



GROWTH MANAGEMENT DEPARTMENT STAFF REPORT
PONTE VEDRA OVERLAY DISTRICT
September 21, 2022 Public Meeting
ARC 2022-08 Beach House (The Plantation at Ponte Vedra)

To: Architectural Review Committee
Staff: Sloane Stephens, Planner
Date: September 8, 2022

Applicant: Thomas A. Cruz
The Plantation at Ponte Vedra
112 Muirfield Drive
Ponte Vedra Beach, FL 32082

Location: 1111 Ponte Vedra Blvd.
FLUM: B-RES
Zoning: R-1-A

Applicable Ponte Vedra Zoning District Regulations: VIII.Q – Ponte Vedra Overlay District

The applicable standards and criteria shall apply to: (a) new projects; (b) certain exterior additions, remodeling and renovations to existing structures; and (c) certain changes to landscaping, buffers, signage and parking lots. The ARC shall be charged with determining compliance with the Development Standards and Criteria of Section Q.5.d Architectural Design Standards and Section Q.5.e, Design Elements and Materials.

Summary of Request: Applicant is requesting design approval for proposed renovations to the existing structure and construction of a new building on the site.

Staff Review

Planning Division: Staff finds that the proposed design of the new building and renovations to the existing structure appear compatible with the existing building design and the regulations of the Ponte Vedra Overlay District. New structure and renovations are to have stucco color Benjamin Moore SeaShell OC120, with roof color DaVinci Slate Black to match existing structure. Staff also notes the applicant does not intend to make any alterations to the existing vegetative buffer/screening.

Building Finishes



Benjamin Moore SeaShell
OC120



DaVinci Slate Black

South Renderings



PVZDR Section VIII.Q.5 – Development Standards and Criteria (provided in part)

d. Architectural Design Standards

The pleasing and compatible relationship of architecture along Roads in the Overlay District is of important public concern. The architectural design of Structures and their materials and colors must be visually harmonious with the overall appearance, history and cultural heritage of Ponte Vedra, and also with natural Land forms and existing vegetation. Compatibility with existing adjacent Structures and other approved development plans must also be considered. The intent of these standards is not to restrain diversity or innovative architecture, but to reduce incompatible and adverse impacts, and to insure an aesthetically pleasing environment. To accomplish this, the following standards shall apply to the review of proposed Buildings, renovations and related site improvements.

- (1) Proposed development shall be located and configured in a visually complementary manner with the existing terrain and vegetation of the parcel and surrounding parcels. Structures shall obstruct as little as reasonably practical scenic views from the main Road or from existing Structures and the natural environment. Structures shall not dominate, in an incompatible manner, any general development or adjacent Building which is substantially in compliance with this Ordinance. This may be accomplished by the use of architectural features and/or siting of proposed Structures to reduce the appearance of excessive and inappropriate height or mass of proposed Structures.
- (2) The proposed Building or Structure shall be of such design that is contributes to the image of the Ponte Vedra Coastal Corridor as a place of beauty, spaciousness and high quality.
- (3) The proposed Building or Structure shall not, in its exterior design and appearance, be of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance or value.
- (4) Where a single Building, or group of related Buildings contains more than one (1) store or business front, all Wall Signs shall be of similar style and shall be compatible and uniform in terms of size, color and any lighting. Any back- lighting or appearance of lighting shall be white in color.
- (5) The color and materials of Signs shall be compatible with the architectural style, color and materials of the related commercial or multi-Family Building.
- (6) New Ground Signs and alterations to existing Ground Signs requiring an ARC review shall be externally illuminated.

e. Design Elements and Materials

- (1) Flat roofs, or the appearance of flat roofs, shall not be permitted. Pitched roofs, or the appearance of pitched roofs are required.
- (2) Long monotonous façade designs including, but not limited to, those characterized by unrelieved repetition of shape or form or design elements, or by unbroken extension of line shall be avoided.
- (3) Architectural grade shingles, metal standing seam, tile or other non-reflective roof materials with similar nature-blending texture and appearance shall be considered appropriate.
- (4) Stucco, tabby, wood siding or wood shingle siding, brick or other materials with similar texture and appearance shall be considered appropriate.
- (5) Exterior colors of paints and stains shall be Earth Tones with no more than three colors per Building, excluding roof color. Semi-transparent stains are recommended for application on natural wood finishes. All exterior color hues shall be subdued, consistent and compatible with those on existing adjacent properties as well as those throughout the Ponte Vedra Coastal Corridor.

(6) Roof and exterior Wall surfaces, with the exception of glass doors and windows shall be non-reflective. Any glass coating shall not reflect outward and shall be limited in color to gray or green. No more than forty (40) percent of the façade facing an Overlay District Delineated Roadway shall be glass or reflective material.

(7) The location and dimensions of Wall Signs shall maintain compatibility with architectural materials, finishes and features of the Building. Wall signs shall be directly mounted on the surface of the building and shall not be mounted on raceways or other such protrusions from the surface of the building.

(8) The Architectural Review Committee may require utilization of particular landscape and plant species where a pattern of vegetation has been established or where such species are determined to be desirable.

(9) Architectural lighting shall be recessed under roof overhangs or generated from a concealed light source or low level light fixtures. Site lighting shall be of low intensity, shall be of white light which does not distort colors and shall not spill over into adjoining properties, roadways or in any way interfere with the vision of oncoming motorists.

Staff review shows there are no open comments on this application. A Pre-application Meeting was not held with the Planning Division. Attached for consideration are:

Application
Site Plans
Drawings & Renderings
Color Samples

CORRESPONDENCE

No correspondence has been received since the writing of this report.

