



**GROWTH MANAGEMENT DEPARTMENT STAFF REPORT**  
**NORTH COASTAL OVERLAY DISTRICT**  
**May 10<sup>th</sup>, 2023 Public Meeting**  
**NCDRB 2023-02 Mussallem Park – Phase III**

**To:** North Coastal Design Review Board  
**Staff:** Sloane Stephens, Planner  
**Date:** May 3, 2023

**Applicant:** Matthew Lahti  
Gulfstream Design Group, LLC  
2225 A1A S, Suite A2  
St. Augustine, FL 32080

**Location:** Coastal Highway (A1A), Parcel # 142660-0000  
**FLUM:** Park/Recreation  
**Zoning:** RG-1 (Residential, General)

**Applicable Land Development Code Standards:** Part 3.09.00: North Coastal Overlay District

**Summary of Request:** This item is a request for design approval for the construction of a scenic overlook, trail, and restrooms. Staff notes that this is an allowed use by right based on the zoning and future land use of the subject property.

This project, Mussallem Beachfront Park, came before the Board as a whole back in June 2018 (NCDRB 2018-02) and was approved. However, changes have been made to the project that require additional Board review and approval at this time. The previously approved Final Order is attached to the end of this report for reference.

**Staff Review**

**Planning Division:** The subject property is owned by St. Johns County. Phases I and II of the project completed so far have not required Board re-approval as there have been no structures constructed on the site. The As-Built is attached for reference, which shows the parking area as it currently exists from the completion of Phases I and II.

The additions proposed in Phase III of the project include restrooms, a pavilion, cornhole court, and scenic overlook area. All elevations and renderings that were provided by the Applicant are attached to the end of this report for reference. The roofing of all structures appears to be standing seam metal roofs with wood accents/supports. The color of the restroom building is LT Bermuda with white trim. These aspects come together to portray the Florida Vernacular style, which appears consistent with LDC Section 3.09.04.

LDC Section 3.09.04 – Design Guidelines and Development Standards (provided in part)

The pleasing and compatible relationship of structures in the North Coastal Overlay District is of important public concern. The architectural design of structures and their materials and colors should be visually harmonious with the overall appearance, history and cultural heritage of St. Johns County, the South Ponte Vedra and Vilano Beach area. The intent of these standards is to encourage architectural diversity and innovative architecture, which supports the intent of this Part and insures an aesthetically pleasing environment that preserves the integrity of this small town area. Site design and architectural features, such as differentiation of floors and providing for the appearance of separate but connected buildings, should be used to reduce the appearance of excessively large or massive buildings. New buildings shall be designed to contribute to the image of the North Coastal Overlay District community with a pedestrian-oriented, non-urban scale and character. To accomplish these objectives, the following guidelines and standards shall apply to the review of proposed buildings, renovations, and related site improvements, which are subject to the requirements of this Part.

A. Architectural styles of new buildings should be reflective of one of the following historical styles: Art Deco, Florida Vernacular, Spanish or Mediterranean, and Northeast Vernacular. These styles are generally described in Section 3.09.07 of this Part. Elements from these styles should be incorporated into building mass and height, signage, exterior colors, exterior lighting, building materials, rooflines, and any porches, awnings or parapets. Structures should be designed to capture breezes, provide shaded porches and cafes, encourage pedestrian and bicycle use and relate to the character of the area. *Style appears to be consistent with Florida Vernacular.*

B. Long monotonous facade designs including, but not limited to, those characterized by unrelieved repetition of shape or form or design elements, or by unbroken extension of line shall be avoided. The maximum length of any building parallel to the roadway shall be 120 feet. *There are no proposed buildings to be longer than 120 feet.*

C. Commercial Buildings should where possible incorporate the following design patterns and details, to encourage pedestrian activity:

1. The main Commercial Building entrance should face the main roadway. Buildings located at street corners should have entrances at the corner. All outside walls of the building shall be finished with the same materials and chosen style as the front.

2. Unless approved by the Design Review Board, blank walls facing the main roadway shall be avoided and walls facing State Road A1A shall not be used for service entrances. The use of entranceways and display windows should be used to create business and storefronts that are festive and inviting to the pedestrian.

3. Building finishes, design and architectural detailing shall be consistent and of the same quality for all sides of the building. The Design Review Board may consider differences in exterior refinishes for existing Structures providing a cohesive design.

4. Outdoor pedestrian seating areas are strongly encouraged, and similarly, outdoor cafe-type seating is encouraged.

D. Work areas, storage doors and open bays shall not open toward any delineated roadway or any adjacent residential properties. The DRB may consider alternative screening and design concepts to shield work areas, storage doors and open bays from delineated roadways or any adjacent residential properties. This shall not be construed to prohibit outdoor seating and restaurant or bar areas or open display areas. *There do not appear to be any storage doors opening facing any delineated roadway.*

E. Heating, ventilation and air conditioning equipment (excluding roof vents), duct work, air compressors, and other fixed operating machinery shall be either screened from view with fencing architecturally compatible with the Building; or vegetation; or located so that such items are not visible from any roadway or adjacent residential properties. Trash receptacles, dumpsters, utility meters, aboveground tanks, satellite dishes (except as provided by Florida law), antenna, and other such structures shall be similarly screened or concealed from sight. Chain link, barbed wire and similar fencing materials shall not be allowed in any required Front Yard, and where such fencing can be viewed from any delineated roadway, landscaping or berming shall be provided to prohibit visibility from such roadway or any adjacent residential properties.

F. Exterior lighting for safety and security shall be kept to a minimum consistent with reasonable safety requirements of the particular business or Structure. Safety and security lights, other than low-wattage lights or ground-area lights, shall be downward facing and shall not be directly visible at ground level more than one hundred (100) yards from the light location. Parking area lights shall be no higher than the eave of the adjacent buildings. See additional lighting criteria in 3.06.13. Lighting criteria for the protection of marine turtles and their hatchlings defined in Section 4.01.09 shall be followed accordingly. The use of solar power should be explored to supply electricity to fixtures.

#### LDC Section 3.09.05 – Lighting Criteria

Architectural lighting shall be recessed under roof overhangs or generated from a concealed light source, or low level light fixtures. Site lighting shall be of low-intensity, shall be of white light which does not distort colors and shall not spill over into adjoining properties, roadways or in any way interfere with the vision of oncoming motorists. Specifically, lighting shall be downward facing full cut-off, no higher than 20 feet and shall have a maximum illumination level of 0.30 foot-candles at ground level at the lot line. *Per Environmental Division, all proposed exterior and interior lighting at the site shall meet the provisions of Section 4.01.09 of the Land Development Code for the protection of marine turtles. Applicant has stated in the Cover Letter that lighting design is to be minimal low intensity bollard style lights, of amber color to comply with LDC Section 4.01.09, creating minimal to no spillover at the property line. A photometric plan will be required with the construction plan review.*

#### LDC Section 3.09.06 – Architectural Styles and Design Elements (provided in part)

Proposed Structures and exterior renovations shall not be required to strictly adhere to any particular architectural form or style, but should contain features and elements which contribute to the overall styles described herein and found throughout the North Coastal Overlay District. To assist in defining styles for the District, the following general descriptions and guidelines should be considered in the design of proposed Structures and exterior renovations.

**B. Florida Vernacular** – Florida Vernacular style may include styles commonly referred to as Florida Cracker, Old Florida Beach, and Gulf Coast. Vernacular architecture is not a clearly defined architectural style, but rather a method of construction that develops particular to a geographic area over time. Vernacular styles historically utilized raw materials that were commonly available in a region and contain functional forms and features appropriate to the physical characteristics of an area, such as climate and topography. Vernacular architecture also commonly contains elements that have derived and evolved from the ancestry of a region’s settlers. In Northern Florida, vernacular structures were generally simple, modest structures, rectangular in form with little elaboration. Horizontal wood siding, wood shingles and board and batten with gable or hipped roofs of metal or composition shingles were common. Wide wrap-around porches and large windows with shutters were common. Wide overhanging eaves and breezeways were typically incorporated to provide shade and maximum ventilation. Representative examples include Seaside (Florida Panhandle), Celebration (Orlando), Tides Edge (South Ponte Vedra) and Haile Plantation (Gainesville). The following materials and features shall be considered appropriate:

1. Horizontal wood siding, wood shingles and board and batten with gable or hipped roofs of metal or composition shingles. *Roofing is proposed to be metal.*
2. Wide wrap-around porches and large windows with shutters. *There are no porches on proposed structures.*
3. Wide overhanging eaves and breezeways were typically incorporated to provide shade and maximum ventilation. *The restroom structure provides a shaded overhang area.*
4. Exterior colors of paints and stains for new Building or Structure Construction or Development may be nature-blending or pastel colors, with no more than three colors per building, excluding roof color, unless approved by the Design Review Board. All exterior color hues should be subdued, consistent. In general, such hues of greens, yellows, corals, browns, blues, grays, tans and beiges shall be considered appropriate. Building materials and exterior finish surfaces include stucco, cement composite, wood siding or wood shingle, brick, exterior insulation-and-finish systems (EIFS), or other materials with similar texture and appearance shall be considered appropriate. Public art such as murals will not be applicable to the color standards in this paragraph. The design of the mural will not exceed a maximum of fifteen percent (15%) of the façade in which it is located unless additional area is approved by the DRB. *Proposed colors and materials appear consistent with these standards.*
5. Architectural grade shingles, metal standing seam, 5 V Crimp metal roofing, tile or other non-reflective roof materials with similar nature-blending texture and appearance shall be considered appropriate. Roof angles should be a minimum of twenty (20) degrees and may incorporate dormer windows. *Metal standing seam roof is proposed.*

LDC Section 3.09.08 – Administrative Requirements: Staff review shows there are no open comments on this application. A Pre-application Meeting was held with the Planning Division (DRC) on January 18, 2023. There was no preliminary review by the Design Review Board. Attached for consideration are:

- Application
- Site Plan & As-Built
- Architectural Elevations/Renderings
- Previous NCDRB 2018-02 Final Order

**CORRESPONDENCE**

No correspondence has been received since the writing of this report.

**SUGGESTED ACTION TO APPROVE**

The Design Review Board may consider a motion to approve **NCDRB 2023-02 Mussallem Park - Phase III**, as described within the application, provided:

1. The request complies with Section 3.09 of the St. Johns County Land Development Code, and is consistent with the intent and purpose of the Overlay District.

**SUGGESTED ACTION TO DENY**

The Design Review Board may consider a motion to deny **NCDRB 2023-02 Mussallem Park - Phase III**, provided:

1. The request does not comply with Section 3.09 of the St. Johns County Land Development Code.

# Application & Site Plan



**Application for Overlay District Review**  
 Growth Management Department  
 Planning and Zoning Section  
 4040 Lewis Speedway, St. Augustine, FL 32084  
 Phone: 904.209.0675; Fax: 904.209-0576

Date  Overlay District

Applicant  Phone Number

Address  Fax Number

City  State  Zip Code  E-mail

Project Name

Project Address & Location

Type of Review  Commercial Use  Multi-family Use  Other:

The Project Involves  New Building  Changes to an existing Building  Exterior Repainting  Signage (Individual)  
 Check all that apply  Unified Sign Plan  Fences / Walls  Parking / Lighting  Landscaping / Buffers  
 Other:

Describe Project and work proposed to be done (Provide additional information by attachment as needed)

I HEREBY CERTIFY THAT ALL INFORMATION IS CORRECT:  
 Signature of owner or person authorized to represent this application:

Signed By \_\_\_\_\_  
 Printed or typed name(s)

Contact Information of person to receive all correspondence if different than applicant:  
 Phone Number   Fax Number   
 E-mail   
 Postal Address  Name   
 City  State  Zip Code

Please notify the Planning and Zoning Section at 904.209.0675 if you need any special assistance or accommodations to attend the meeting or if you have any questions concerning this application.

Please list any applications currently under review or recently approved which may assist in the review of this application including the name of the PUD/PRD:

# ENGINEERING PLANS

## FOR

# MUSSALLEM BEACHFRONT PARK PHASE III

## ST. JOHNS COUNTY, FLORIDA

NO.	DATE	BY	DESCRIPTION
1	11-16-2022	RCM	RCM PER MARCO MIGLIARO'S COMMENTS
2	12-28-2022	MHL	DESIGN TEAM COMMENTS
3	02-20-2023	MHL	ISSUED FOR PERMIT REVIEW
4	04-18-2023	RCM	REVISED PER SJC COMMENTS
5			
6			
7			
8			
9			
10			

### PROJECT TEAM

<b>LAND OWNER</b> ST. JOHNS COUNTY 500 SAN SEBASTIAN VIEW ST. AUGUSTINE, FL 32084 PHONE: 904.209.0192 CONTACT: GAIL OLIVER, PLS	<b>SURVEYOR:</b> ST. JOHNS COUNTY LAND MANAGEMENT SURVEYING AND MAPPING DIVISION 500 SAN SEBASTIAN VIEW ST. AUGUSTINE, FL 32084 PHONE: 904.209.0766 FAX: 904.209.0767 CONTACT: GAIL OLIVER, PLS	<b>ARCHITECT</b> POND AND COMPANY 1200 RIVERPLACE BLVD SUITE 600 JACKSONVILLE, FL 32207 PHONE: 904.543.0400 FAX: 904.543.0400 CONTACT: MARCO MIGLIARO
<b>DEVELOPER/APPLICANT</b> ST. JOHNS COUNTY PUBLIC WORKS 2750 INDUSTRY CENTER DRIVE ST. AUGUSTINE, FL 32084 PHONE: 904.209.0192 CONTACT: SCOTT AUGUSTINE		
<b>CIVIL ENGINEER:</b> GULFSTREAM DESIGN GROUP, LLC 2225 A1A S, SUITE A2 ST. AUGUSTINE, FL 32080 PHONE: 904.794.4231 CONTACT: MATT LAHTI, P.E.		

**LOCATION OF SITE**  
 COASTAL HIGHWAY A1A  
 PARCEL ID # 142660 0000



**LOCATION MAP**  
 SCALE: N.T.S.

### SHEET INDEX

Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	SWPPP
4	AS-BUILT SURVEY
5	AS-BUILT SURVEY
6	SITE PLAN
7	GRADING & DRAINAGE PLAN
8	UTILITY PLAN
9	CONSTRUCTION DETAILS
10	CONSTRUCTION DETAILS

### PRIVATE UTILITY COMPANIES

<b>ELECTRIC</b> FLORIDA POWER AND LIGHT 303 HASTINGS AVENUE ST AUGUSTINE, FL 32084 PHONE: 904-255-3003 CONTACT: ROBERT HADDOCK	<b>TV CABLE</b> COMCAST 5934 RICHARD ROAD JACKSONVILLE, FL 32216 PHONE: 904-380-8341 CONTACT: JAMES GRAHAM	<b>TELEPHONE</b> AT&T 735 MILL CREEK ROAD JACKSONVILLE, FL 32211 PHONE: 904-727-1572 CONTACT: SCOTT HIGGINS	<b>GAS</b> TECO PEOPLES GAS P.O.BOX 31318 TAMPA, FL 33631 PHONE: 904-477-5908 CONTACT: MICHAEL SUN
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### PUBLIC UTILITY PROVIDERS

<b>WATER</b> NORTH BEACH UTILITIES, INC. 4125 COASTAL HIGHWAY ST AUGUSTINE, FL 32084 PHONE: 904-924-1806 CONTACT: ROBERT USINA	<b>SEWER</b> NORTH BEACH UTILITIES, INC. 4125 COASTAL HIGHWAY ST AUGUSTINE, FL 32084 PHONE: 904-924-1806 CONTACT: ROBERT USINA
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### REGULATORY AGENCY

<b>FDEP - WATER &amp; SEWER</b> 8800 BAYMEADOWS WAY, SUITE 100 JACKSONVILLE, FL 32256 CONTACT: JENNIFER LYLES PHONE: (904) 256-1700	<b>ST. JOHNS RIVER WATER MANAGEMENT DISTRICT</b> 7775 BAYMEADOWS WAY W #102 JACKSONVILLE, FL 32256 CONTACT: EVERETT FRYE, P.E. PHONE: (904) 448-7913	<b>ST. JOHNS COUNTY DEVELOPMENT SERVICES</b> 4040 LEWIS SPEEDWAY ST AUGUSTINE, FL 32084 CONTACT: TERESA CAMPBELL PAY PHONE: (904) 209-0660
<b>FDOT</b> 3600 DOT RD. ST AUGUSTINE, FL 32084 CONTACT: NATE GOTTSCHALK PHONE: (904) 825-5026		

### GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- GULFSTREAM DESIGN GROUP, LLC AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- ANY AND ALL WORK CONDUCTED WITHIN THE ST. JOHNS COUNTY RIGHT-OF-WAYS MUST BE IN ACCORDANCE WITH ALL APPLICABLE LAND DEVELOPMENT CODES.
- ALL ELEVATIONS SHOWN HEREIN ARE REFERENCED TO NORTH AMERICAN GEODETIC VERTICAL DATUM 1988 (NAVD 88).
- HORIZONTAL PROJECTION FOR THIS PLAN SET IS BASED ON NAD83 FLORIDA STATE PLANES, EAST ZONE, US FOOT.
- LEGAL DESCRIPTION - SEE SURVEY.

