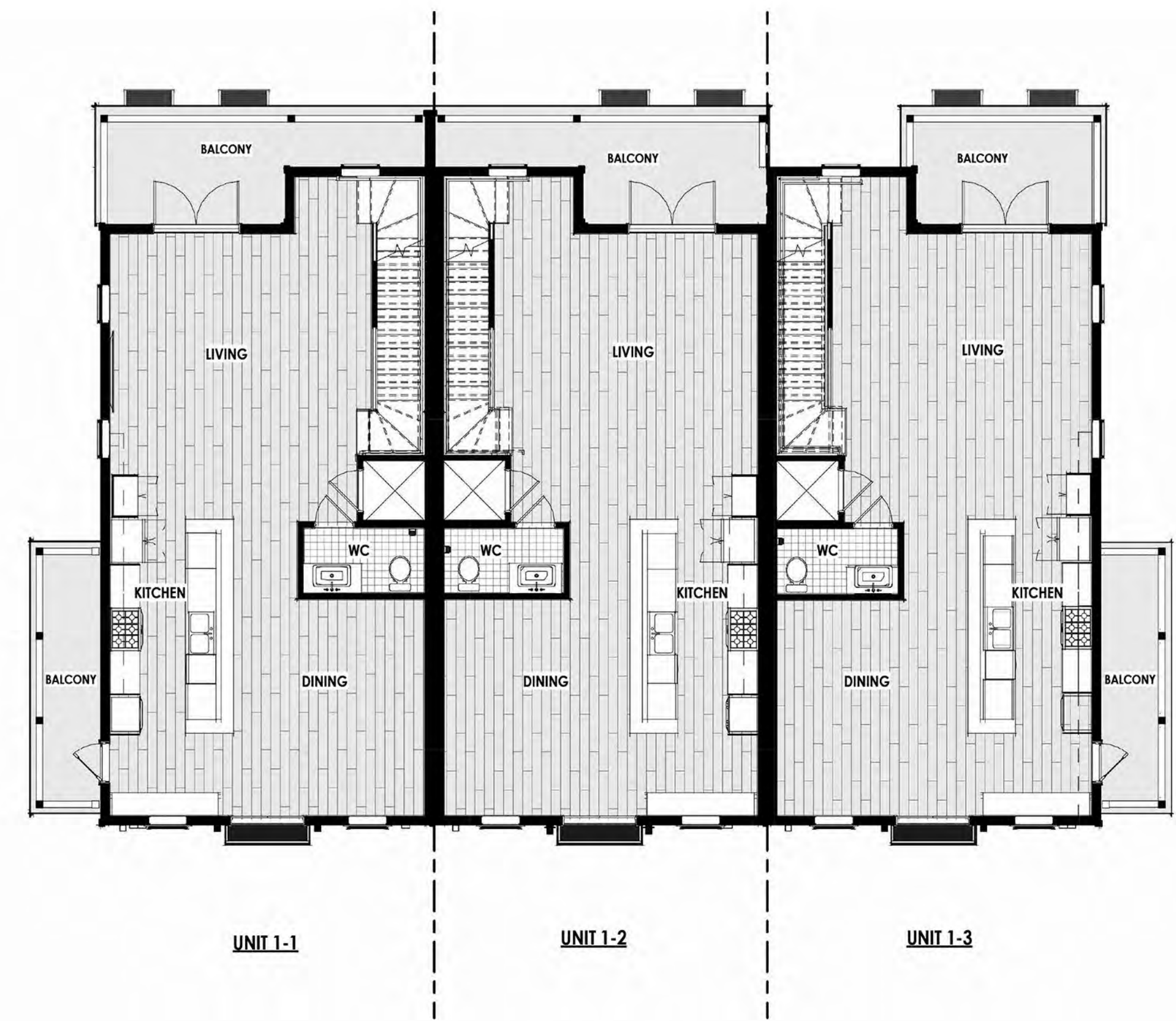
First Floor - Typical



Roof Plan



Penthouse Floor



Third Floor

Conceptual Building Floor Plans

SCALE: 1/8" = 1'-0"