SUGGESTED ACTION TO APPROVE

The Design Review Board may consider a motion to approve **ARC 2022-08 Beach House (The Plantation at Ponte Vedra)**, as described within the application, provided:

1. The request complies with the Ponte Vedra Zoning District Regulations relating to design standards and is consistent with the intent and purpose of the Ponte Vedra Zoning and Overlay Regulations.

SUGGESTED ACTION TO DENY

The Design Review Board may consider a motion to deny **ARC 2022-08 Beach House (The Plantation at Ponte Vedra)**, provided:

1. The request does not comply with the Ponte Vedra Zoning District Regulations; the proposed design standards are not compatible with the purpose and intent of the Ponte Vedra Zoning and Overlay Regulations.



Application for Overlay District Review
 Growth Management Department
 Planning and Zoning Section
 4040 Lewis Speedway, St. Augustine, FL 32084
 Phone: 904.209.0675; Fax: 904.209-0576

2015
2020

Date Overlay District Property ID No (Strap)

Applicant Phone Number

Address Fax Number

City State Zip Code E-mail

Project Name

Project Address & Location

Type of Review Commercial Use Multi-family Use Other:

The Project Involves New Building Changes to an existing Building Exterior Repainting Signage (Individual)
 Check all that apply Unified Sign Plan Fences / Walls Parking / Lighting Landscaping / Buffers
 Other:

Describe Project and work proposed to be done (Provide additional information by attachment as needed)

Beach House (The Plantation at Ponte Vedra)
 Proposed renovations to existing structure and construction of a new building on the site.

I HEREBY CERTIFY THAT ALL INFORMATION IS CORRECT:
 Signature of owner or person authorized to represent this application:

Signed By
 Printed or typed name(s)

Contact Information of person to receive all correspondence if different than applicant:
 Phone Number Fax Number E-mail
 Postal Address Name
 City State Zip Code

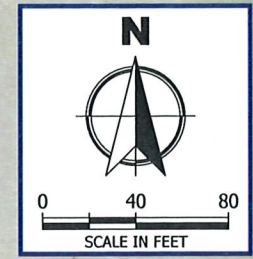
Please notify the Planning and Zoning Section at 904.209.0675 if you need any special assistance or accommodations to attend the meeting or if you have any questions concerning this application.

Please list any applications currently under review or recently approved which may assist in the review of this application including the name of the PUD/PRD:

RECEIVED
 SEP 07 2022
 BY: 927 R

Beach House (The Plantation at Ponte Vedra)

1111 Ponte Vedra Blvd, South, Ponte Vedra Beach, FL 32082



Map Showing
A Topographic Survey of
LOTS 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

MICKLER'S LANDING PUBLIC BEACH ACCESS

BEACH HOUSE
The Plantation at Ponte Vedra

MICKLER'S LANDING
PUBLIC PARKING AREA

ATLANTIC OCEAN

PROPOSED RENOVATIONS AND NEW
STRUCTURE LOCATED HERE. FOR
DETAIL SEE SHEET 2

7/21/2022
Eric J. Almond, P.E.
FL# 59246

Date	Revision

AE JOB NO.: 22-098
DESIGN: EJA
DRAWN: EJA/JCK
CHECKED: WJB/CAK
PLOT DATE: 7.21.2022

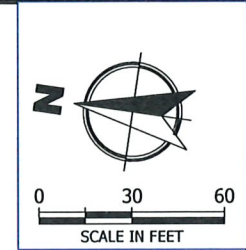
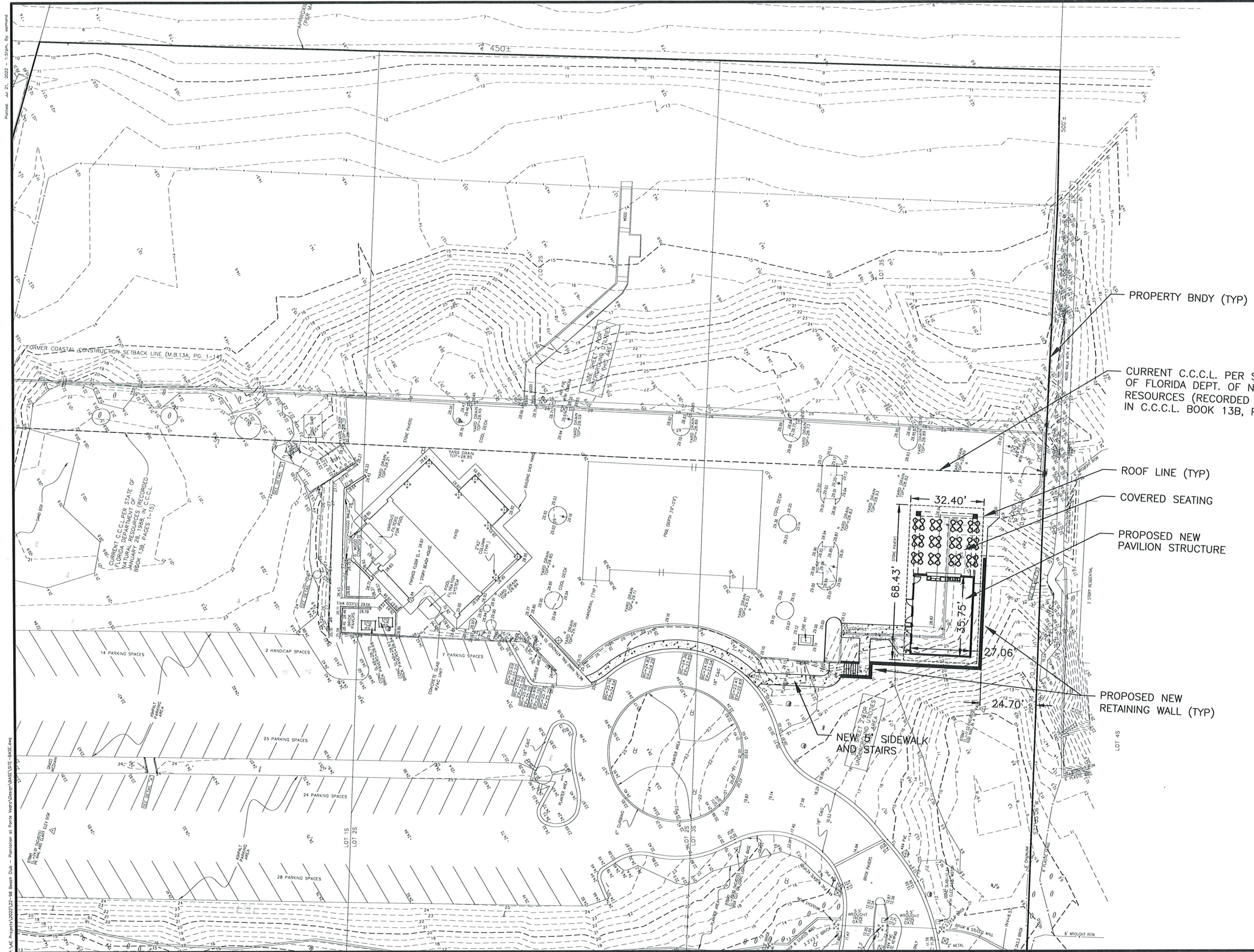
MASTER SITE PLAN