**PREPARED FOR**  
**ST. JOHNS COUNTY**  
 500 SAN SEBASTIAN VIEW  
 ST. AUGUSTINE, FL 32084  
 PHONE: (904) 209-0192  
 CONTACT: SCOTT AUGUSTINE

**PREPARED BY**



©GDG 2022  
 2225 A1A S, SUITE A2  
 ST. AUGUSTINE, FLORIDA 32080  
 Phone: (904) 794-4231  
 www.gulfstreamdesign.com

100% PLANS

ENGINEERING PLANS BASED ON			
PLAN TYPE	COMPANY NAME	REVISION	REVISION DATE
SURVEYOR	ST. JOHNS COUNTY LAND MANAGEMENT	1	10/20/22
ARCHITECT	POND AND COMPANY	1	12/30/22

### FLOOD ZONE

THE SUBJECT PROPERTY IS LOCATED IN THE FLOOD ZONE "X" PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12109C0376H, DATED SEPTEMBER 2,2004

This item has been digitally signed and sealed by Matthew H. Lahti, P.E. on the date adjacent to the seal.  
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

**ENGINEERING PLANS**  
 FOR  
**MUSSALLEM BEACHFRONT PARK PHASE III**  
**COVER SHEET**  
 ST. JOHNS COUNTY, FLORIDA

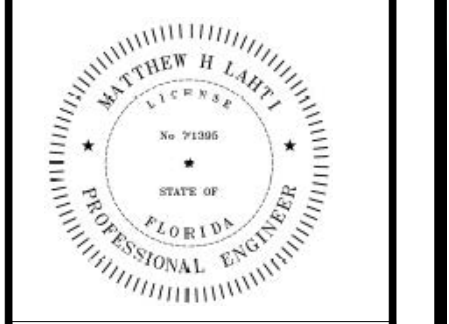


100% PLANS



2225 A1A S, SUITE A2  
 ST. AUGUSTINE, FLORIDA 32080  
 904.794.4231  
 matt@gulfstreamdesign.com  
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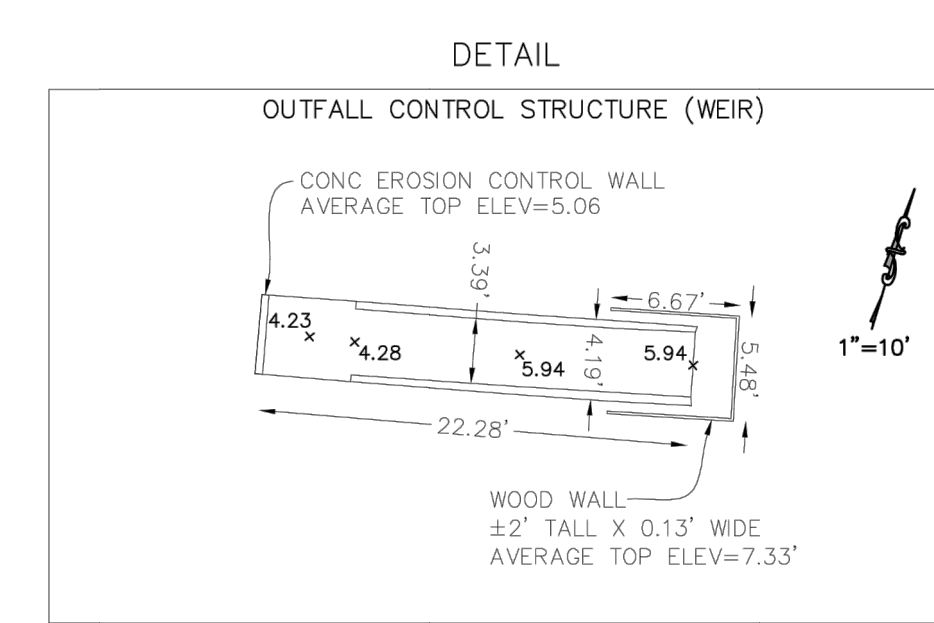
PROJECT NO:	22-079
ISSUE DATE:	11-08-22
DRAFTED BY:	JGD
DESIGNED BY:	RCM
CHECKED BY:	MHL



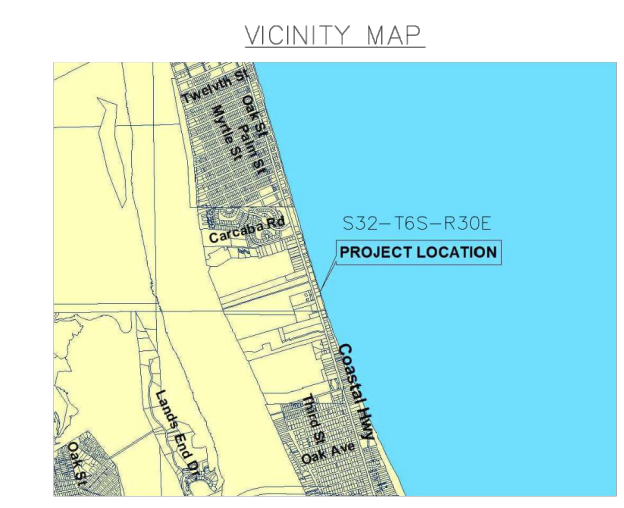
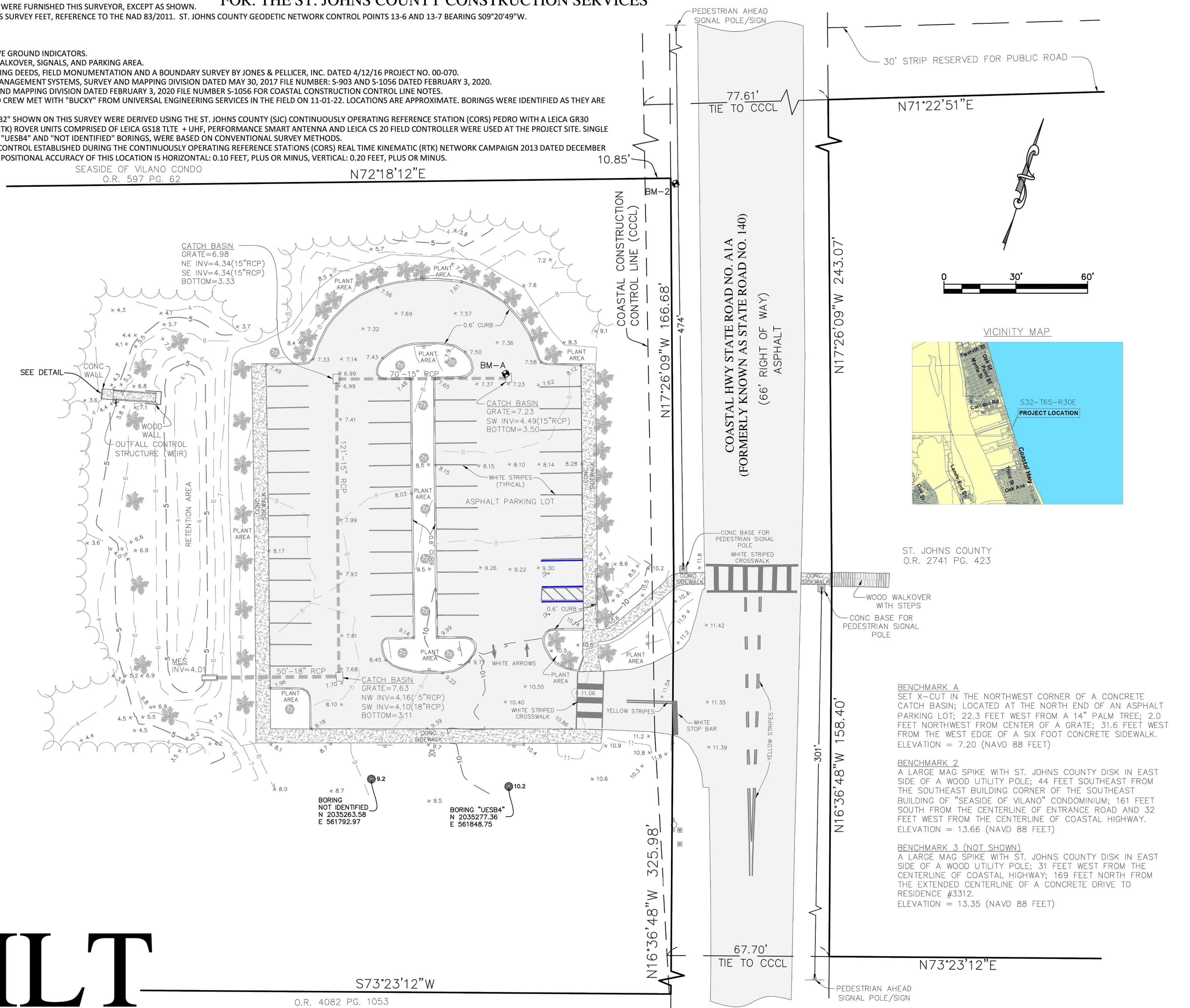
**SURVEYORS NOTES:**

- NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- NO UNDERGROUND UTILITIES, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN.
- NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT OF WAY AND/OR OWNERSHIP WERE FURNISHED THIS SURVEYOR, EXCEPT AS SHOWN.
- BEARING DATUM BASED ON STATE PLANE COORDINATES, FLORIDA EAST ZONE, IN UNITS OF US SURVEY FEET, REFERENCE TO THE MAD 83/2011. ST. JOHNS COUNTY GEODETIC NETWORK CONTROL POINTS 13-6 AND 13-7 BEARING 509°20'49"W.
- THIS IS AN AS-BUILT SURVEY.
- ELEVATIONS BASED ON NAVD 88, US SURVEY FEET, IF ANY.
- BENCHMARK BASIS: NOS PUBLISHED BENCHMARK R 67 ELEVATION = 7.48 FEET.
- THE INTENDED FEATURES LOCATED AND SHOWN ON THIS SURVEY ARE ALL THOSE WITH ABOVE GROUND INDICATORS.
- THE PURPOSE OF THIS SURVEY IS TO SHOW AS-BUILT LOCATIONS OF A CROSSWALK, WOOD WALKOVER, SIGNALS, AND PARKING AREA.
- THE PROPERTY LINES AND RIGHT OF WAYS SHOWN ON THIS SURVEY ARE BASED ON ADJOINING DEEDS, FIELD MONUMENTATION AND A BOUNDARY SURVEY BY JONES & FELLICIA, INC. DATED 4/12/16 PROJECT NO. 00-070.
- FOR ADDITIONAL INFORMATION, SEE TOPOGRAPHIC SURVEY BY ST. JOHNS COUNTY LAND MANAGEMENT SYSTEMS, SURVEY AND MAPPING DIVISION DATED MAY 30, 2017 FILE NUMBER: S-903 AND S-1056 DATED FEBRUARY 3, 2020.
- SEE TOPOGRAPHIC SURVEY BY ST. JOHNS COUNTY LAND MANAGEMENT SYSTEMS, SURVEY AND MAPPING DIVISION DATED FEBRUARY 3, 2020 FILE NUMBER S-1056 FOR COASTAL CONSTRUCTION CONTROL LINE NOTES.
- BORING LOCATIONS WERE NOT CLEARLY MARKED IN THE FIELD ON OCTOBER 20, 2022. FIELD CREW MET WITH "BUCKY" FROM UNIVERSAL ENGINEERING SERVICES IN THE FIELD ON 11-01-22. LOCATIONS ARE APPROXIMATE. BORINGS WERE IDENTIFIED AS THEY ARE IN THE FIELD: "BU1ES", "UESB2", "UESB4" AND A WOOD STAKE WITH NO IDENTIFICATION.
- THE HORIZONTAL AND VERTICAL POSITIONS OF THE BORING LOCATIONS "BU1ES" AND "UESB2" SHOWN ON THIS SURVEY WERE DERIVED USING THE ST. JOHNS COUNTY (SJC) CONTINUOUSLY OPERATING REFERENCE STATION (CORS) PEDRO WITH A LEICA GR30 HIGHLINE GNSS RECEIVER AND A AR20 GNSS CHOKER RING ANTENNA. REAL TIME KINEMATIC (RTK) ROVER UNITS COMPRISED OF LEICA GS18 TITE + UHF, PERFORMANCE SMART ANTENNA AND LEICA CS 20 FIELD CONTROLLER WERE USED AT THE PROJECT SITE. SINGLE BASELINE SOLUTIONS WERE USED FROM THE SJC CORS. ALL OTHER SURVEY DATA, INCLUDING "UESB4" AND "NOT IDENTIFIED" BORINGS, WERE BASED ON CONVENTIONAL SURVEY METHODS.
- THE HORIZONTAL AND VERTICAL COMPONENTS OF THE SJC CORS ARE REFERENCED TO THE CONTROL ESTABLISHED DURING THE CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) REAL TIME KINEMATIC (RTK) NETWORK CAMPAIGN 2013 DATED DECEMBER 31, 2013. FOR REPORT INFORMATION GO TO [HTTP://WWW.SICFL.US/SURVEY/INDEX.ASPX](http://www.sicfl.us/survey/index.aspx), THE POSITIONAL ACCURACY OF THIS LOCATION IS HORIZONTAL: 0.10 FEET, PLUS OR MINUS, VERTICAL: 0.20 FEET, PLUS OR MINUS.

**MAP SHOWING AN AS-BUILT SURVEY OF A PORTION OF SECTION 32, TOWNSHIP 6 SOUTH, RANGE 30 EAST, ST. JOHNS COUNTY, FLORIDA FOR: THE ST. JOHNS COUNTY CONSTRUCTION SERVICES**



- LEGEND**
- BM  $\blacklozenge$  VERTICAL CONTROL/BENCHMARK
  - $\times$  7.7 ELEVATION SHOT
  - $\circ$  SIGN (SINGLE POST)
  - $\circ$  SIGN (DOUBLE POST)
  - $\bullet$  METAL POST WITH CROSSWALK SIGNAL
  - $\odot$  9"-14" PALM TREE
  - $\oplus$  2"-3" DECORATIVE TREES
  - $\square$  IRRIGATION CONTROL VALVE
  - $\square$  WATER METER
  - $\square$  BACK-FLOW PREVENTER
  - $\bullet$  BORING LOCATION
  - MES MITERED END SECTION
  - INV INVERT
  - RCP REINFORCED CONCRETE PIPE
  - O.R. OFFICIAL RECORDS
  - PG.(S) PAGE(S)
  - CCCL COASTAL CONSTRUCTION CONTROL LINE
  - CONC CONCRETE
  - ELEV ELEVATION
  - $\text{---}$  TREE LINE
  - $\text{---}$  WHITE HANDICAPPED SYMBOL



**BENCHMARK A**  
SET X-CUT IN THE NORTHWEST CORNER OF A CONCRETE CATCH BASIN; LOCATED AT THE NORTH END OF AN ASPHALT PARKING LOT; 22.3 FEET WEST FROM A 14" PALM TREE; 2.0 FEET NORTHWEST FROM CENTER OF A GRATE; 31.6 FEET WEST FROM THE WEST EDGE OF A SIX FOOT CONCRETE SIDEWALK. ELEVATION = 7.20 (NAVD 88 FEET)

**BENCHMARK 2**  
A LARGE MAG SPIKE WITH ST. JOHNS COUNTY DISK IN EAST SIDE OF A WOOD UTILITY POLE; 44 FEET SOUTHWEST FROM THE SOUTHWEST BUILDING CORNER OF THE SOUTHWEST BUILDING OF "SEASIDE OF VILANO" CONDOMINIUM; 161 FEET SOUTH FROM THE CENTERLINE OF ENTRANCE ROAD AND 32 FEET WEST FROM THE CENTERLINE OF COASTAL HIGHWAY. ELEVATION = 13.66 (NAVD 88 FEET)

**BENCHMARK 3 (NOT SHOWN)**  
A LARGE MAG SPIKE WITH ST. JOHNS COUNTY DISK IN EAST SIDE OF A WOOD UTILITY POLE; 31 FEET WEST FROM THE CENTERLINE OF COASTAL HIGHWAY; 169 FEET NORTH FROM THE EXTENDED CENTERLINE OF A CONCRETE DRIVE TO RESIDENCE #3312. ELEVATION = 13.35 (NAVD 88 FEET)

**AS-BUILT**

AMENDMENTS
6/9/21 ADDED OUTFALL CONTROL STRUCTURE (WEIR) DETAIL
10/20/22 ADDED AS-BUILT FOR PHASE 2 (WEST AREA PARKING LOT), UTILITIES IN RIGHT OF WAY AND BORING LOCATIONS WITH GROUND ELEVATIONS.

MUSSALLEM BEACHFRONT PARK  
DUNE WALKOVER & PARKING AREA

**AS-BUILT SURVEY**  
DATE OF FIELD SURVEY: MARCH 17, 2021

ST. JOHNS COUNTY LAND MANAGEMENT SYSTEMS  
SURVEYING AND MAPPING DIVISION

500 SAN SEBASTIAN VIEW  
ST AUGUSTINE, FLORIDA 32084

PATRICIA GAIL OLIVER P.S.M. NO. 4564  
Phone (904) 209-0770 Email: [goliver@sjcfl.us](mailto:goliver@sjcfl.us)

DRAWN BY: J.MANNING  
FILE NUMBER: S-1163

SHEET NO. 1  
OF 1



MAP SHOWING A TOPOGRAPHIC AND MEAN HIGH WATER SURVEY OF A PORTION OF SECTION 32, TOWNSHIP 6 SOUTH, RANGE 30 EAST, AND A PORTION OF SECTION 5, TOWNSHIP 7 SOUTH, RANGE 30 EAST, ST. JOHNS COUNTY, FLORIDA FOR: THE ST. JOHNS COUNTY PARKS & RECREATION DEPARTMENT



ST. JOHNS COUNTY LAND MANAGEMENT SYSTEMS  
SURVEYING AND MAPPING DIVISION  
500 SAN SEBASTIAN VIEW  
ST AUGUSTINE, FLORIDA 32084  
Phone (904) 209-0770 Email: goliver@sjcl.us