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MATERIAL AND COLOR PALETTE LEGEND

<p>① Raised Seam Metal Roof: Berridge Preweathered Galvalume</p>	<p>② Stucco or Horizontal Siding: Benjamin Moore 2140-70 Winter White</p>	<p>③ Decorative Handrails: Dark Bronze</p>	<p>④ Bahama & Decorative Shutters: Benjamin Moore 2136-50 Colorado Grey Option 1</p>	<p>⑬ Garage Doors: Brown Wood Paint Option 1</p>
<p>⑥ Windows: Aluminium Clad or Vinyl Dark Bronze</p>	<p>⑦ Chimneys (Optional): Benjamin Moore 2140-70 Winter White</p>	<p>⑧ Rooftop Trellis (Optional): Benjamin Moore CSP-30 Espresso Bean</p>	<p>⑤ Bahama & Decorative Shutters: Benjamin Moore 2144-30 Rosemary Sprig Option 2</p>	<p>⑭ Garage Doors: Painted Match Shutter Color Option 2</p>
<p>⑨ Decorative Beams / Brackets: Benjamin Moore CSP-30 Espresso Bean</p>	<p>⑩ Sailcloth / Drapery (Optional): TBD</p>	<p>⑪ Decorative Front Doors: Fiberglass Option 1</p>	<p>⑥ Bahama & Decorative Shutters: Benjamin Moore 2150-40 Spring Dust Option 3</p>	<p>⑮ Garage Doors: Dark Bronze Option 3</p>
<p>⑫ Patio Doors: Aluminium Clad or Vinyl Dark Bronze</p>	<p>⑬ Precast Stone Caps:</p>	<p>⑫ Decorative Front Doors: Painted Match Shutter Color Option 2</p>	<p>⑦ Bahama & Decorative Shutters: Benjamin Moore 2144-20 Eucalyptus Leaf Option 4</p>	
<p>⑭ Decorative Columns: Benjamin Moore CSP-30 Espresso Bean</p>	<p>⑮ Fascia: Benjamin Moore CSP-30 Espresso Bean</p>	<p>⑬ Decorative Front Doors: Dark Bronze Option 3</p>	<p>⑧ Bahama & Decorative Shutters: Benjamin Moore 2140-10 Fatigue Green Option 5</p>	

Appendix B: Reviewed (Workshop) 8-Unit Building Submission

January 4, 2023



Front Elevation (East) - Horizontal Siding Option



Side Elevation (South)



Side Elevation (North)



Front Elevation (East) - Board and Batten Option



Side Elevation (South)



Side Elevation (North)



Original Front Elevation



Proposed Front Elevation (East)



Front Elevation (East)



Side Elevation (South)



Side Elevation (North)



Rear Elevation (West)

Appendix C: Prior Building Submission

June 4, 2021



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5 Unit Townhome



6 Unit Townhome



3 Unit Townhome



4 Unit Townhome



8 Unit Townhome

VILANO BEACH TOWNHOMES

VILANO SPRINGS DEVELOPMENT LLC

June 4, 2021

Conceptual Townhome Elevations

SCALE: 1/8" = 1'-0"

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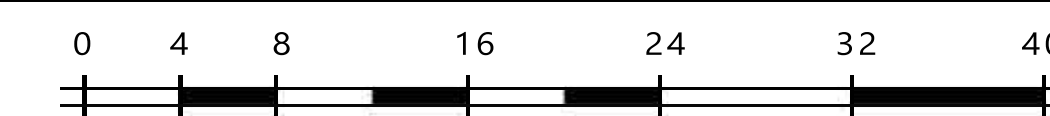
Typical Side Elevations



5 Unit Townhome - Vilano Road

Appendix D: Workshop Items

March 22, 2023





Front Elevation (North / 3-Unit)