THE PLANTATION
AT PONTE VEDRA

ALMOND
ENGINEERING
CONSULTING CIVIL ENGINEERS
6277 DUPONT STATION COURT E, SUITE 1
JACKSONVILLE, FL 32217
(904) 306-0162 PHONE

SHEET
1 OF 2

NOT FOR CONSTRUCTION, NOT FOR BIDDING - FOR REGULATORY REVIEW ONLY. - 7/21/2022



7/21/2022
 Eric J. Almond, P.E.
 FL# 59246

Date	Revision

AE JOB NO.: 21-73
 DESIGN: EJA
 DRAWN: EJA/JGK
 CHECKED: WJB/CAK
 PLOT DATE: 7.21.2022

PRELIMINARY SJC DRC
 SITE PLAN

THE PLANTATION
 AT PONTE VEDRA

ALMOND
 ENGINEERING
 CONSULTING CIVIL ENGINEERS
 6277 DUPONT STATION COURT E., SUITE 1
 JACKSONVILLE, FL 32217
 (904) 308-0162 PHONE

SHEET
 2 OF 2

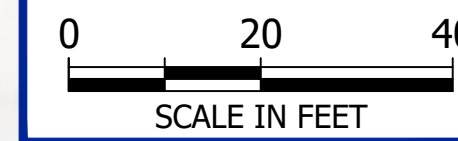
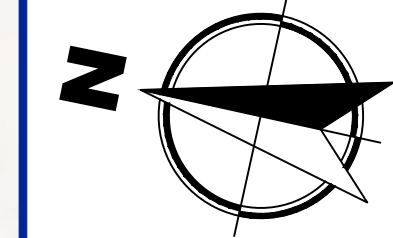
NOT FOR CONSTRUCTION, NOT FOR BIDDING - FOR REGULATORY REVIEW ONLY - 7/21/2022

P:\AE Projects\2022\22-098 Beach Club - Plantation at Ponte Vedra Design\BASE\SITE-BASE.dwg

P:\AE Projects\2022\22-098 Beach Club - Plantation at Ponte Vedra Design\BASE\SITE-BASE.dwg