PATRICIA GAIL OLIVER, P.S.M. NO. 4564  
PROFESSIONAL SURVEYOR AND MAPPER  
FIELD SURVEY DATE: MAY 30, 2017

AMENDMENTS	TO SHOW UNDERGROUND UTILITY AND PAVEMENT MARKINGS	7/17/17
	TO SHOW ADDITIONAL TOPO	12/17/18

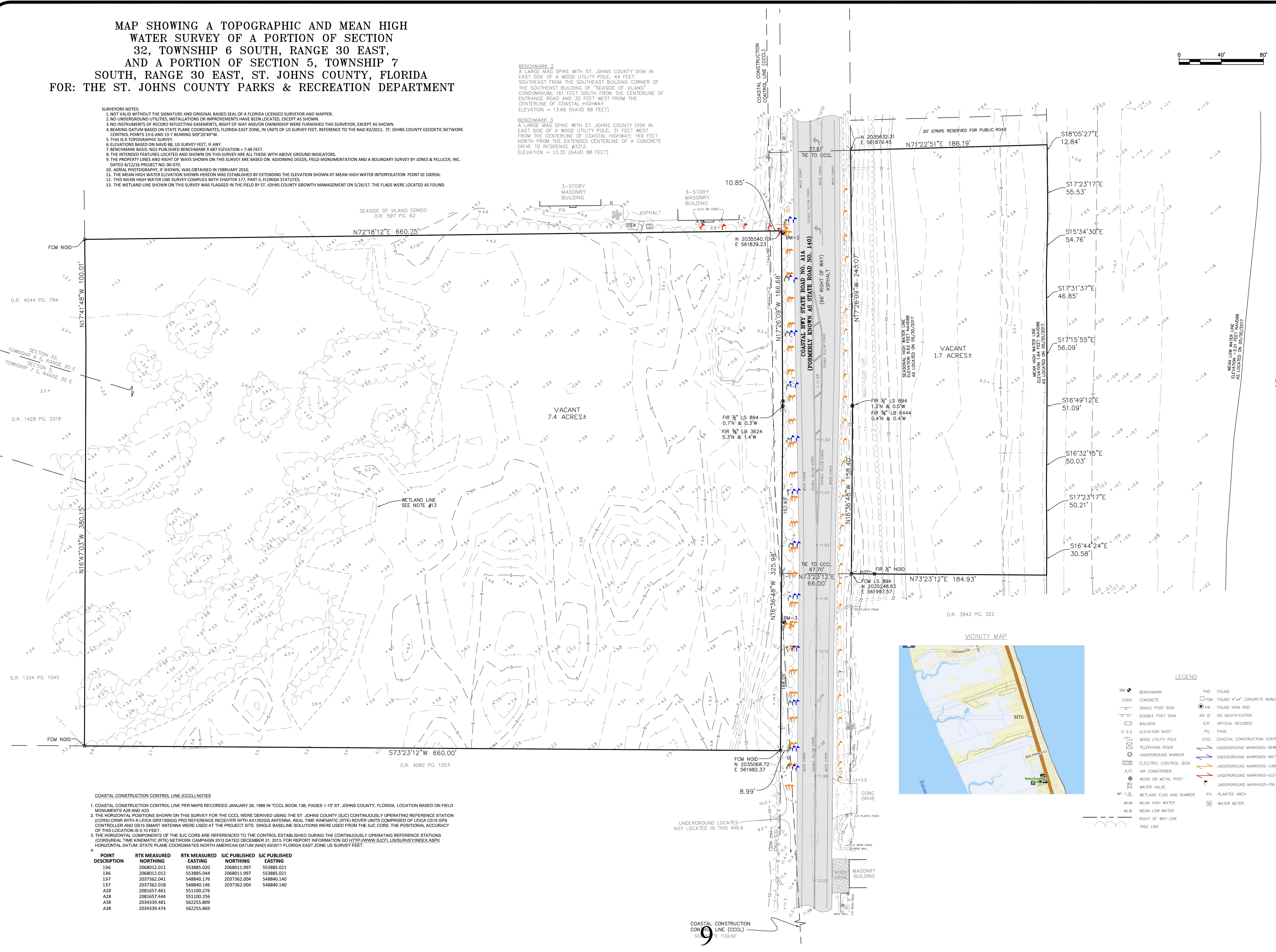
MUSSALLEM BEACH FRONT PARK  
TOPOGRAPHIC & MEAN HIGH WATER SURVEY

DRAWN BY: C. RILEY  
FILE NUMBER: S-903  
SHEET NO. 1  
OF 1

- SURVEYORS NOTES:**
- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - NO UNDERGROUND UTILITIES, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN.
  - NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT OF WAY AND/OR OWNERSHIP WERE FURNISHED THIS SURVEY, EXCEPT AS SHOWN.
  - BEARING DATUM BASED ON STATE PLANE COORDINATES, FLORIDA EAST ZONE, IN UNITS OF US SURVEY FEET, REFERENCE TO THE NAD 83/2011. ST. JOHNS COUNTY GEODETIC NETWORK CONTROL POINTS 13-6 AND 13-7 BEARING 509°20'49"W.
  - THIS IS A TOPOGRAPHIC SURVEY.
  - ELEVATIONS BASED ON NAVD 88, US SURVEY FEET, IF ANY.
  - BENCHMARK BASIS: NGS PUBLISHED BENCHMARK #897 ELEVATION = 7.48 FEET.
  - THE INTENDED FEATURES LOCATED AND SHOWN ON THIS SURVEY ARE ALL THOSE WITH ABOVE GROUND INDICATORS.
  - THE PROPERTY LINES AND RIGHT OF WAYS SHOWN ON THIS SURVEY ARE BASED ON ADJOINING DEEDS, FIELD MONUMENTATION AND A BOUNDARY SURVEY BY JONES & PELLICER, INC. DATED 4/12/15 PROJECT NO. 00-070.
  - AERIAL PHOTOGRAPHY, IF SHOWN, WAS OBTAINED IN FEBRUARY 2016.
  - THE MEAN HIGH WATER ELEVATION SHOWN HEREON WAS ESTABLISHED BY EXTENDING THE ELEVATION SHOWN AT MEAN HIGH WATER INTERPOLATION POINT ID 100956.
  - THIS MEAN HIGH WATER LINE SURVEY CONFORMS WITH CHAPTER 177, PART II, FLORIDA STATUTES.
  - THE WETLAND LINE SHOWN ON THIS SURVEY WAS FLAGGED IN THE FIELD BY ST. JOHNS COUNTY GROWTH MANAGEMENT ON 5/26/17. THE FLAGS WERE LOCATED AS FOUND.

**BENCHMARK 2**  
A LARGE MAG SPIKE WITH ST. JOHNS COUNTY DISK IN EAST SIDE OF A WOOD UTILITY POLE; 44 FEET SOUTHEAST FROM THE SOUTHEAST BUILDING CORNER OF THE SOUTHEAST BUILDING OF "SEASIDE OF VILANO" CONDOMINIUM; 161 FEET SOUTH FROM THE CENTERLINE OF ENTRANCE ROAD AND 32 FEET WEST FROM THE CENTERLINE OF COASTAL HIGHWAY. ELEVATION = 13.66 (NAVD 88 FEET)

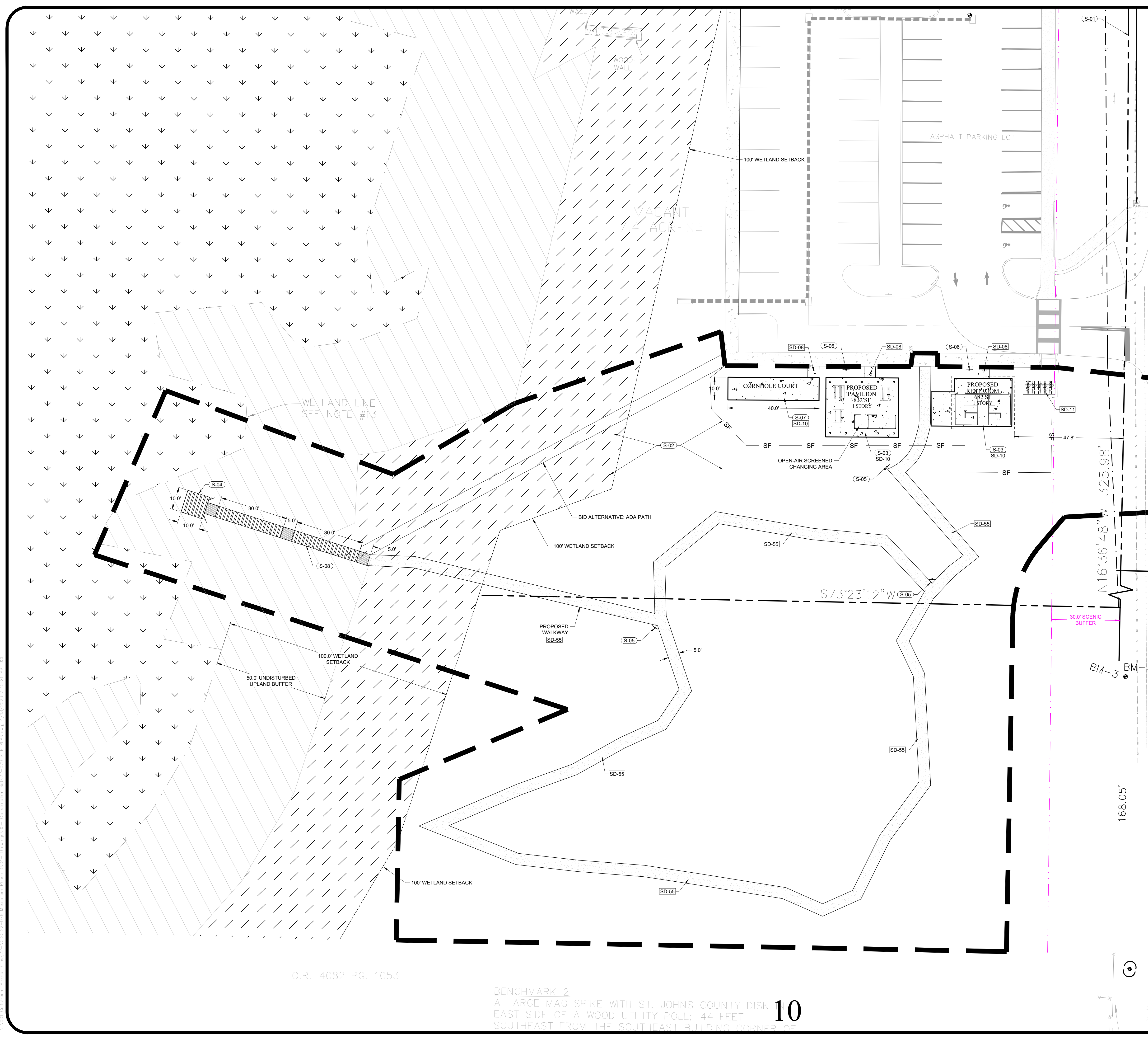
**BENCHMARK 3**  
A LARGE MAG SPIKE WITH ST. JOHNS COUNTY DISK IN EAST SIDE OF A WOOD UTILITY POLE; 31 FEET WEST FROM THE CENTERLINE OF COASTAL HIGHWAY; 169 FEET NORTH FROM THE EXTENDED CENTERLINE OF A CONCRETE DRIVE TO RESIDENCE #3312. ELEVATION = 13.35 (NAVD 88 FEET)



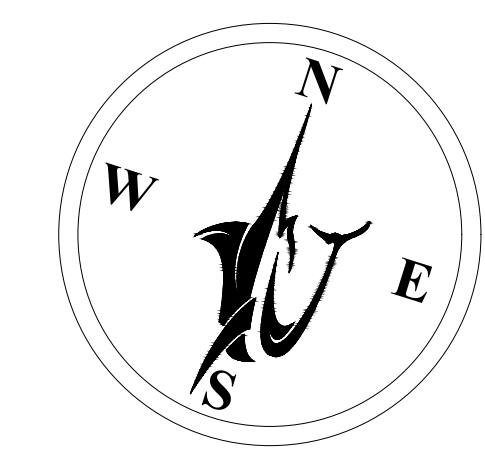
- COASTAL CONSTRUCTION CONTROL LINE (CCCL) NOTES**
- COASTAL CONSTRUCTION CONTROL LINE PER MAPS RECORDED JANUARY 28, 1988 IN "CCCL BOOK 13B, PAGES 1-19" ST. JOHNS COUNTY, FLORIDA. LOCATION BASED ON FIELD MONUMENTS A28 AND A33.
  - THE HORIZONTAL POSITIONS SHOWN ON THIS SURVEY FOR THE CCCL WERE DERIVED USING THE ST. JOHNS COUNTY (SJC) CONTINUOUSLY OPERATING REFERENCE STATION (CORS) CORNER WITH A LEICA GRX 2000 GPS RECEIVER WITH AN I100000A ANTENNA. REAL TIME KINEMATIC (RTK) ROVER UNITS COMPRISED OF LEICA CS15 GPS CONTROLLER AND GS15 SMART ANTENNA WERE USED AT THE PROJECT SITE. SINGLE BASELINE SOLUTIONS WERE USED FROM THE SJC CORNERS. THE POSITIONAL ACCURACY OF THIS LOCATION IS 0.10 FEET.
  - THE HORIZONTAL COMPONENTS OF THE SJC CORNERS ARE REFERENCED TO THE CONTROL ESTABLISHED DURING THE CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) REAL TIME KINEMATIC (RTK) NETWORK CAMPAIGN 2013 DATED DECEMBER 31, 2013. FOR REPORT INFORMATION GO [HTTP://WWW.SJCL.US/SURVEY/INDEX.ASPX](http://www.sjcl.us/survey/index.aspx) HORIZONTAL DATUM: STATE PLANE COORDINATES NORTH AMERICAN DATUM (NAD) 83/2011 FLORIDA EAST ZONE US SURVEY FEET.

POINT DESCRIPTION	RTK MEASURED NORTHING	RTK MEASURED EASTING	SIC PUBLISHED NORTHING	SIC PUBLISHED EASTING
136	2068012.011	553885.020	2068011.997	553885.021
136	2068012.012	553885.044	2068011.997	553885.021
137	2037362.041	548840.176	2037362.004	548840.140
137	2037362.018	548840.146	2037362.004	548840.140
A28	2081657.461	551100.276		
A28	2081657.444	551100.256		
A38	2034339.481	562255.809		
A38	2034339.474	562255.869		

COASTAL CONSTRUCTION CONTROL LINE (CCCL)  
52.00' E 1122.92'



COASTAL HWY  
(FORMERLY KNOWN)



**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING RW LINE
- PROPOSED BUILDING OUTLINE
- LIMITS OF CONSTRUCTION PH III
- SF SILT FENCE
- PROPOSED CONCRETE SIDEWALK/BUILDING FOUNDATION
- PROPOSED 5' COQUINA WALKWAY (915 LF)
- EXISTING JURISDICTIONAL WETLAND TO REMAIN
- 50' UNDISTURBED UPLAND BUFFER
- 100' WETLAND SETBACK
- 5' ADA LANDING
- BOARDWALK/OVERLOOK

**SITE DETAILS** (SD-XX)

- SD-8 TURN DOWN SIDEWALK\*
- SD-9 TYPICAL SIDEWALK DETAIL
- SD-10 CONCRETE SECTION
- SD-11 BIKE RACK
- SD-55 COQUINA PATH SECTION

\* SEE SHEET 9 FOR DETAILS

**SITE KEY NOTES:** (S-XX)

- S-01 PROPERTY LINE
- S-02 PROPOSED PLAYGROUND AREA (PLAYGROUND DESIGN BY OTHERS)
- S-03 PAVILION AND RESTROOM BUILDING (DESIGN BY OTHERS)
- S-04 PROPOSED 10'X10' SCENIC OVERLOOK (ARCHITECTURAL AND STRUCTURAL DESIGN BY OTHERS)
- S-05 WAYFINDING DIRECTIONAL SIGNAGE (EXACT MESSAGE TO BE DETERMINED BY SJC)
- S-06 "NO PARKING / FIRE LANE" SIGNAGE
- S-07 CORN HOLE PAD (DESIGN BY OTHERS)
- S-08 ELEVATED BOARDWALK (ARCHITECTURAL AND STRUCTURAL DESIGN BY OTHERS)
- S-09 ADA LANDING (PER ACCESSIBILITY GUIDELINE 1991.)

SITE DATA TABLE		
GROSS PROPERTY AREA:	321,577 SF	7.38 AC *
EXISTING WETLAND AREA:	124,382 SF	2.86 AC *
NET DEVELOPABLE PROJECT AREA:	197,195 SF	4.53 AC
BUILDING FOOTPRINT AREA (TOTAL):	1,514 SF	0.03 AC **
RESTROOM:	682 SF	
PAVILION:	832 SF	
TRAIL:	4,903 SF	0.11 AC ***
<b>TOTAL IMPERVIOUS AREA:</b>	<b>6,417 SF</b>	<b>0.15 AC</b>
PROPERTY ID NO:	142660 0000	
ZONING:	RG-1	
FUM:	PARK/RECREATION	
FEMA FIRM PANEL NUMBER	12109C 0316J - 12/7/2016	
ST. JOHNS COUNTY PUD	MAXIMUM:	PROPOSED
IMPERVIOUS SURFACE AREA RATIO:	75.00%	2.00%
FLOOR AREA RATIO:	75.00%	0.77%
BUILDING HEIGHT:	35'	±30'
	MINIMUM:	PROPOSED:
FRONT YARD SETBACK	30'	47.8'
SIDE YARD SETBACK	25'	25'
REAR YARD SETBACK	20'	20'

\* PARCEL AREA CALCULATIONS ONLY INCLUDE WESTERN RECREATION PARCEL BOUNDARIES: EASTERN PARCEL, BOARDWALK  
 \*\* PROPOSED BUILDING AREA INCLUDES IMPERVIOUS FOUNDATION AREAS. ASSUMING OVERLOOKS/ BOARDWALKS ARE PERVIOUS BENEATH DEPICTED FOOTPRINTS  
 \*\*\* COQUINA WALKWAY HAS BEEN ASSUMED AS IMPERVIOUS AREA. INCLUDED IN SIDEWALK/PAVEMENT AREA IMPROVEMENTS ASSUME NEGLIGIBLE CHANGE IN IMPERVIOUS AREA

**AS-BUILT NOTES:**

- EXISTING CONDITIONS ON THESE PLANS IS BASED ON AS-BUILT SURVEY PROVIDED BY ST. JOHNS COUNTY LAND MANagements SYSTEMS SURVEYING AND MAPPING DIVISION, DATED MARCH 17, 2021 AND ORIGINAL SURVEY DATED MAY 30, 2017 WITH LATEST REVISION DATED OCTOBER 20, 2022.
- CONTRACTOR SHALL MATCH PROPOSED CONSTRUCTION WITH THE EXISTING CONDITIONS, BUILT IN PHASE II, IN THE FIELD USING BEST PRACTICAL METHODS AND ENSURE ALL CONSTRUCTION MEETS THE ST. JOHNS COUNTY, ST. JOHNS RIVER WATER MANAGEMENT DISTRICT, FDP AND ANY OTHER REQUIREMENTS AS DEFINED IN THESE PLANS AND CORRESPONDING PERMITS.

**SITE NOTES:**

- NO EXTERIOR LIGHTING IS PROPOSED. PARK WILL CLOSE AT DARK.