THE PLANTATION AT PONTE VEDRA

1111 Ponte Vedra Blvd, South, Ponte Vedra Beach, FL 32082



Date	Revision
9/6/2022	

AE JOB NO.: 22-098
 DESIGN: EJA
 DRAWN: EJA/JGK
 CHECKED: WJB/CAK
 PLOT DATE: 9.6.2022

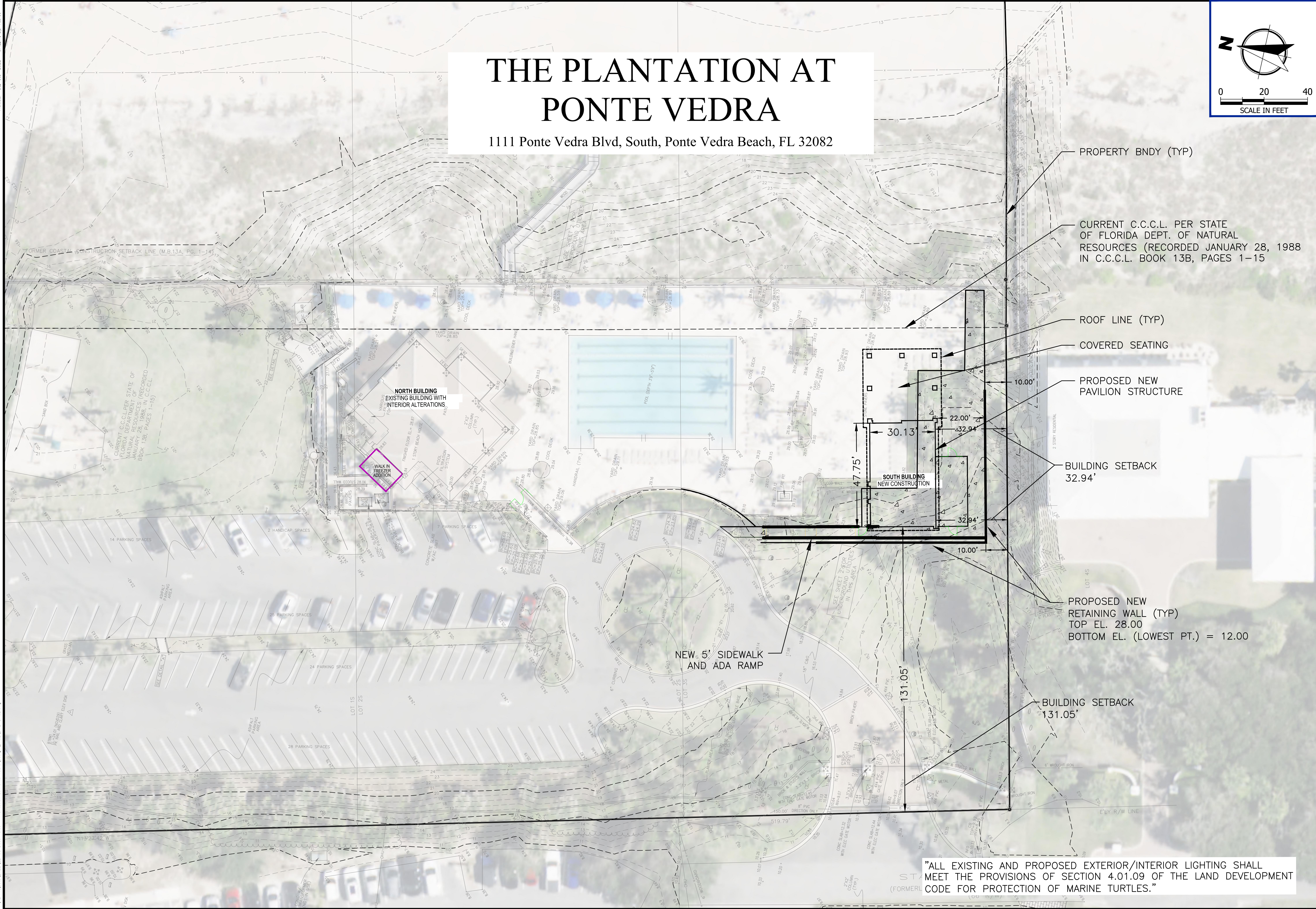
MASTER SITE PLAN

THE PLANTATION AT PONTE VEDRA

AALMOND
 ENGINEERING
 CONSULTING CIVIL ENGINEERS
 6277 DUPONT STATION COURT E., SUITE 1
 JACKSONVILLE, FL 32217
 (904) 506-0162 PHONE

C-100

NOT FOR CONSTRUCTION, NOT FOR BIDDING - FOR REGULATORY REVIEW ONLY. - 9/6/2022



PROPERTY BNDY (TYP)

CURRENT C.C.C.L. PER STATE OF FLORIDA DEPT. OF NATURAL RESOURCES (RECORDED JANUARY 28, 1988 IN C.C.C.L. BOOK 13B, PAGES 1-15)

ROOF LINE (TYP)

COVERED SEATING

PROPOSED NEW PAVILION STRUCTURE

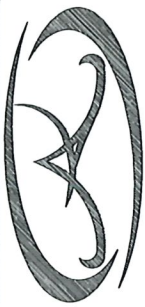
BUILDING SETBACK 32.94'

PROPOSED NEW RETAINING WALL (TYP) TOP EL. 28.00 BOTTOM EL. (LOWEST PT.) = 12.00

BUILDING SETBACK 131.05'

NEW 5' SIDEWALK AND ADA RAMP

ALL EXISTING AND PROPOSED EXTERIOR/INTERIOR LIGHTING SHALL MEET THE PROVISIONS OF SECTION 4.01.09 OF THE LAND DEVELOPMENT CODE FOR PROTECTION OF MARINE TURTLES.



A & K LAND PLANNING & DESIGN, Inc.
 PHONE: (813) 476-9695
 418 TORTOISE TRAIL, SAINT JOHNS, FLORIDA 32598
 E-MAIL: A&K@A&KLANDPLANNING.COM
 WWW.A&KLANDPLANNING.COM

**THE PLANTATION AT
 PONTE VEDRA
 1111 PONTE VEDRA BLVD. SOUTH
 PONTE VEDRA, FL 32082**

REVISIONS :



DATE : August 22, 2022
 PROJECT NO. : 2022.91
 DESIGNED BY : K&R
 DRAWN BY : K&R
 CHECKED BY : K&R
 SCALE : 1" = 20'

SHEET TITLE
LANDSCAPE PLAN

L-1
 SHEET

STANDARD ST. JOHNS COUNTY NOTES:

- a. Vegetation that exceeds twenty-five (25) feet in height at maturity should not be planted closer than fifteen (15) feet of the vertical plane of an existing power line, excluding service wires.
- b. Balled and burlapped strapping wire, and any synthetic material shall be removed prior to final inspection. Wire baskets should be cut away from top one-third of root ball.
- c. Non-canopy Trees shall not be planted closer than 10 feet from other Trees and Canopy Trees no closer than 20-30 feet, depending on species.
- d. A mulch ring for all newly planted Trees shall be provided at least five (5) feet in diameter and not closer than six (6) inches from the tree trunk.
- e. Irrigation will be provided with an automatic Irrigation system (Reclaimed water to be used, all piping to be colored purple).
- f. Trees shall have a minimum height of (8) eight to (10) feet and (2) two inches of caliper.
- g. Shrub lines are to be planted at the required minimum height, not by container size.
- h. Soil in Tree Islands shall have at least 12" of suitable soil for tree plantings, and be void of any construction debris or unsuitable materials.
- i. Trees shall not be planted closer than 15' from the centerline of underground utilities.
- j. 10% OF all newly planted trees need to be canopy trees
- k. No more than 50% of newly planted trees can be of the same species.
- l. The soil in the islands shall have at least twelve (12) inches of suitable soil for tree plantings and void of construction debris (Per LDC 606.03 G2)

IRRIGATION NOTE:

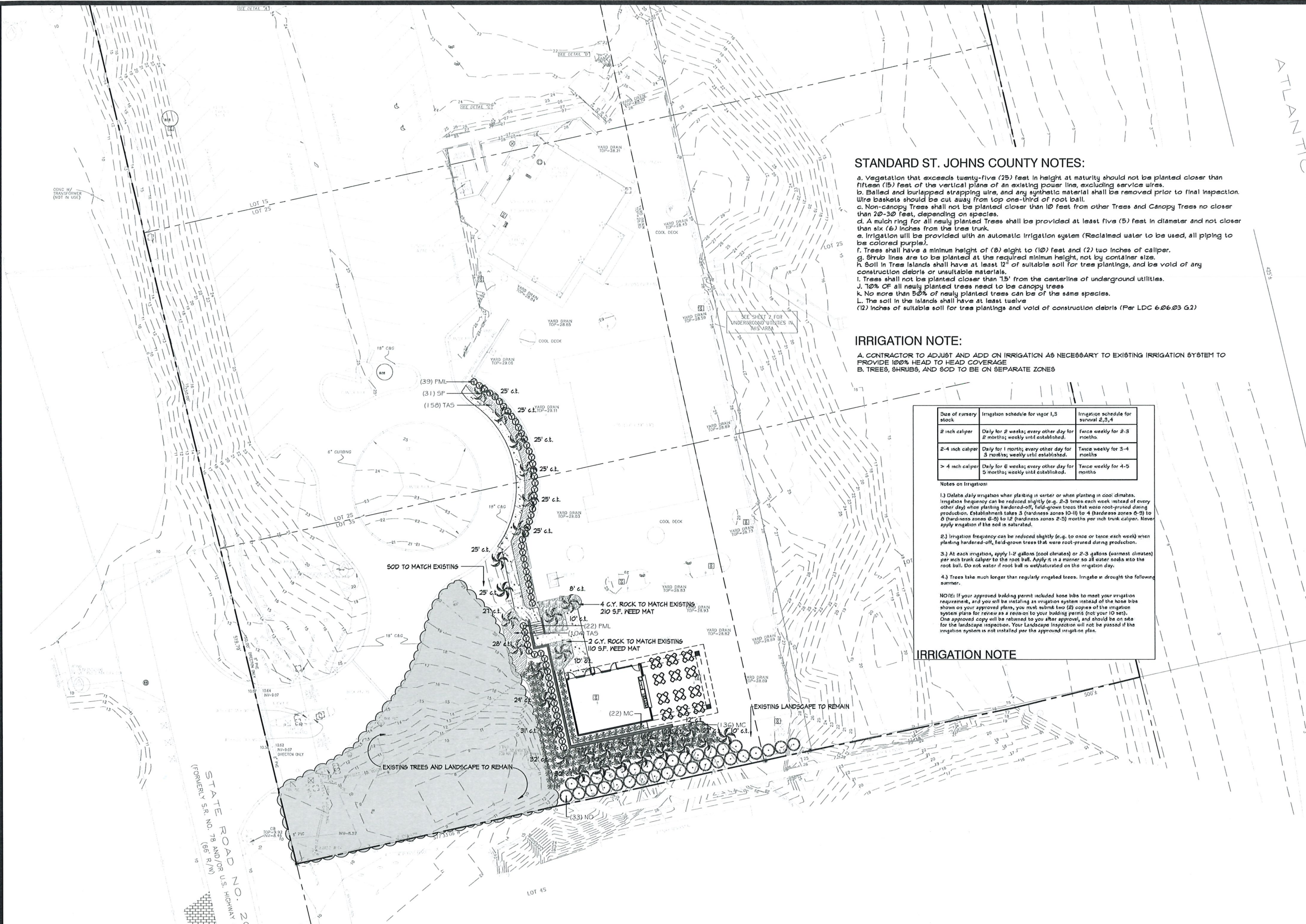
A. CONTRACTOR TO ADJUST AND ADD ON IRRIGATION AS NECESSARY TO EXISTING IRRIGATION SYSTEM TO PROVIDE 100% HEAD TO HEAD COVERAGE
 B. TREES, SHRUBS, AND SOD TO BE ON SEPARATE ZONES

Size of nursery stock	Irrigation schedule for vigor 1,3	Irrigation schedule for survival 2,3,4
2 inch caliper	Daily for 2 weeks; every other day for 2 months; weekly until established.	Twice weekly for 2-3 months.
2-4 inch caliper	Daily for 1 month; every other day for 3 months; weekly until established.	Twice weekly for 3-4 months.
> 4 inch caliper	Daily for 6 weeks; every other day for 5 months; weekly until established.	Twice weekly for 4-5 months.

Notes on Irrigation:

- 1.) Delete daily irrigation when planting in winter or when planting in cool climates. Irrigation frequency can be reduced slightly (e.g. 2-3 times each week instead of every other day) when planting hardener-off, field-grown trees that were root-pruned during production. Establishment takes 3 (hardiness zones 10-11) to 4 (hardiness zones 8-9) to 6 (hardiness zones 6-8) to 12 (hardiness zones 2-5) months per inch trunk caliper. Never apply irrigation if the soil is saturated.
 - 2.) Irrigation frequency can be reduced slightly (e.g. to once or twice each week) when planting hardener-off, field-grown trees that were root-pruned during production.
 - 3.) At each irrigation, apply 1-2 gallons (cool climates) or 2-3 gallons (warmest climates) per inch trunk caliper to the root ball. Apply it in a manner so all water soaks into the root ball. Do not water if root ball is wet/saturated on the irrigation day.
 - 4.) Trees take much longer than regularly irrigated trees. Irrigate in drought the following summer.
- NOTE:** If your approved building permit included hose bibs to meet your irrigation requirements, and you will be installing an irrigation system instead of the hose bibs shown on your approved plans, you must submit two (2) copies of the irrigation system plans for review as a revision to your building permit (not your IO set). One approved copy will be returned to you after approval, and should be on site for the landscape inspection. Your Landscape Inspector will not be pleased if the irrigation system is not installed per the approved irrigation plan.