NO.	DATE	BY	DESCRIPTION
1	11-16-2022	MARCO MIGNARDI	COMMENTS
2	12-28-2022	MHL	DESIGN TEAM COMMENTS
3	02-20-2023	MHL	ISSUED FOR PERMIT REVIEW
4	04-18-2023	MHL	REVISED PER SJC COMMENTS
5			
6			
7			
8			
9			

**ENGINEERING PLANS  
FOR  
MUSSALLEM BEACHFRONT PARK PHASE III  
SITE PLAN**

ST. JOHNS COUNTY, FLORIDA

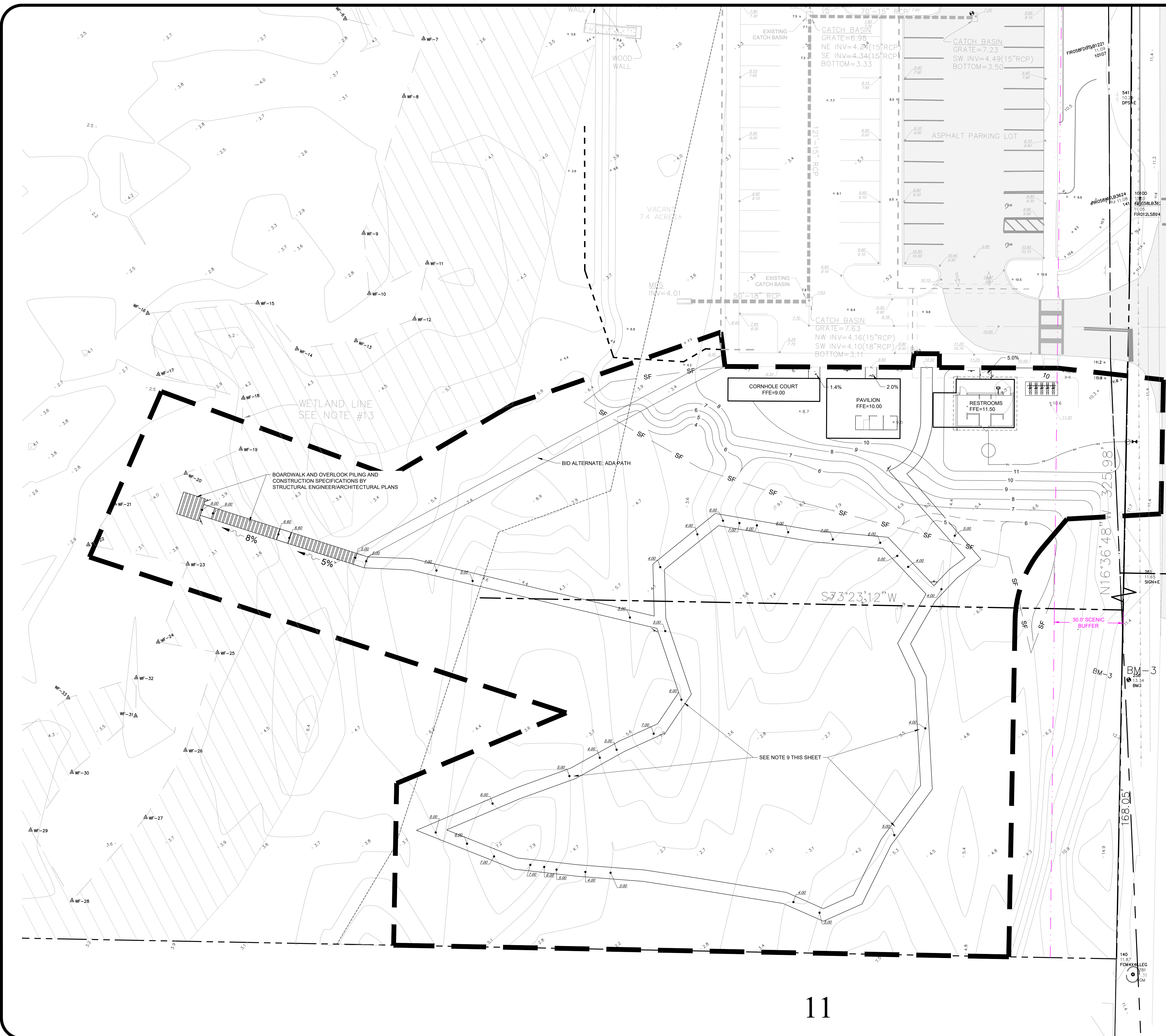


100% PLANS

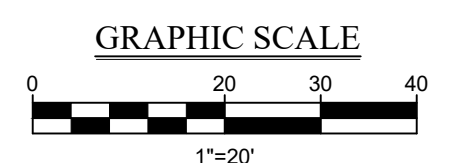
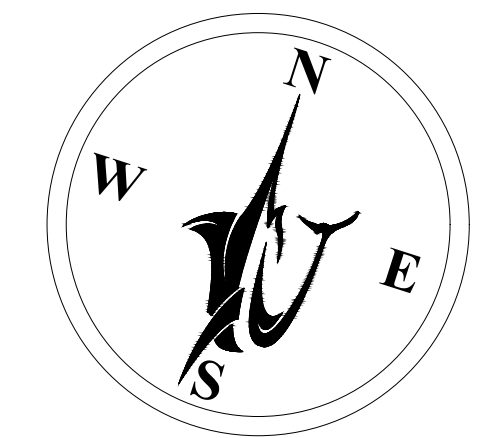


PROJECT NO:	22-079
ISSUE DATE:	11-08-22
DRAFTED BY:	JGD
DESIGNED BY:	RCM
CHECKED BY:	MHL

NOT VALID WITHOUT SEAL



COASTAL HWY  
(FORMERLY KNOW  
(66' R/W)



**LEGEND**

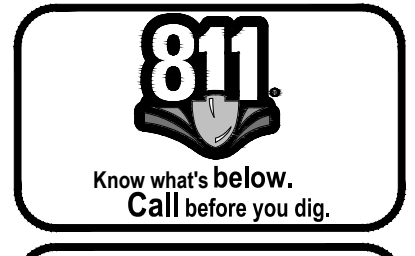
- — — — — EXISTING PROPERTY LINE
- — — — — EXISTING RW LINE
- - - - - EXISTING CONTOUR MAJOR
- - - - - EXISTING CONTOUR MINOR
- - - - - PROPOSED CONTOUR MAJOR
- - - - - PROPOSED CONTOUR MINOR
- — — — — PROPOSED BUILDING
- — — — — SF — SILT FENCE
- — — — — LIMITS OF CONSTRUCTION PH III
- — — — — PROPOSED GRADE ELEVATION
- — — — — EXISTING GRADE ELEVATION
- — — — — PROPOSED CONCRETE SIDEWALK/BUILDING FOUNDATION
- — — — — PROPOSED 5' COQUINA WALKWAY (915 LF)
- — — — — EXISTING JURISDICTIONAL WETLAND TO REMAIN
- — — — — NATURALLY VEGETATED UPLAND BUFFER
- — — — — 100' WETLAND SETBACK
- — — — — 5' ADA LANDING
- — — — — BOARDWALK/OVERLOOK
- — — — — SLOPE DIRECTIONAL ARROW

**PAVING AND GRADING NOTES**

1. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN CENTERLINE OF DRAINAGE STRUCTURES AND TO END OF MITERED END SECTIONS.
2. ALL NON-PAVED DISTURBED AREAS TO BE SEEDDED AND STABILIZED UNLESS OTHERWISE NOTED.
3. ALL PAVEMENT RETURN RADII SHALL BE MEASURED FROM THE INTERFACE OF THE CONCRETE CURB AND PAVEMENT SURFACE UNLESS OTHERWISE NOTED.
4. DITCH BOTTOM AND CONTROL STRUCTURE INLET GRATES SHALL BE SECURED WITH CHAIN AND EYEBOLT.
5. FIVE FEET OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS, ETC.
6. CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL SOILS REPORT PREPARED BY UNIVERSAL ENGINEERING AND ABIDE BY ALL RECOMMENDATIONS.
7. THE STORM DRAINAGE SYSTEM SHALL BE FREE OF DIRT, SAND AND DEBRIS PRIOR TO FINAL ACCEPTANCE.
8. CONTRACTOR TO STAKE BOTH VERTICAL AND HORIZONTAL GEOMETRY PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF UNKNOWN CONDITIONS.
9. TRAIL GRADES ARE PROPOSED BASED ON THE SURVEY INFORMATION. CONTRACTOR TO MATCH EXISTING GRADES ALONG THE TRAIL. IN FIELD ELEVATIONS MAY DEVIATE FROM APPROVED PLANS BUT MUST BE RECORDED AND SENT TO THE CIVIL ENGINEER TO VERIFY.
10. CONTRACTOR TO VERIFY THE GRADES AT THE BOARDWALK AND ADA LANDINGS MATCH THE APPROVED PLANS. THESE GRADES HAVE BEEN DESIGNED PER 4.8.2 AND 4.8.4 ADA STANDARDS FOR ACCESSIBLE DESIGN 1991.
11. CONTRACTOR TO VERIFY SCENIC OVERLOOK IS SET MINIMUM OF 5' ABOVE EXISTING GRADE.
12. CONTRACTOR TO VERIFY ANY PROTECTED TREES. REMOVAL OF ANY PROTECTED TREE DUE TO CONSTRUCTION SHALL BE REPLACED, INCH FOR INCH, PER SJC LDC 4.01.05.

NO.	DATE	BY	DESCRIPTION
1	11-16-2022	ROMPER MARCO MGLIARO'S COMMENTS	
2	12-28-2022	ROMPER DESIGN TEAM COMMENTS	
3	01-10-2023	ROMPER DESIGN TEAM COMMENTS	
4	04-18-2023	ROMPER DESIGN TEAM COMMENTS	
5			
6			
7			
8			
9			

**ENGINEERING PLANS  
FOR  
MUSSALLEM BEACHFRONT PARK PHASE III  
GRADING & DRAINAGE PLAN**  
ST. JOHNS COUNTY, FLORIDA



100% PLANS

**GULFSTREAM  
DESIGN GROUP, LLC**

2225 A1A S, SUITE A2  
ST. AUGUSTINE, FLORIDA 32080  
904.794.4231  
matt@gulfstreamdesign.com

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PROJECT NO:	22-079
ISSUE DATE:	11-08-22
DRAFTED BY:	JGD
DESIGNED BY:	RCM
CHECKED BY:	MHL
NOT VALID WITHOUT SEAL	

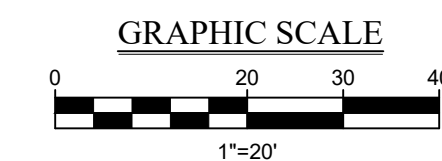
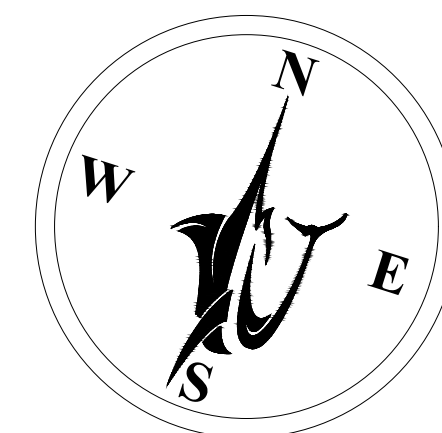
**UTILITY NOTES:**

- ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE ST. JOHNS COUNTY LAND DEVELOPMENT CODE AND NORTH BEACH UTILITIES.
- ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF "FLORIDA AMERICANS WITH DISABILITIES ACCESSIBILITY IMPLEMENTATION ACT", ADA STANDARDS FOR ACCESSIBLE DESIGN, FLORIDA BUILDING CODE - ACCESSIBILITY AND THE FAIR HOUSING ACT, WHEN APPLICABLE.
- CONTRACTOR SHALL PROVIDE TEMPORARY THRUST RESTRAINTS, BRACING, TEST PLUGS AND/OR OTHER DEVICES NECESSARY TO SUCCESSFULLY COMPLETE PRESSURE TESTING OF ALL PRESSURE PIPING SYSTEMS.
- ALL FITTINGS FOR BURIED PIPING 4-INCH AND LARGER, SHALL BE DUCTILE IRON MECHANICAL JOINT (D.I.M.J) BITUMEN COATED EXTERIOR, APPLIED PER ANSIAWWA A21.15/C151 UNLESS NOTED OTHERWISE. THESE FITTINGS SHALL INCORPORATE RESTRAINING RINGS, MEGA-LUGS OR OTHER APPROVED EQUIVALENT MECHANICAL DEVICES.
- ALL BURIED PIPING SPECIFIED FOR PRESSURE SERVICE SHALL BE PROVIDED WITH RESTRAINING DEVICES AT ALL DIRECTIONAL CHANGES, UNLESS NOTED OTHERWISE.
- ALL PROPOSED DUCTILE IRON PIPE, FITTINGS AND RESTRAINTS WITHIN FIFTY (50) FEET OF AN EXISTING GAS MAIN SHALL BE POLYETHYLENE ENCASED.
- ALL FASTENERS SHALL BE MANUFACTURED OF NON-CORROSSIVE MATERIALS.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS HAVE BEEN DERIVED FROM EXISTING UTILITY RECORDS AND ACCURACY OF THIS INFORMATION IS NOT GUARANTEED. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, DEPTH AND CHARACTER OF ALL UTILITIES PRIOR TO EXCAVATION IN ORDER TO PROTECT THEM DURING CONSTRUCTION.
- WHERE MINIMUM SEPARATION BETWEEN UTILITIES IS REQUIRED, THE DISTANCE SHALL BE MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
- CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AT ALL INTERSECTIONS OF PROPOSED WORK AND EXISTING UTILITIES. THE EXPLORATORY EXCAVATIONS SHALL BE MADE FORTY-EIGHT (48) HOURS IN ADVANCE OF THE PROPOSED WORK IF THERE IS A CONFLICT THE CONTRACTOR SHALL NOTIFY THE SJUCD IMMEDIATELY. INFORMATION ON THE OBSTRUCTION SHALL BE FURNISHED BY THE CONTRACTOR AND SHALL INCLUDE: LOCATION, ELEVATION, UTILITY TYPE, MATERIAL AND SIZE.
- LOCATIONS AND DIMENSIONS OF EXISTING RIGHTS-OF-WAY AND EASEMENTS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE LIMITS OF RIGHTS-OF-WAY AND EASEMENTS IN ORDER TO AVOID ENCROACHMENTS.
- THE DISPOSAL OF ANY EXCESS EARTHWORK MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PRACTICAL AND NECESSARY EFFORT SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT UNNECESSARY TREE REMOVAL.
- IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE HIS WORK WITH THE WORK SCHEDULE OF ADJACENT CONTRACTORS AS WELL AS THE OPERATIONS STAFF OF THE SJUCD.
- THE CONTRACTOR SHALL NOTIFY THE SJUCD UTILITY DEPARTMENT 72 HOURS BEFORE COMMENCING WITH CONSTRUCTION.
- PIPE MEASUREMENTS SHALL BE CENTER TO CENTER OF FITTINGS OR VALVES.
- PVC PIPE LESS THAN 2-INCHES SHALL CONFORM TO ASTM D1785. THREADED PIPE AND FITTINGS SHALL

- BE SCH. 40 AND CONFORM TO ASTM D2464. UNTHREADED PIPE AND FITTINGS SHALL BE SCH. 40 WITH SOLVENT CEMENTED JOINTS. CEMENTED JOINTS AND FITTINGS SHALL COMPLY WITH ASTM D2466 AND D2855.
- 2", 2 1/2" AND 3" PVC PIPE SHALL CONFORM TO ASTM D2241. PIPE SHALL BE FURNISHED IN 20-FOOT LENGTHS. SHALL HAVE DIMENSION RATIO (DR21) AND A WATER PRESSURE RATING OF 200 PSI.
- PVC PIPE 4-INCHES THROUGH 12-INCHES SHALL CONFORM TO AWWA STANDARD C900 (DR18); PVC PIPE 14-INCHES THROUGH 48-INCHES SHALL CONFORM TO AWWA STANDARD C905 (DR18) UNLESS NOTED OTHERWISE.
- DUCTILE IRON PIPE SHALL CONFORM TO AWWA STANDARD C151. PRESSURE CLASS 350 FOR 4-INCH THROUGH 12-INCH DIAMETER PIPE, PRESSURE CLASS 250 FOR PIPE LARGER THAN 12-INCHES IN DIAMETER UNLESS NOTED OTHERWISE.
- VALVES FOR POTABLE WATER MAINS SHALL BE DUCTILE IRON (D.I.) EPOXY COATED GATE VALVES OR BUTTERFLY VALVES. VALVES FOR RAW WATER MAINS SHALL BE DUCTILE IRON (D.I.) EPOXY COATED GATE VALVES ONLY. SEE SPECIFICATIONS FOR DETAILS.
- ALL POLYETHYLENE PRESSURE PIPE AND FITTINGS 4-INCH AND LARGER SHALL CONFORM TO AWWA STANDARD C900-89 (DR11) PRESSURE CLASS 180 AND ASTM STANDARD D3350, D2837 PE 3408.
- ALL POLYETHYLENE PIPE FOR SERVICE TUBING SHALL CONFORM TO AWWA STANDARD C301 (DR9) PRESSURE CLASS 200 AND STANDARD D2737 PE 3408.
- ALL PIPE AND POLYETHYLENE SERVICE TUBING SHALL BEAR THE NATIONAL SANITATION FOUNDATION (NSF) SEAL OF APPROVAL FOR POTABLE WATER SERVICE.
- FITTINGS FOR BOTH PVC AND DUCTILE IRON PIPE SHALL BE DUCTILE IRON COMPACT FITTINGS CONFORMING TO THE REQUIREMENTS OF ANSIAWWA C153/A21.53.
- DUCTILE IRON PIPE AND FITTINGS SHALL HAVE A CEMENT MORTAR INTERIOR LINING CONFORMING TO THE REQUIREMENTS OF ANSIAWWA A21.4C104. DUCTILE IRON PIPE AND FITTINGS FOR RAW WATER SHALL INCORPORATE A DOUBLE LINING OF THE CEMENT MORTAR ON THE INTERIOR SURFACE.
- PROPER BACKFLOW PREVENTION ASSEMBLIES SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-555.360, F.A.C. AND AWWA MANUAL M14, "BACKFLOW PREVENTION AND CROSS CONNECTION CONTROL".
- ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED IN ACCORDANCE WITH AWWA STANDARDS. LATEST REVISIONS. HYDROSTATIC TESTING FOR PVC MAINS SHALL BE 150 PSI FOR MINIMUM OF 2 HOURS AND MEET AWWA STANDARD C605. DUCTILE IRON MAINS SHALL BE TESTED AT 150 PSI FOR 2 HOURS PER AWWA C600. ALL NEW MAINS SHALL BE DISINFECTED PER AWWA STANDARD C651. BACTERIOLOGICAL TESTS FOR 2 CONSECUTIVE DAYS SHALL BE APPROVED PRIOR TO PLACING SYSTEM INTO SERVICE.
- PVC POTABLE WATER MAINS SHALL BE SOLID BLUE IN COLOR. DUCTILE IRON WATER MAINS SHALL INCORPORATE 3 BLUE STRIPES, PAINTED AT THE TOP AND SIDES OF THE PIPE, ALONG ITS ENTIRE LENGTH.
- ALL POTABLE AND RAW WATER MAINS SHALL BE INSTALLED WITH THE MINIMUM VERTICAL/HORIZONTAL SEPARATION FROM ALL EXISTING AND/OR PROPOSED SANITARY, STORM AND REUSE WATER PIPING AS REQUIRED BY FDP RULES. CONFLICTS BETWEEN REUSE WATER MAINS, STORM AND SANITARY SEWER SYSTEMS, FORCE MAINS AND PROPOSED POTABLE OR RAW WATER MAINS SHALL BE RESOLVED BY

**FIRE HYDRANT NOTES:**

- ADJUSTING THE PROPOSED POTABLE RAW WATER MAIN. SEE "UTILITY SEPARATION DETAIL" AND ACCOMPANYING NOTES AS SHOWN ON STANDARD DETAIL (SD) SHEETS OF THIS PLAN SET.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND ACCOUNTING FOR AS WELL AS RECONNECTING ALL SERVICE CONNECTIONS AFFECTED BY THE PROPOSED WATER MAIN INSTALLATION.
  - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL EQUIPMENT AND MATERIALS FOR APPROVAL TO THE SJUCD PRIOR TO PROCUREMENT.
  - IT IS THE INTENT OF THIS CONTRACT FOR THE CONTRACTOR TO MAINTAIN CONTINUOUS RESTORATION BEHIND THE UTILITY WORK ON A DAILY BASIS. NO MORE THAN FIFTY (50) LINEAR FEET OF UNRESTORED LINE WORK SHALL REMAIN AT THE END OF EACH WORK DAY.
  - THE CONTRACTOR SHALL SUBMIT TO SJUCD, A CONSTRUCTION SCHEDULE ADDRESSING THE INTERRUPTION OF SERVICE IN THE POTABLE WATER DISTRIBUTION SYSTEM. IT IS THE INTENT OF THE CONTRACT FOR THE CONTRACTOR TO FIELD INVESTIGATE ALL POSSIBLE METHODS TO ELIMINATE OR MINIMIZE INTERRUPTION OF SERVICE TO EXISTING CUSTOMERS. UNDER NO CIRCUMSTANCES SHALL THE CONSTRUCTION ACTIVITIES RESULT IN A SYSTEM PRESSURE OF LESS THAN 20 P.S.I.
  - THE CONTRACTOR SHALL VIDEO THE ENTIRE WORK AREA PRIOR TO COMMENCEMENT OF CONSTRUCTION. ONE COPY OF PRE-CONSTRUCTION VIDEO SHALL BE SUBMITTED TO THE ENGINEER AND OWNER.
  - ALL FIRE HYDRANTS SHALL OPEN COUNTER CLOCKWISE.
  - TRESS MUST NOT BE WITHIN 7.5' (BOTH WAYS) FROM THE CENTERLINE OF THE PROPOSED OR EXISTING UTILITY LINE.
- HYDRANTS CONNECTED TO A CENTRAL UTILITY AND OWNED AND MAINTAINED BY THAT UTILITY COMPANY SHALL BE COLORED CHROMIUM YELLOW WITH WHITE REFLECTIVE CAPS.
  - FIRE HYDRANTS SHALL BE LOCATED WITHIN 3 FEET TO 10 FEET FROM THE CURB. (LDC 6.03.03)
  - FIRE HYDRANTS SHALL BE LOCATED NO MORE THAN 12 FEET FROM THE FIRE DEPARTMENT ACCESS ROADS WITH NO CURBS. (NFPA 1, 18.5.1.6)
  - FIRE HYDRANTS SHALL BE INSTALLED ON FLAT STONES, CONCRETE SLABS OR OTHER APPROVED MATERIALS.
  - FIRE HYDRANTS SHALL BE INSTALLED SO LARGE DIAMETER (4.5 INCH) OUTLET IS FACING THE ROADWAY.
  - FIRE HYDRANTS SHALL BE INSTALLED SO CENTER OR LOWEST OUTLET IS MINIMUM OF 18 INCHES ABOVE FINAL GRADE.
  - BLUE ROAD REFLECTORS SHALL BE INSTALLED IN THE CENTER OF THE ROAD IN FRONT OF THE HYDRANT. (LDC 6.03.03)



**LEGEND**

- EXISTING PROPERTY LINE
- STORM SEWER MAIN
- 6" SANITARY SEWER MAIN
- 2" WATER SERVICE
- 2" FORCE MAIN

**KEY NOTES: [6-1]**

- 6-1 2" TAPPING SLEEVE & VALVE
- 6-2 CONNECT TO 6" WATER MAIN
- 6-3 CONNECT TO 6" FORCE MAIN
- 6-4 WATER METER
- 6-5 RPZ BACKFLOW PREVENTER
- 6-6 GATE VALVE
- 6-8 POLY TUBE WATER SERVICE
- 6-9 2" POLY TUBE FORCE MAIN
- 6-10 LIFT STATION (SEE DETAIL SHEET 10)
- 6-11 SEWER CONNECTION TO BUILDING WITH CLEANOUT @ INVERT=8.0 (SEE ARCHITECTURAL PLANS FOR CONTINUATION)
- 6-12 2" CHECK VALVE
- 6-13 WATER CONNECTION TO BUILDING (SEE ARCHITECTURAL PLANS FOR CONTINUATION)
- 6-15 6" X 12" WET TAP WITH 6" GATE VALVE BOX AND COVER
- 6-16 FIRE HYDRANT ASSEMBLY WITH 6" PVC DR-18 (PUBLIC)
- 6-17 WATER CONNECTION TO TEMPORARY IRRIGATION SYSTEM
- 6-19 EXISTING UTILITIES ARE DRAWN FOR ILLUSTRATIVE PURPOSES ONLY. LOCATIONS SHOWN PROVIDED BY NORTH BEACH UTILITIES.

\* SEE SHEET 10 FOR DETAILS

BENCHMARK TABLE		
BM #	ELEVATION	MARKER
2	13.66	DISC ON UTILITY POLE
3	13.35	DISC ON UTILITY POLE

REVISIONS	
NO.	DATE BY DESCRIPTION
1	11-08-22 RCM/MARCO MIGHARDI COMMENTS
2	12-28-2022 RCM/PER DESIGN TEAM REVIEW
3	02-20-2023 MHL/ISSUED FOR PERMIT REVIEW
4	04-18-2023 RCM/REVISED PER SJC COMMENTS
5	
6	
7	
8	
9	

**ENGINEERING PLANS  
FOR  
MUSSALLEM BEACHFRONT PARK PHASE III  
UTILITY PLAN**  
ST. JOHNS COUNTY, FLORIDA



100% PLANS



2225 A1A S, SUITE A2  
ST. AUGUSTINE, FLORIDA 32080  
904.794.4231  
matt@gulfstreamdesign.com

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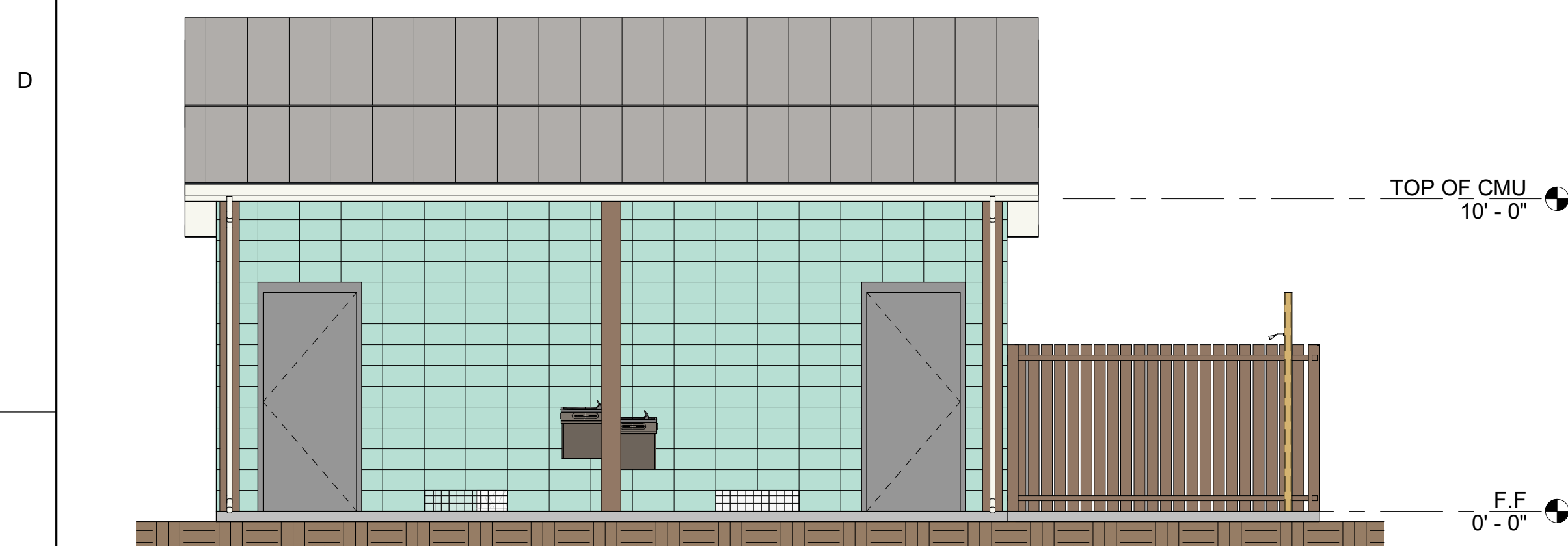
PROJECT NO:	22-079
ISSUE DATE:	11-08-22
DRAFTED BY:	JGD
DESIGNED BY:	RCM
CHECKED BY:	MHL

NOT VALID WITHOUT SEAL

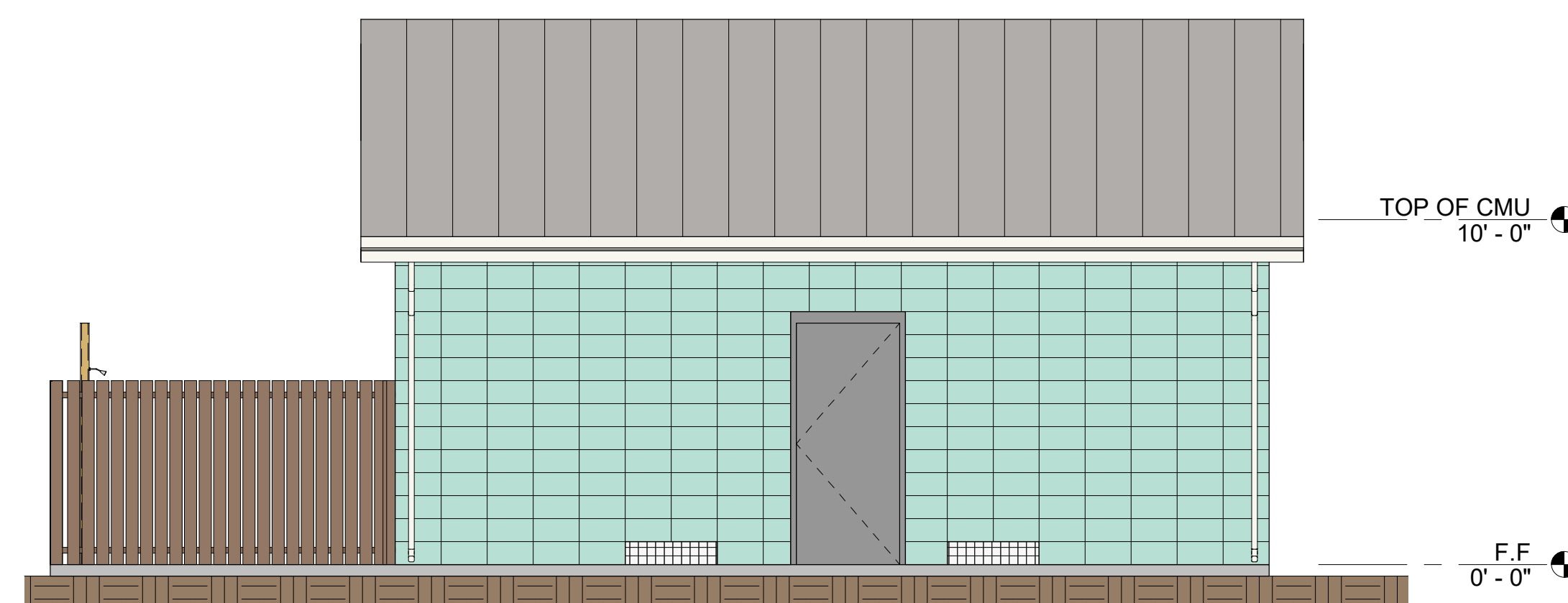
# Elevations & Renderings

**MATERIAL AND FINISHES**

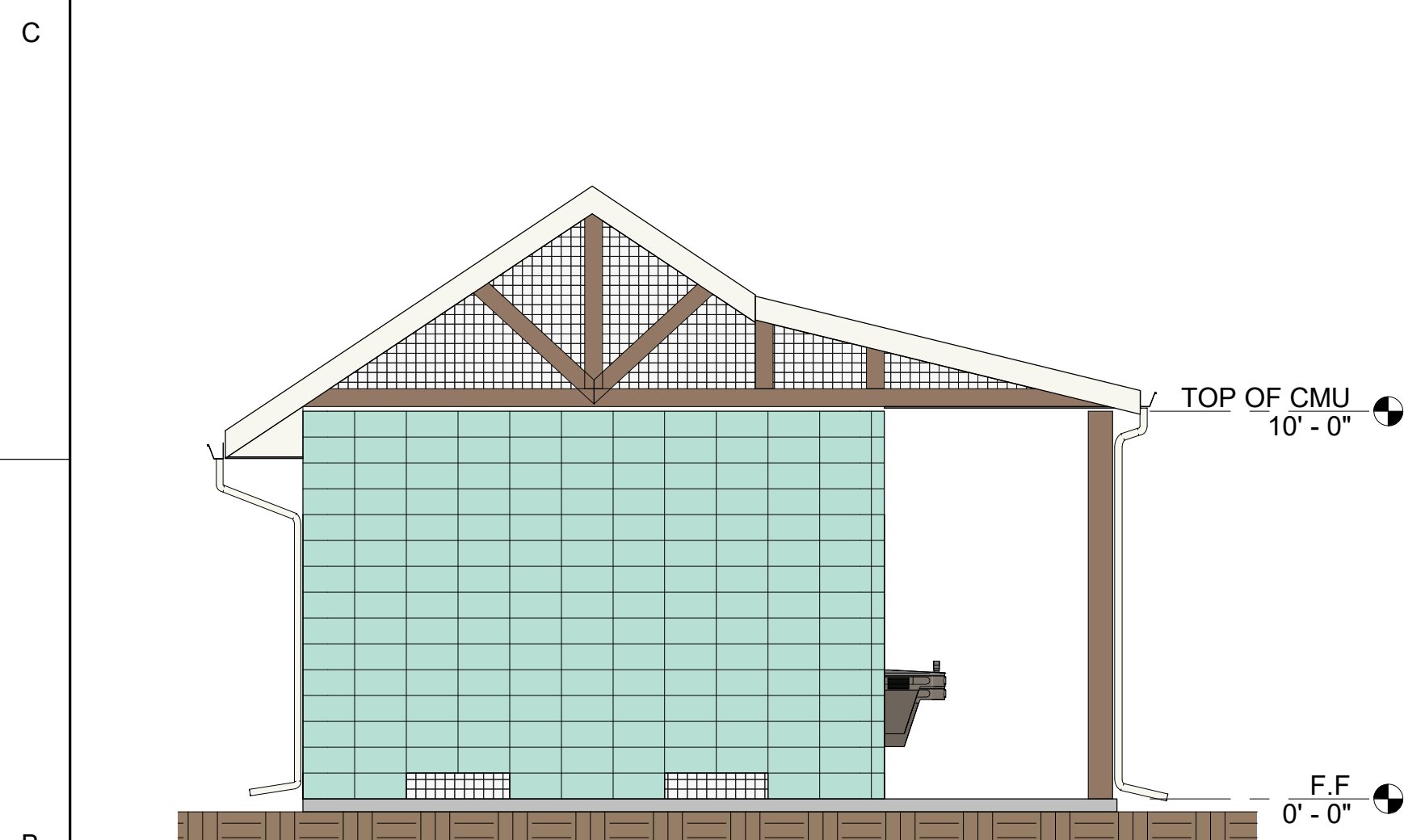
METAL ROOF : ENGLERT METAL ROOF SYSTEM IN COLOR DOVE GREY WITH WHITE TRIM.  
CMU WALL: SPECTRAGLAZE UNITS IN COLOR LT BERMUDA.