IRRIGATION NOTE



General Notes and Specifications

- Prior to construction the landscape contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. The landscape contractor is responsible for repairing any and all damage to utilities, structures, site appurtenances, etc., which occurs as a result of the landscape construction.
- When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions or obstructions, notify owner's representative before planting.
- All plants must be healthy, vigorous material, free of pests and disease.
- All trees, palms, and shrubs shall be highest grade Dept. of Agriculture and Consumer Services.
- All plant material must be approved by the Landscape Architect before the plant material is installed.
- Any changes to the plant material (size, type, etc.), irrigation or any other deviations from the plans must be approved by the Landscape Architect prior to the change being implemented by the contractor. The contractor must provide written proof of authorization for any changes.
- All plants to be field grown or container grown as indicated on plant list. Store plants in shade and protect from weather. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to owner's rep. Do not remove container grown stock from containers until planting time. Protect roots of plant from drying or other possible injury. Keep plant ball moist at all times.
- All plants shall be triangular spaced.
- Obtain agronomic soils test for all planting areas and tree pits prior to excavation of tree pits. Tests shall be performed by an approved soils testing laboratory and shall include fertility and suitability analysis with written recommendations for soil amendments, fertilizer and chemical conditioner application rates for soil preparation, planting backfill mix, and post maintenance fertilization program. Submit a copy of soils report to owner's rep. and landscape architect.
- Add soil amendments as recommended by soil test in quantities necessary to bring soil mixture to pH rating of between 5.5 and 6.0. Minerals used for pH correction shall be commercially produced for this purpose.
- All plants and planting areas must be completely mulched as specified with three (3) inches of pine straw or pine bark mulch. Provide 4" minimum clearance of mulch from all shrub trunks and 6" minimum clearance from all tree trunks.
- The landscape contractor is responsible for verifying all quantities shown on these plans, before pricing the work.
- The planting shall be done in accordance with acceptable horticultural practices. This is to include proper planting mix, plant and tree pit preparation, pruning, staking or guying, wrapping, spraying, fertilization, planting, and adequate maintenance throughout the required maintenance period.
- The landscape contractor is responsible for fully maintaining all planting (including but not limited to: pruning, watering, fertilizing, cultivating, weeding, mowing, mulching, lightening and repairing of guys, resetting plants to proper grade or upright position, restoration of plant saucer, and furnishing and applying such sprays as necessary to keep free of insects and diseases. The landscape contractor's responsibility for maintenance (exclusive of replacement within the guarantee period) shall terminate one year from the date of final acceptance by owner and landscape architect.
- All trees, palms, shrubs and plant material shall be warranted for a period of one year after date of completion and acceptance of the entire project. Final acceptance of all landscaping under this contract shall constitute the beginning of the guarantee period. Replace, in accordance with the drawings and specifications, all plants that are dead or, as determined by the owner's representative, are in an unhealthy or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the contractor's negligence. Furnish and plant replacements which comply with requirements shown and specified. Warrant all replacement plants for one year after installation. The cost of such replacement(s) is at the contractor's expense.
- All plants are subject to approval by the owner's representative. Prior to planting, all trees and palms must be approved by the owner or owner's rep.
- Standards set forth in "American Standard for Nursery Stock" represent guideline specifications only and shall constitute minimum quality requirements for plant material.
- At the conclusion of this planting, if the owner's rep. or owner has reason to believe that the plants are not of the specified grade, he will request a re-grading or inspection, and such evidence will be the basis for requesting replacement of plants and for legal or other action according to law, should this become necessary.
- All planting beds to be treated with pre-emergent weed control prior to planting.
- Contractor is to check the site weekly to insure all plant material is healthy and well watered.
- All disturbed areas to be sodded.

PLANT SCHEDULE PLANTATION AT PONTE VEDRA			
TREES	QTY	COMMON / BOTANICAL NAME	SPECIFICATIONS
SP	31	Cabbage Palmetto / Sabal palmetto	AS SHOWN Clear Trunk as shown, no boots, regenerated
SHRUBS			
	QTY	COMMON / BOTANICAL NAME	SPACING
MC	158	Pink Muhly / Muhlenbergia capillaris	36" o.c. 18" ht. x 18" spd. minimum full & dense
NO	33	Oleander / Nerium oleander	12" o.c. 8' ht. x 6' spd. minimum full & dense
FML	61	Large Podocarpus / Podocarpus macrophyllus	36" o.c. 48" ht. x 24" spd. minimum full & dense
GROUND COVERS			
	QTY	COMMON / BOTANICAL NAME	SPACING
TAS	262	Snow N Summer Asiatic Jasmine / Trachelospermum asiaticum 'Snow N Summer' TM	18" o.c. 6" ht. x 12" spd. minimum full & dense

CONTRACTOR TO VERIFY ALL QUANTITIES

NOTES:

- MULCH ALL PLANTING BEDS WITH 3" PINE STRAW OR PINE BARK MULCH.
- ALL DISTURBED AREAS NOT OTHERWISE LANDSCAPED SHALL BE SODDED TO MATCH EXISTING SOD.
- ALL PLANT MATERIAL TO BE FLORIDA NO. 1 QUALITY OR BETTER.
- NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- ALL TREES AND PLANTS SHALL MEET MINIMUM SPECIFIED SIZES IN INCHES AND FEET, REGARDLESS OF CONTAINER SIZE INDICATED. WHERE DIFFERENCES OCCUR, THE LARGER SPECIFICATION SHALL PREVAIL.
- CONTRACTOR TO VERIFY ALL QUANTITIES