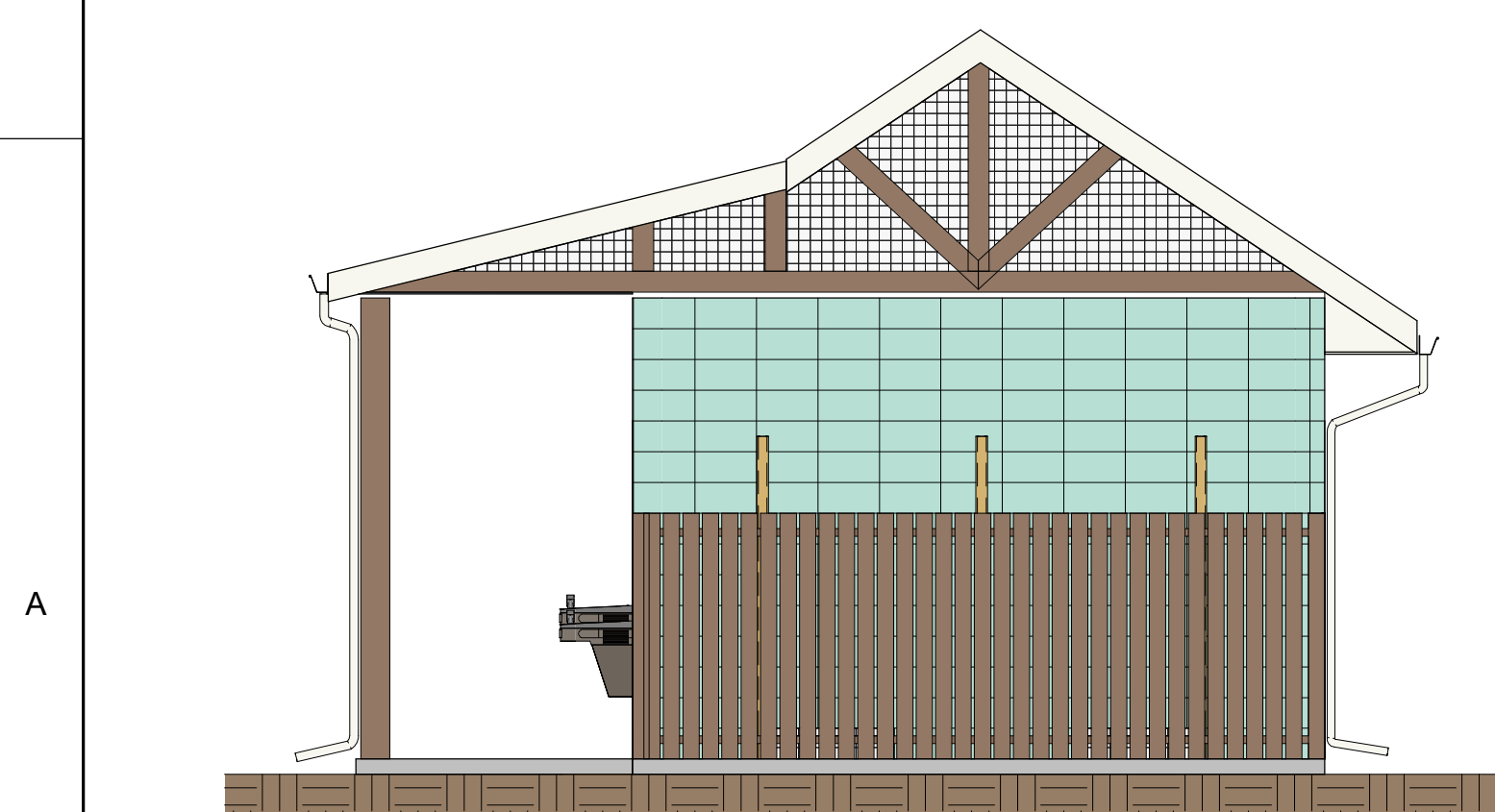
**C1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



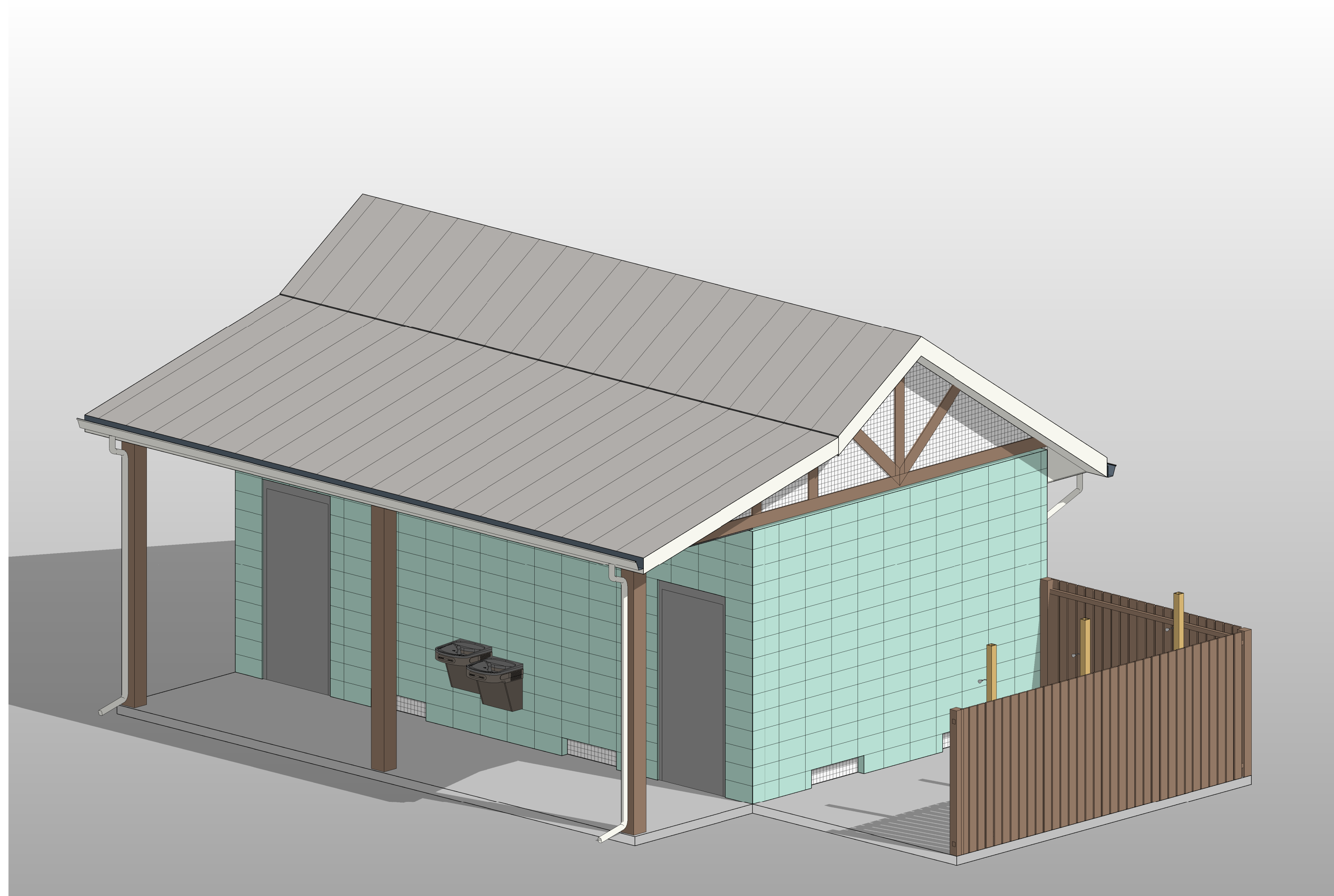
**C3 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**B1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**A1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**A2 AXON VIEW**  
N.T.S.

MATERIAL AND FINISHES

ALL WOOD TO BE PRESSURE TREATED.  
PICNIC PAVILION: PREFABRICATED UNIT, BASIS OF DESIGN IS CEDAR FOREST PRODUCT (CFP) MODEL #: OTT2436 (24X36 OPEN TIMBER TRUSS)  
STANDING SEAM METAL ROOF.

EOR/AOR SEAL

CLIENT INFORMATION

ST. JOHNS COUNTY PARKS AND RECREATION

PROJECT NAME

MUSSALLEM BEACHFRONT PARK PHASE III

COASTAL HIGHWAY A1A

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: M.M  
DRAWN BY: T.V  
CHECKED BY: M.M  
SUBMITTED BY: M.M  
DATE: 12/30/2022  
PROJECT #: 1220467

SHEET TITLE

COLORED ELEVATIONS - PAVILION

SHEET NUMBER

A-601

ORIGINAL SHEET SIZE: 22" X 34"

D

C

B

A

TOP OF COLUMN  
8' - 0"

F.F.  
0' - 0"

C1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

TOP OF COLUMN  
8' - 0"

F.F.  
0' - 0"

C3 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

TOP OF COLUMN  
8' - 0"

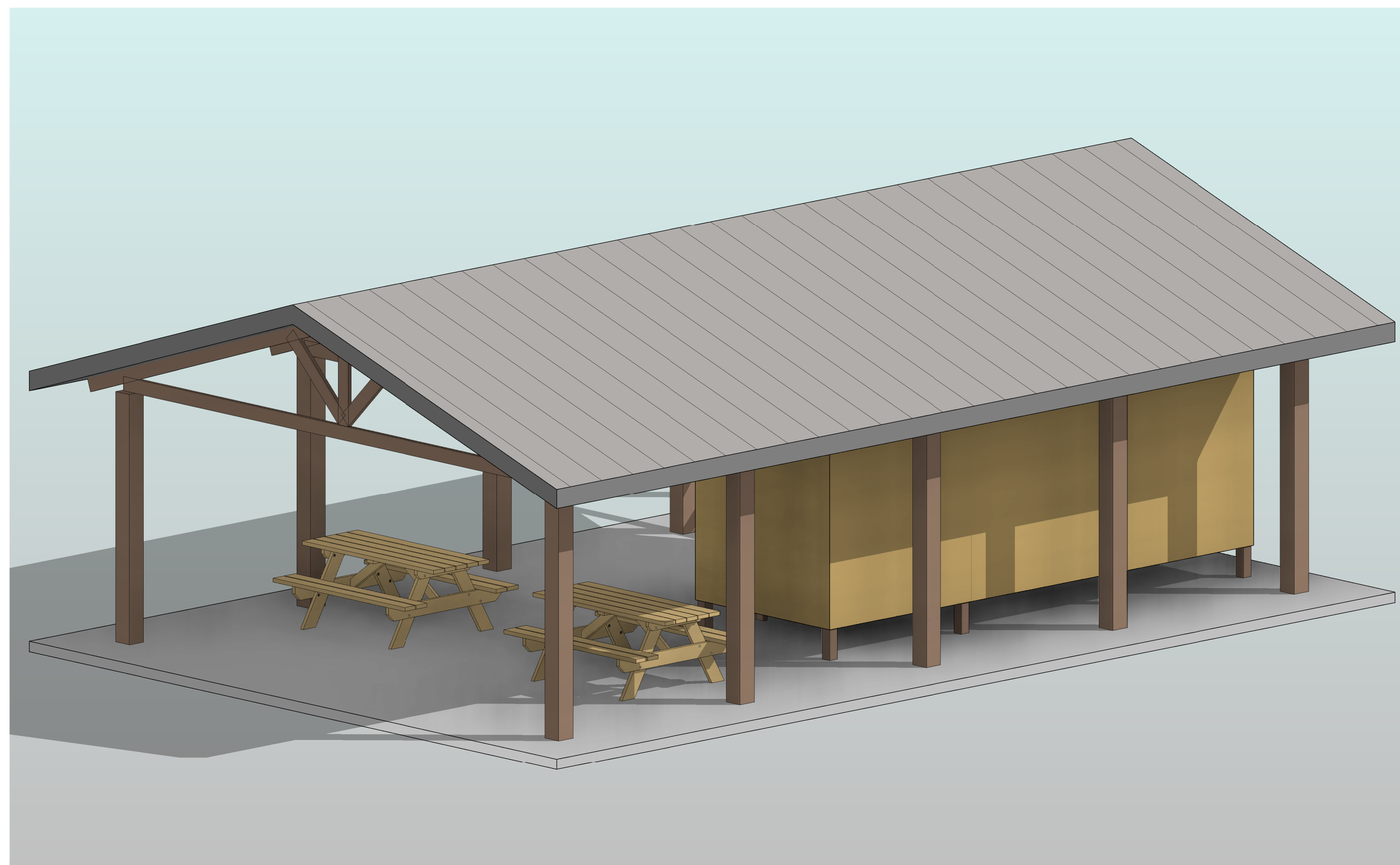
F.F.  
0' - 0"

A2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

TOP OF COLUMN  
8' - 0"

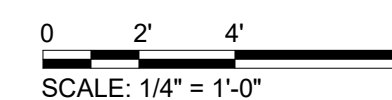
F.F.  
0' - 0"

A1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



A3 AXON VIEW  
N.T.S

15



SCALE: 1/4" = 1'-0"

100% DESIGN SUBMISSION

EOR/AOR SEAL

CLIENT INFORMATION

ST. JOHNS  
COUNTY PARKS  
AND RECREATION

PROJECT NAME

MUSSALLEM  
BEACHFRONT  
PARK PHASE  
III

COASTAL HIGHWAY  
A1A

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY:	M.M
DRAWN BY:	T.V
CHECKED BY:	M.M
SUBMITTED BY:	M.M
DATE:	12/30/2022
PROJECT #:	1220467

SHEET TITLE

COLORED  
ELEVATIONS -  
CORNHOLE  
COURT

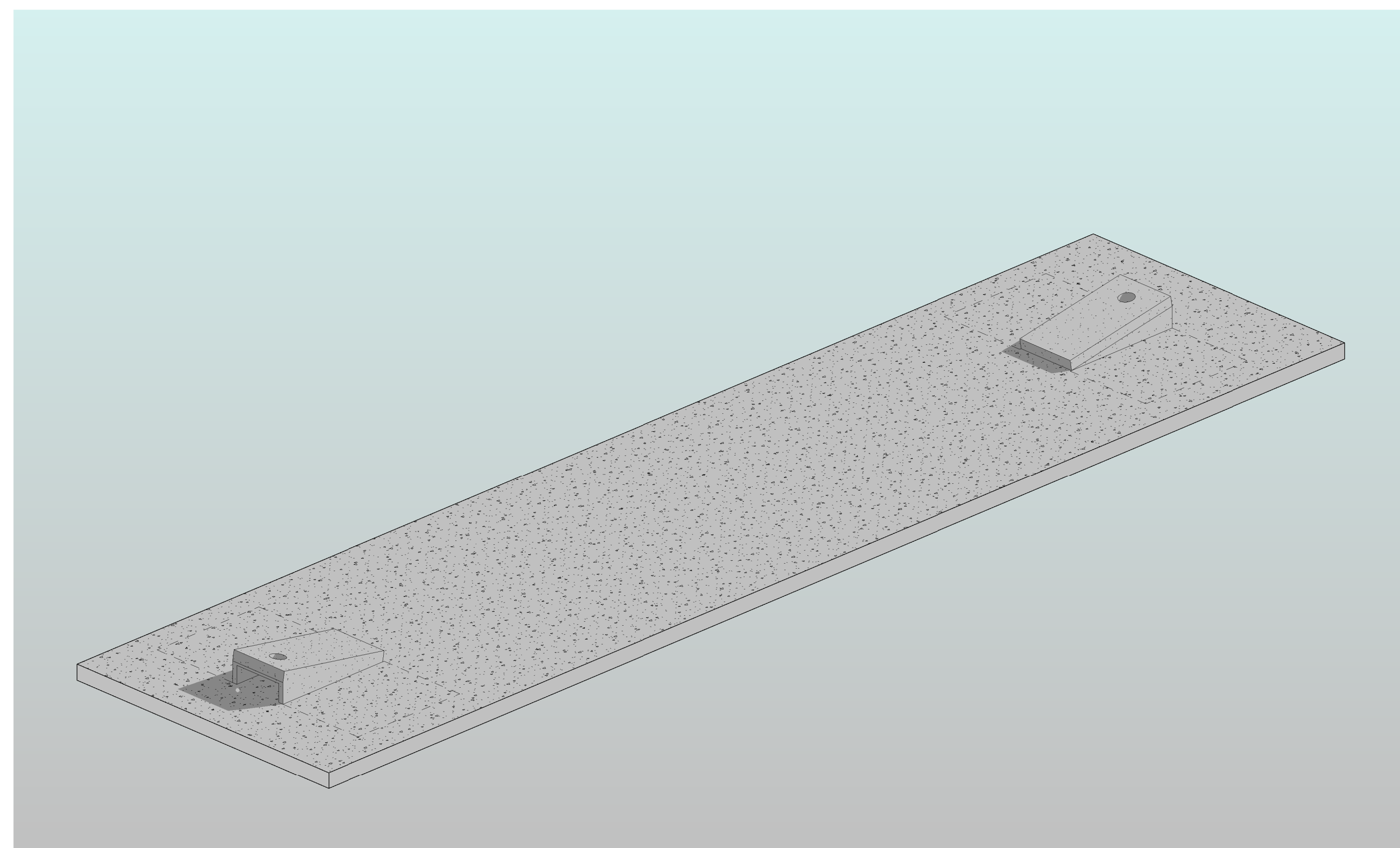
SHEET NUMBER

**A-603**

ORIGINAL SHEET SIZE:  
22" X 34"

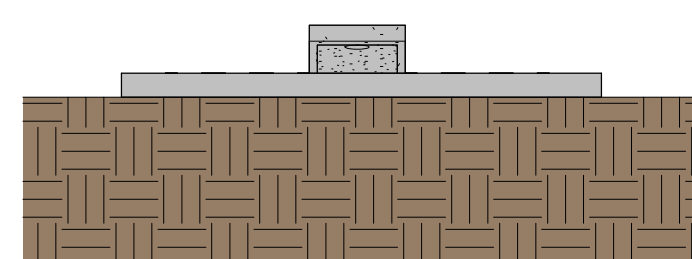
**MATERIAL AND FINISHES**

CORN HOLE PAD : CONCRETE  
CORNHOLE BOARD: CONCRETE, BASIS OF DESIGN IS  
KAYPARK CONCRETE CORNHOLE PRODUCT SKU: KPBT

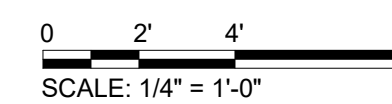
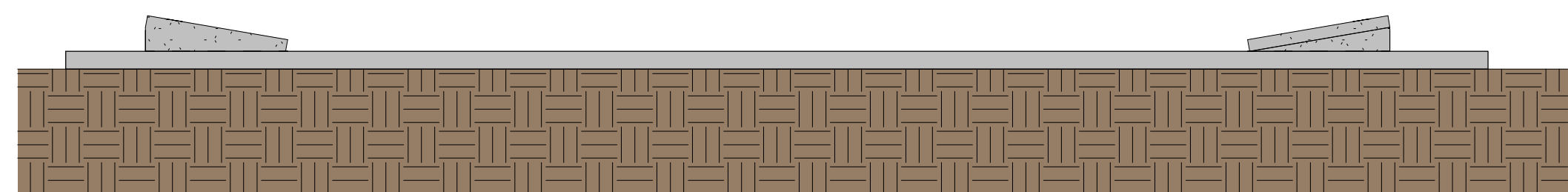


**A3** AXON VIEW  
SCALE:

**B1** SIDE ELEVATIONS  
SCALE: 1/4" = 1'-0"



**A1** SIDE ELEVATIONS  
SCALE: 1/4" = 1'-0"





1

2

3

4

5

**MATERIAL AND FINISHES**  
 ALL WOOD TO BE PRESSURE TREATED.  
 PRE-ENGINEERED ROOF TRUSSES.  
 STANDING SEAM METAL ROOF .