A & K LAND PLANNING & DESIGN
 Inc.
 416 TORRENT PLACE SUITE 1000A, FLORIDA 32909
 TALLAHASSEE, FLORIDA
 904/885-1111
 FAX: 904/885-1112

THE PLANTATION AT
 PONTE VEDRA
 1111 PONTE VEDRA BLVD. SOUTH
 PONTE VEDRA, FL 32082

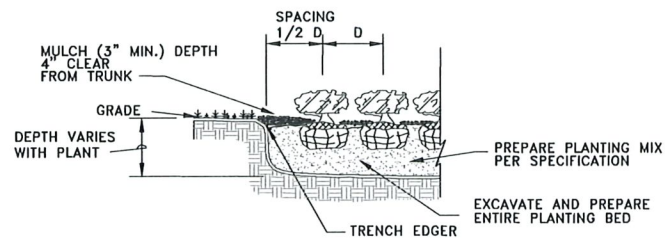
REVISIONS :

DATE : August 22, 2022
 PROJECT NO. : 2022-91
 DESIGNED BY : K&R
 DRAWN BY : K&R
 CHECKED BY : K&R
 SCALE : N.T.S.

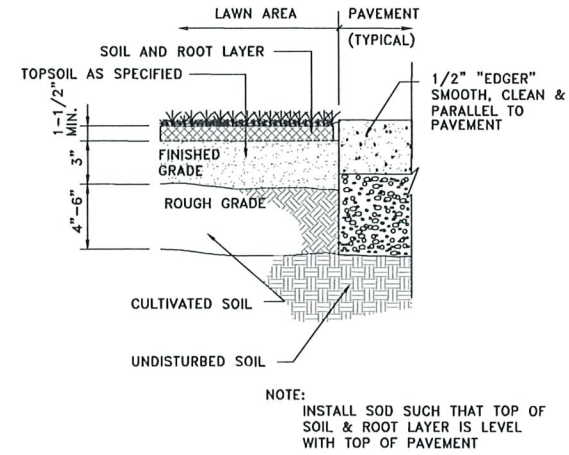
SHEET TITLE

PLANTING
 DETAILS

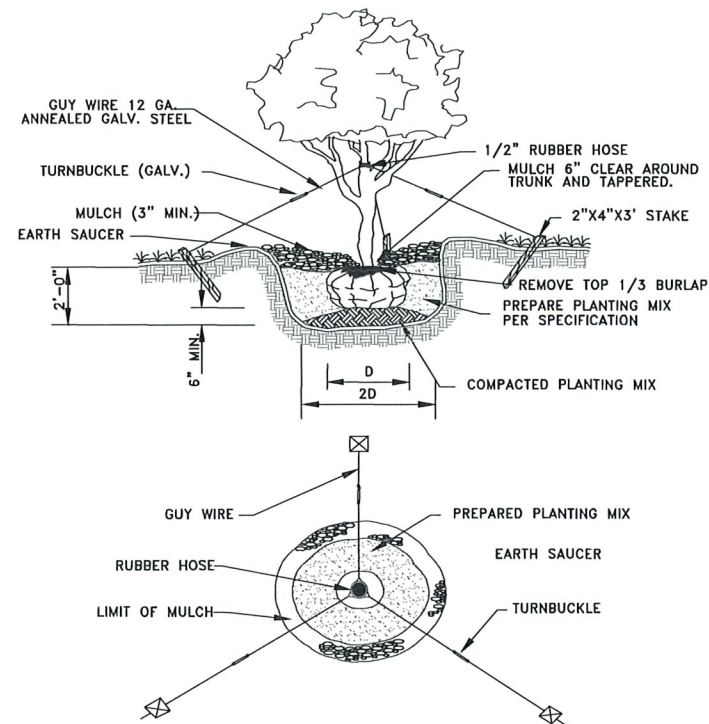
L-2
 SHEET



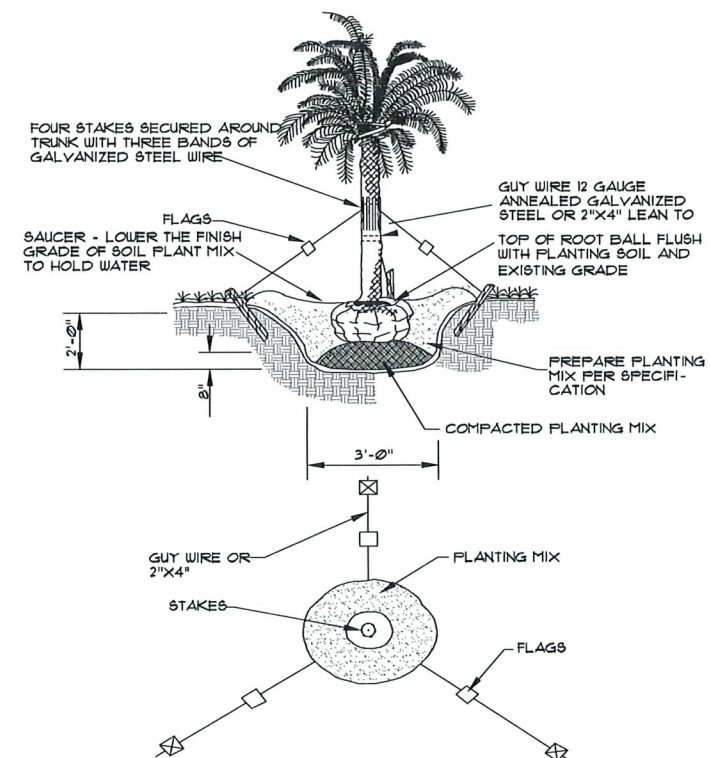
SHRUB & GROUNDCOVER PLANTING DETAIL



SOD DETAIL



TREE PLANTING DETAIL



PALM TREE PLANTING DETAIL



THE PLANTATION AT
PONTE VEDRA
1111 PONTE VEDRA BLVD. SOUTH
PONTE VEDRA, FL 32082

REVISIONS :