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EOR/AOR SEAL

CLIENT INFORMATION

ST. JOHNS  
 COUNTY PARKS  
 AND RECREATION

PROJECT NAME

MUSSALLEM  
 BEACHFRONT  
 PARK PHASE  
 III

COASTAL HIGHWAY  
 A1A

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: M.M  
 DRAWN BY: T.V  
 CHECKED BY: M.M  
 SUBMITTED BY: M.M  
 DATE: 12/30/2022  
 PROJECT #: 1220467

SHEET TITLE

COLORED  
 ELEVATIONS -  
 VIEWDECK

SHEET NUMBER

A-602

ORIGINAL SHEET SIZE:  
 22" X 34"

D

C

B

A

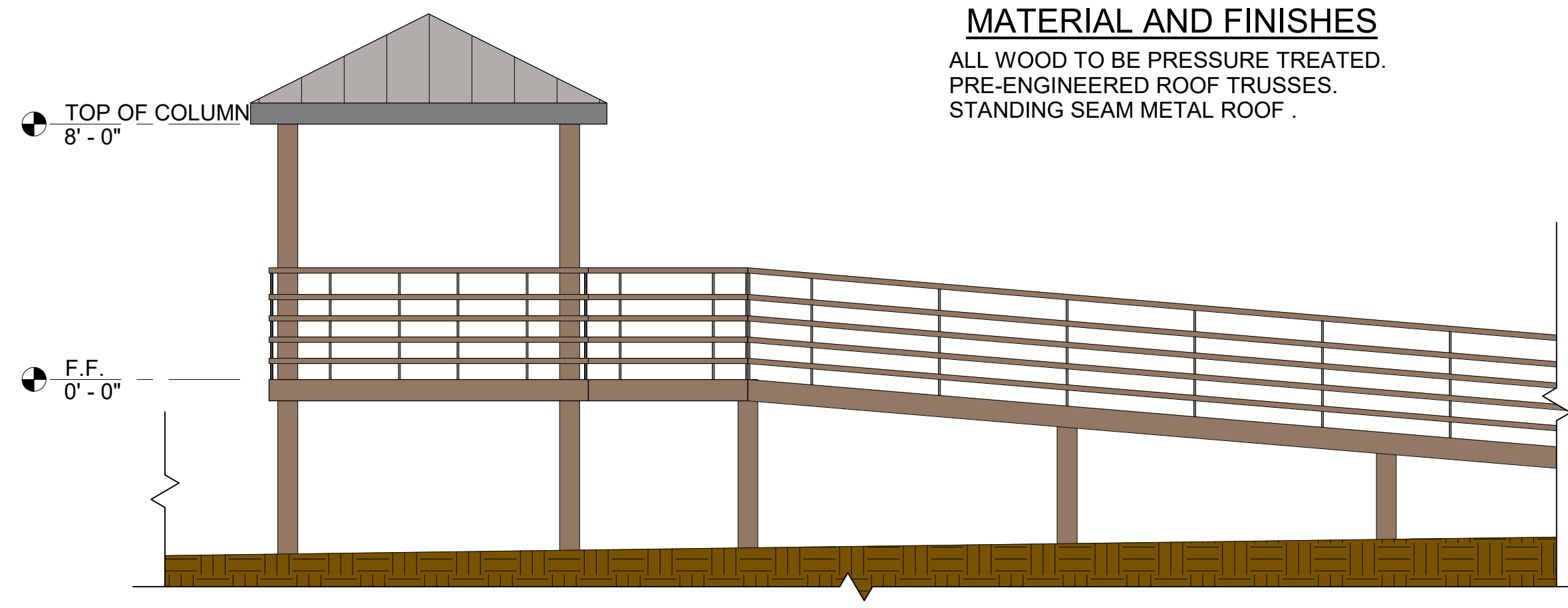
**C1 SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



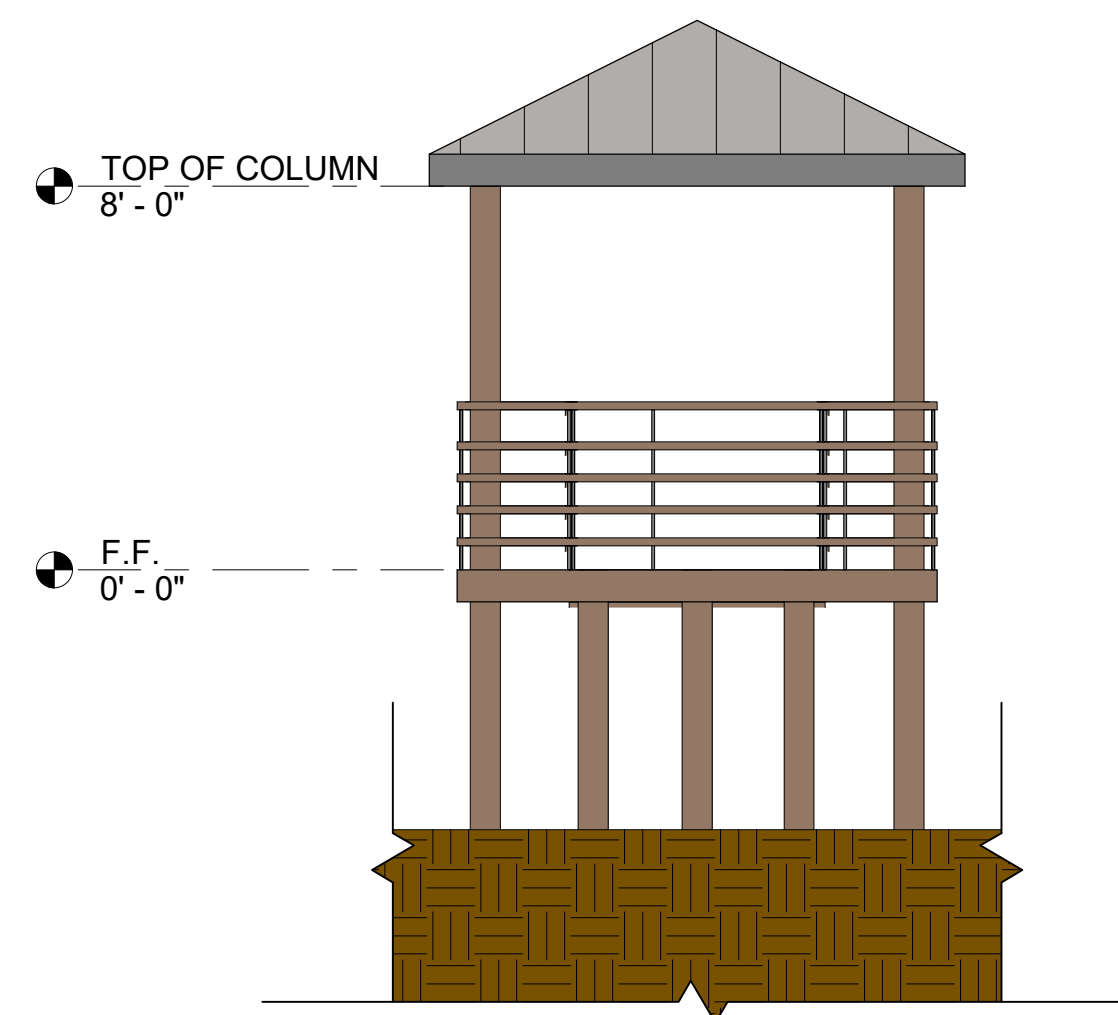
**C3 NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



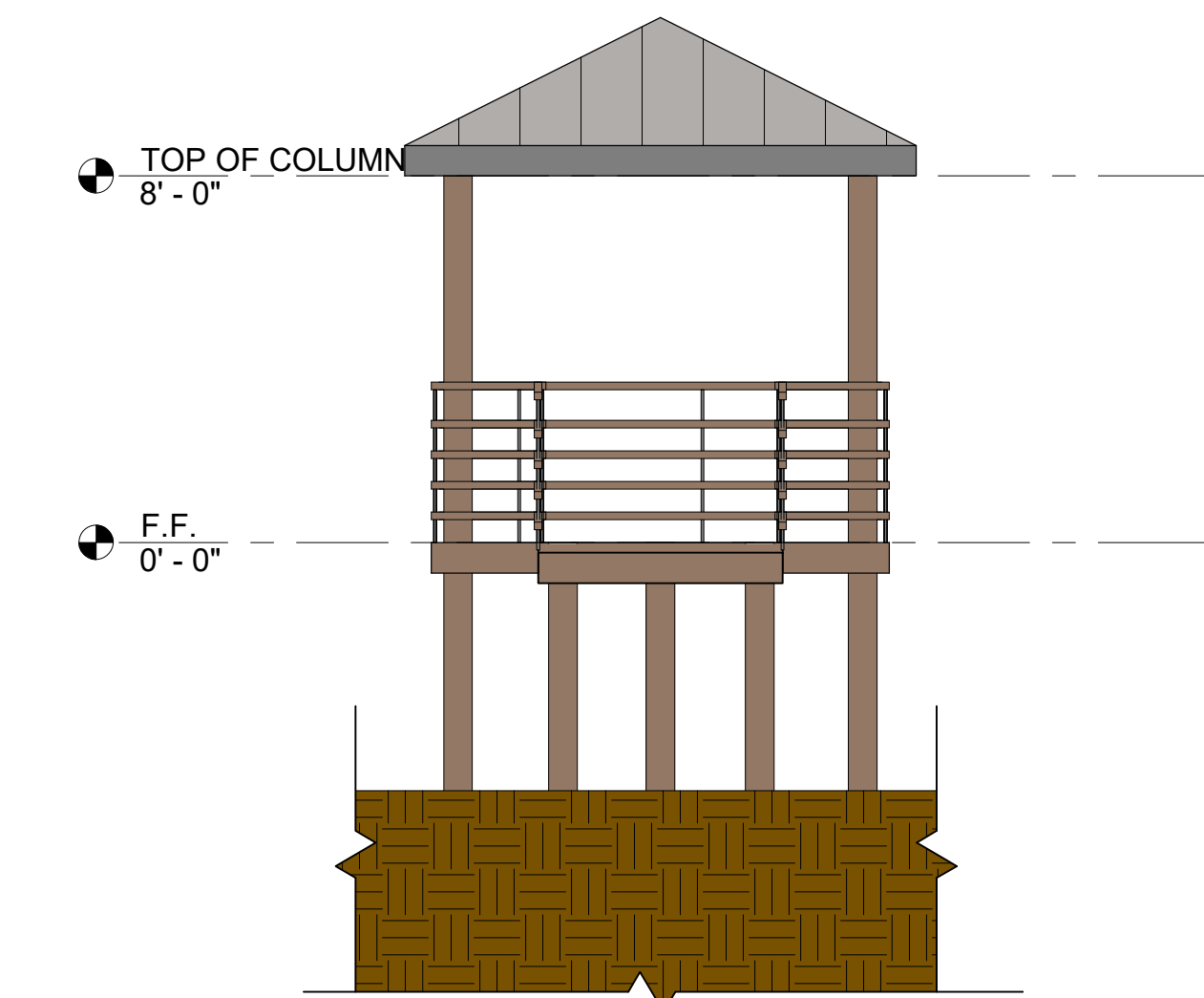
**B1 EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**B1 WEST ELEVATION**

SCALE: 1/4" = 1'-0"

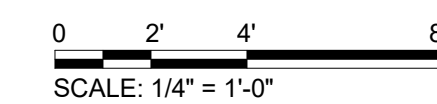


**A1 WEST ELEVATION**

SCALE: 1/4" = 1'-0"

**A2 AXON VIEW**

SCALE:



Previous Approval Order  
NCDRB 2018-18



**ORDER OF THE ST. JOHNS COUNTY, FLORIDA**  
**DESIGN REVIEW BOARD**  
**OF THE NORTH COASTAL OVERLAY DISTRICT**

St. Johns County  
500 San Sebastian View  
St. Augustine, FL 32084

**RE:** Design approval  
**FILE NUMBER:** NCDRB 2018-18 Mussallem Beachfront Park  
**HEARING DATE:** June 13, 2018

**ORDER GRANTING APPROVAL**

The above referenced application for design approval to construct a public elevated boardwalk, restroom building, two pavilions, playground and parking lot located at 3315 and 3350 Coastal Hwy N. St. Augustine, St. Johns County FL 32084 was considered by the North Coastal Design Review Board for public hearing on June 13, 2018.

**FINDINGS OF FACT**

Having considered the application, supporting documents, statements made by the Applicant and Staff, and all evidence presented during the public hearing, the Board made the following Findings of Fact:

- 1. The request is consistent with Section 3.09.00 of the St. Johns County Land Development Code and will meet all other Code requirements.**

NOW THEREFORE, based on said Findings of Fact, the Design Review Board hereby approves this application as submitted subject to the following conditions.

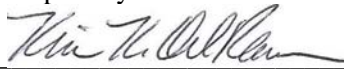
- 1. The applicant will consider building only the minimum number of parking spaces required to lessen the impact of the park to the neighborhood.**
- 2. Paint colors shall be either Cobblestone, Monterey Taupe, Woodstock Brown, or Timber Bark from the selection submitted for approval.**
- 3. Signs and any changes to the original application as submitted will require additional review by the North Coastal Design Review Board.**

This decision may be appealed to the St. Johns County Board of County Commissioners within thirty (30) days of the signing of this Order, pursuant to Section 9.07.04 of the Land Development Code. Deed Restrictions, if any, are not affected by the actions of the Design Review Board or this Order.

DATED THIS 27<sup>th</sup> DAY OF June, 2018.

**DESIGN REVIEW BOARD FOR THE NORTH COASTAL OVERLAY DISTRICT WITHIN ST. JOHNS COUNTY, FLORIDA:**

The undersigned Clerk of the Design Review Board certifies that the above Order is a true and correct copy of the Order adopted by said Board as the same appears in the record of the Board Minutes.

BY:   
Clerk: Kim K. Del Rance LEED AP, Senior Planner

as authorized by Linda LaCerva, Chair  
pursuant to LDC 3.09.08.G.1

Attachments: Stamped approved drawings







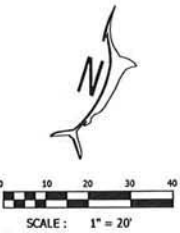
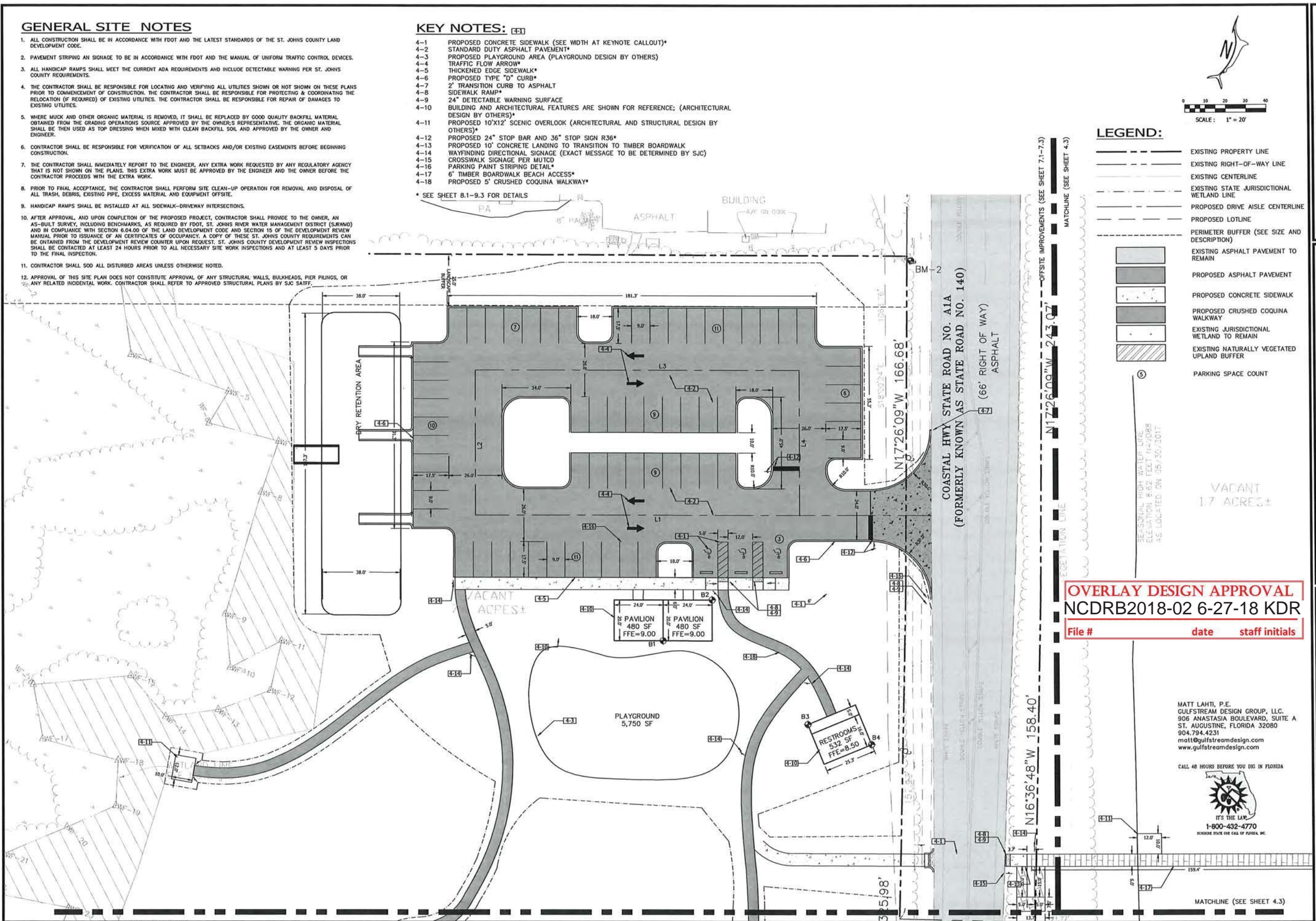
**GENERAL SITE NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT AND THE LATEST STANDARDS OF THE ST. JOHNS COUNTY LAND DEVELOPMENT CODE.
- PAVEMENT STRIPING AND SIGNAGE TO BE IN ACCORDANCE WITH FDOT AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL HANDICAP RAMPS SHALL MEET THE CURRENT ADA REQUIREMENTS AND INCLUDE DETECTABLE WARNING PER ST. JOHNS COUNTY REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND COORDINATING THE RELOCATION (IF REQUIRED) OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGES TO EXISTING UTILITIES.
- WHERE MUCK AND OTHER ORGANIC MATERIAL IS REMOVED, IT SHALL BE REPLACED BY GOOD QUALITY BACKFILL MATERIAL OBTAINED FROM THE GRADING OPERATIONS SOURCE APPROVED BY THE OWNER'S REPRESENTATIVE. THE ORGANIC MATERIAL SHALL BE THEN USED AS TOP DRESSING WHEN MIXED WITH CLEAN BACKFILL SOIL AND APPROVED BY THE OWNER AND ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS AND/OR EXISTING EASEMENTS BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER, ANY EXTRA WORK REQUESTED BY ANY REGULATORY AGENCY THAT IS NOT SHOWN ON THE PLANS. THIS EXTRA WORK MUST BE APPROVED BY THE ENGINEER AND THE OWNER BEFORE THE CONTRACTOR PROCEEDS WITH THE EXTRA WORK.
- PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL PERFORM SITE CLEAN-UP OPERATION FOR REMOVAL AND DISPOSAL OF ALL TRASH, DEBRIS, EXISTING PIPE, EXCESS MATERIAL AND EQUIPMENT OFFSITE.
- HANDICAP RAMPS SHALL BE INSTALLED AT ALL SIDEWALK-DRIVEWAY INTERSECTIONS.
- AFTER APPROVAL, AND UPON COMPLETION OF THE PROPOSED PROJECT, CONTRACTOR SHALL PROVIDE TO THE OWNER, AN AS-BUILT SURVEY, INCLUDING BENCHMARKS, AS REQUIRED BY FDOT, ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD) AND IN COMPLIANCE WITH SECTION 6.04.00 OF THE LAND DEVELOPMENT CODE AND SECTION 15 OF THE DEVELOPMENT REVIEW MANUAL PRIOR TO ISSUANCE OF AN CERTIFICATES OF OCCUPANCY. A COPY OF THESE ST. JOHNS COUNTY REQUIREMENTS CAN BE OBTAINED FROM THE DEVELOPMENT REVIEW COUNTER UPON REQUEST. ST. JOHNS COUNTY DEVELOPMENT REVIEW INSPECTIONS SHALL BE CONTACTED AT LEAST 24 HOURS PRIOR TO ALL NECESSARY SITE WORK INSPECTIONS AND AT LEAST 5 DAYS PRIOR TO THE FINAL INSPECTION.
- CONTRACTOR SHALL SOO ALL DISTURBED AREAS UNLESS OTHERWISE NOTED.
- APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY STRUCTURAL WALLS, BULKHEADS, PIER PILING, OR ANY RELATED INCIDENTAL WORK. CONTRACTOR SHALL REFER TO APPROVED STRUCTURAL PLANS BY SJC SAITF.

**KEY NOTES:**

- PROPOSED CONCRETE SIDEWALK (SEE WIDTH AT KEYNOTE CALLOUT)\*
- STANDARD DUTY ASPHALT PAVEMENT\*
- PROPOSED PLAYGROUND AREA (PLAYGROUND DESIGN BY OTHERS)
- TRAFFIC FLOW ARROW\*
- THICKENED EDGE SIDEWALK\*
- PROPOSED TYPE "D" CURB\*
- 2' TRANSITION CURB TO ASPHALT SIDEWALK RAMP\*
- 24" DETECTABLE WARNING SURFACE
- BUILDING AND ARCHITECTURAL FEATURES ARE SHOWN FOR REFERENCE; (ARCHITECTURAL DESIGN BY OTHERS)\*
- PROPOSED 10'X12' SCENIC OVERLOOK (ARCHITECTURAL AND STRUCTURAL DESIGN BY OTHERS)\*
- PROPOSED 24" STOP BAR AND 36" STOP SIGN R36\*
- PROPOSED 10' CONCRETE LANDING TO TRANSITION TO TIMBER BOARDWALK
- WAYFINDING DIRECTIONAL SIGNAGE (EXACT MESSAGE TO BE DETERMINED BY SJC)
- CROSSWALK SIGNAGE PER MUTCD
- PARKING PAINT STRIPING DETAIL\*
- 6' TIMBER BOARDWALK BEACH ACCESS\*
- PROPOSED 5' CRUSHED COQUINA WALKWAY\*

\* SEE SHEET 8.1-9.3 FOR DETAILS



**LEGEND:**

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING CENTERLINE
- EXISTING STATE JURISDICTIONAL WETLAND LINE
- PROPOSED DRIVE AISLE CENTERLINE
- PROPOSED LOTLINE
- PERIMETER BUFFER (SEE SIZE AND DESCRIPTION)
- EXISTING ASPHALT PAVEMENT TO REMAIN
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CRUSHED COQUINA WALKWAY
- EXISTING JURISDICTIONAL WETLAND TO REMAIN
- EXISTING NATURALLY VEGETATED UPLAND BUFFER
- PARKING SPACE COUNT

**OVERLAY DESIGN APPROVAL**  
**NCDRB2018-02 6-27-18 KDR**

**File #**                      **date**                      **staff initials**

MATT LAHTI, P.E.  
 GULFSTREAM DESIGN GROUP, LLC.  
 906 ANASTASIA BOULEVARD, SUITE A  
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 904.794.4231  
 matt@gulfstreamdesign.com  
 www.gulfstreamdesign.com

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RENDERING STATE ONE CALL BY FLORIDA, INC.

NO.	DATE	BY	DESCRIPTION

PRELIMINARY ENGINEERING DESIGN PLANS FOR  
**MUSSALLEM BEACHFRONT PARK**  
 3350 COASTAL HIGHWAY  
 SITE LAYOUT PLAN (1)  
 ST. JOHNS COUNTY, FL



PROJECT NO:	17-111
ISSUE DATE:	01/21/2018
DRAWING FILE:	17111PROJ
XREF'S:	17111SURV 17111TIB
DRAFTED BY:	SCS
DESIGNED BY:	MHL
CHECKED BY:	MHL
SCALE:	AS NOTED

NOT VALID WITHOUT SEAL

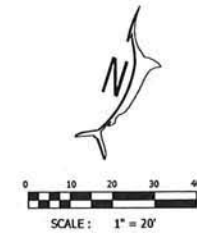
SHEET **4.2**

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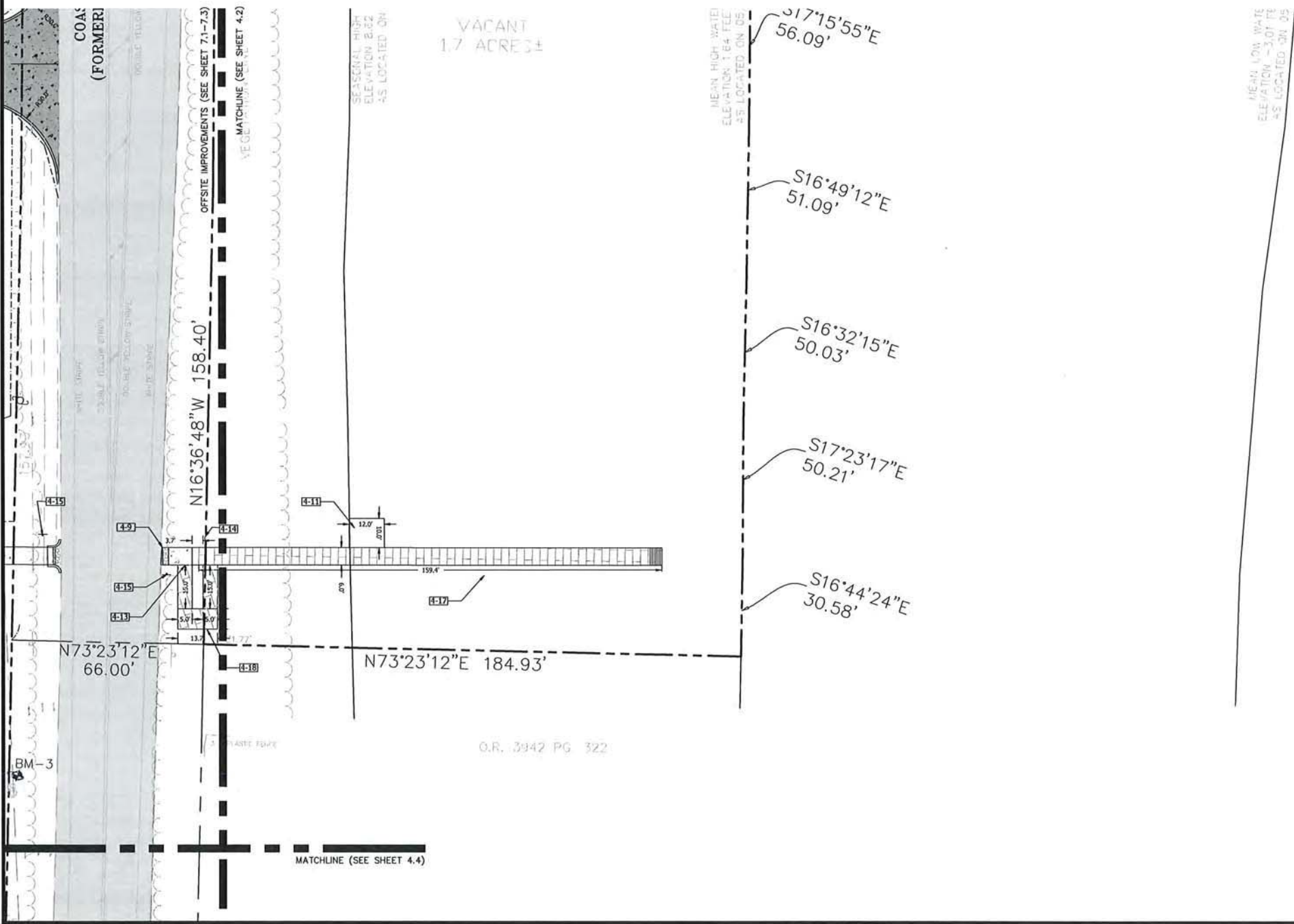
**KEY NOTES: [4-1]**

- 4-1 PROPOSED CONCRETE SIDEWALK (SEE WIDTH AT KEYNOTE CALLOUT)\*
  - 4-2 STANDARD DUTY ASPHALT PAVEMENT\*
  - 4-3 PROPOSED PLAYGROUND AREA (PLAYGROUND DESIGN BY OTHERS)
  - 4-4 TRAFFIC FLOW ARROW\*
  - 4-5 THICKENED EDGE SIDEWALK\*
  - 4-6 PROPOSED TYPE "D" CURB\*
  - 4-7 2' TRANSITION CURB TO ASPHALT SIDEWALK RAMP\*
  - 4-8 24" DETECTABLE WARNING SURFACE BUILDING AND ARCHITECTURAL FEATURES ARE SHOWN FOR REFERENCE: (ARCHITECTURAL DESIGN BY OTHERS)\*
  - 4-9 PROPOSED 10'X12' SCENIC OVERLOOK (ARCHITECTURAL AND STRUCTURAL DESIGN BY OTHERS)\*
  - 4-10 PROPOSED 24" STOP BAR AND 36" STOP SIGN R36\*
  - 4-11 PROPOSED 10' CONCRETE LANDING TO TRANSITION TO TIMBER BOARDWALK
  - 4-12 WAYFINDING DIRECTIONAL SIGNAGE (EXACT MESSAGE TO BE DETERMINED BY SJC)
  - 4-13 CROSSWALK SIGNAGE PER MUTCD
  - 4-14 PARKING PAINT STRIPING DETAIL\*
  - 4-15 6' TIMBER BOARDWALK BEACH ACCESS\*
  - 4-16 SWITCH BACK ADA ACCESSIBLE RAMP\*
- \* SEE SHEET 8.1-9.3 FOR DETAILS



**LEGEND:**

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING CENTERLINE
- EXISTING STATE JURISDICTIONAL WETLAND LINE
- PROPOSED DRIVE AISLE CENTERLINE
- PROPOSED LOTLINE
- PERIMETER BUFFER (SEE SIZE AND DESCRIPTION)
- EXISTING ASPHALT PAVEMENT TO REMAIN
- PROPOSED ASPHALT PAVEMENT
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- PROPOSED CRUSHED COQUINA WALKWAY
- EXISTING JURISDICTIONAL WETLAND TO REMAIN
- EXISTING NATURALLY VEGETATED UPLAND BUFFER
- PARKING SPACE COUNT



ATLANTIC

**OVERLAY DESIGN APPROVAL**  
**NCDARB2018-02 6-27-18 KDR**  
 File #                      date                      staff initials

MATT LAHTI, P.E.  
 GULFSTREAM DESIGN GROUP, LLC.  
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 ST. AUGUSTINE, FLORIDA 32080  
 904.794.4231  
 matt@gulfstreamdesign.com  
 www.gulfstreamdesign.com



NO.	DATE	DESCRIPTION

**PRELIMINARY ENGINEERING DESIGN PLANS FOR**  
**MUSSALLEM BEACHFRONT PARK**  
**3350 COASTAL HIGHWAY**  
 SITE LAYOUT PLAN (2)  
ST. JOHNS COUNTY, FL



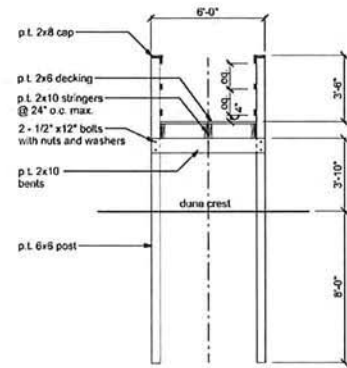
PROJECT NO:	17-111
ISSUE DATE:	01/31/2018
DRAWING FILE:	17111PROJ
XREFS:	17111SURV 17111TIB
DRAFTED BY:	SCS
DESIGNED BY:	HL
CHECKED BY:	HL
SCALE:	AS NOTED

NOT VALID WITHOUT SEAL

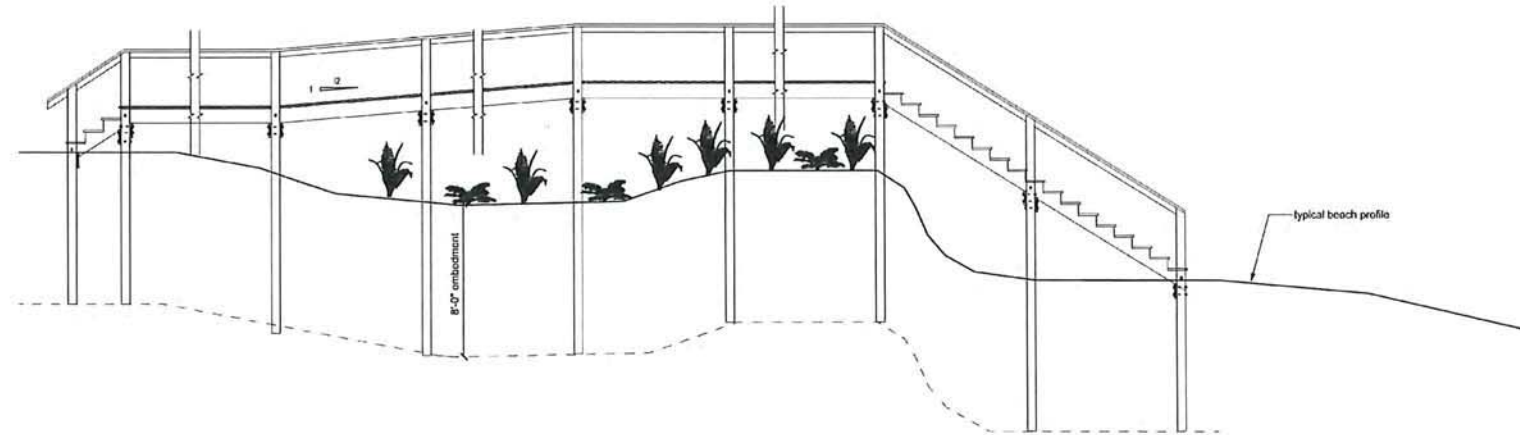
SHEET **4.3**



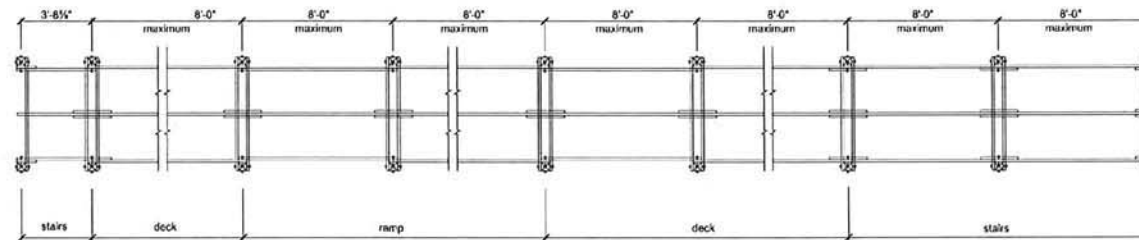




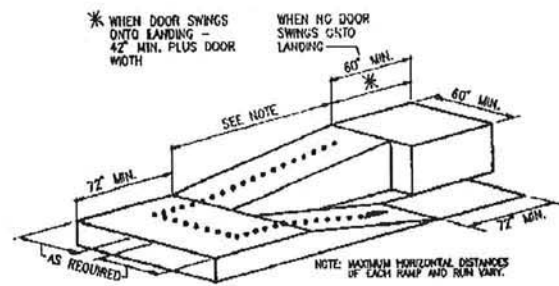
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SCALE: 1/4" = 1'-0"



**PROFILE**  
SCALE: 1/4" = 1'-0"



**PLAN**  
SCALE: 1/4" = 1'-0"



( a ) RAMP WITH INTERMEDIATE SWITCH-BACK PLATFORM

**OVERLAY DESIGN APPROVAL**  
NCDRB2018-02 6-27-18 KDR  
File #                      date                      staff initials

SHEET OF		DATE: 10/17/17	REVISIONS:
SCALE: PE # 56001		DRAWN BY: W.H.F.	APPROVED: W.H.F.
ST. Johns County Facilities		St. Augustine, Florida 32086	
2515 Dobbie Road		PHONE: (904) 209-0162 FAX: (904) 209-0191	
St. Johns County Seal		ST. JOHNS COUNTY BEACH ACCESS	
DUNE WALKOVERS			

ENGINEERING DESIGN PLANS FOR  
**MUSSALLEM BEACHFRONT PARK**  
3350 COASTAL HIGHWAY  
TIMBER BOARDWALK DETAILS  
ST. JOHNS COUNTY, FLORIDA



PROJECT NO:	17-111
ISSUE DATE:	01/31/2018
DRAWING FILE:	17111CV1
XREFS:	1711111B
DRAFTED BY:	SCS
DESIGNED BY:	HHL
CHECKED BY:	HHL
SCALE:	AS NOTED

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SHEET 8.4