1	

DATE : August 22, 2022

PROJECT NO. : 2022.01

DESIGNED BY : K&R

DRAWN BY : K&R

CHECKED BY : K&R

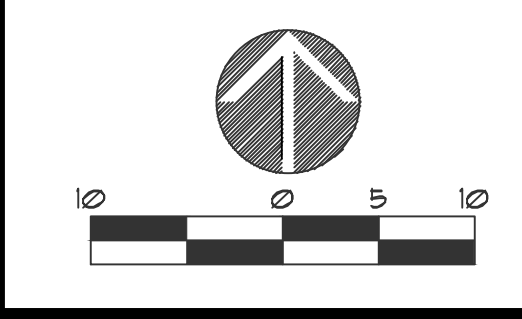
SCALE : N.T.S.

SHEET TITLE
PLANTING
DETAILS

**THE PLANTATION AT
 PONTE VEDRA**
 1111 PONTE VEDRA BLVD. SOUTH
 PONTE VEDRA, FL 32082

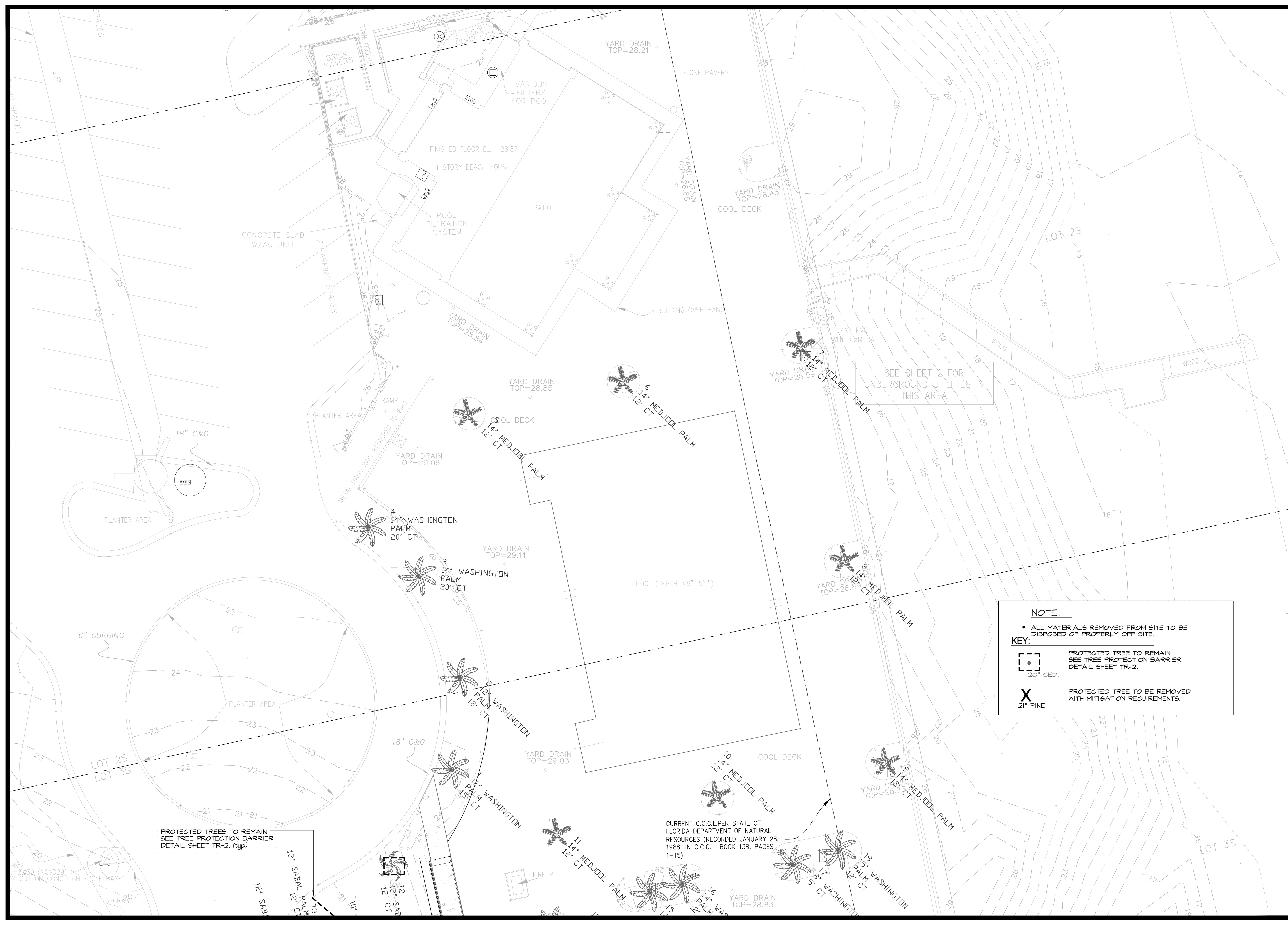
REVISIONS :

NO.	DATE	DESCRIPTION



DATE : August 22, 2022
 PROJECT NO. : 2022-91
 DESIGNED BY : K&R
 DRAWN BY : K&R
 CHECKED BY : K&R
 SCALE : 1" = 10'



SHEET TITLE
**TREE REMOVAL /
 PROTECTION PLAN**



NOTE:

- ALL MATERIALS REMOVED FROM SITE TO BE DISPOSED OF PROPERLY OFF SITE.

KEY:

-  PROTECTED TREE TO REMAIN
SEE TREE PROTECTION BARRIER
DETAIL SHEET TR-2.
-  PROTECTED TREE TO BE REMOVED
WITH MITIGATION REQUIREMENTS.

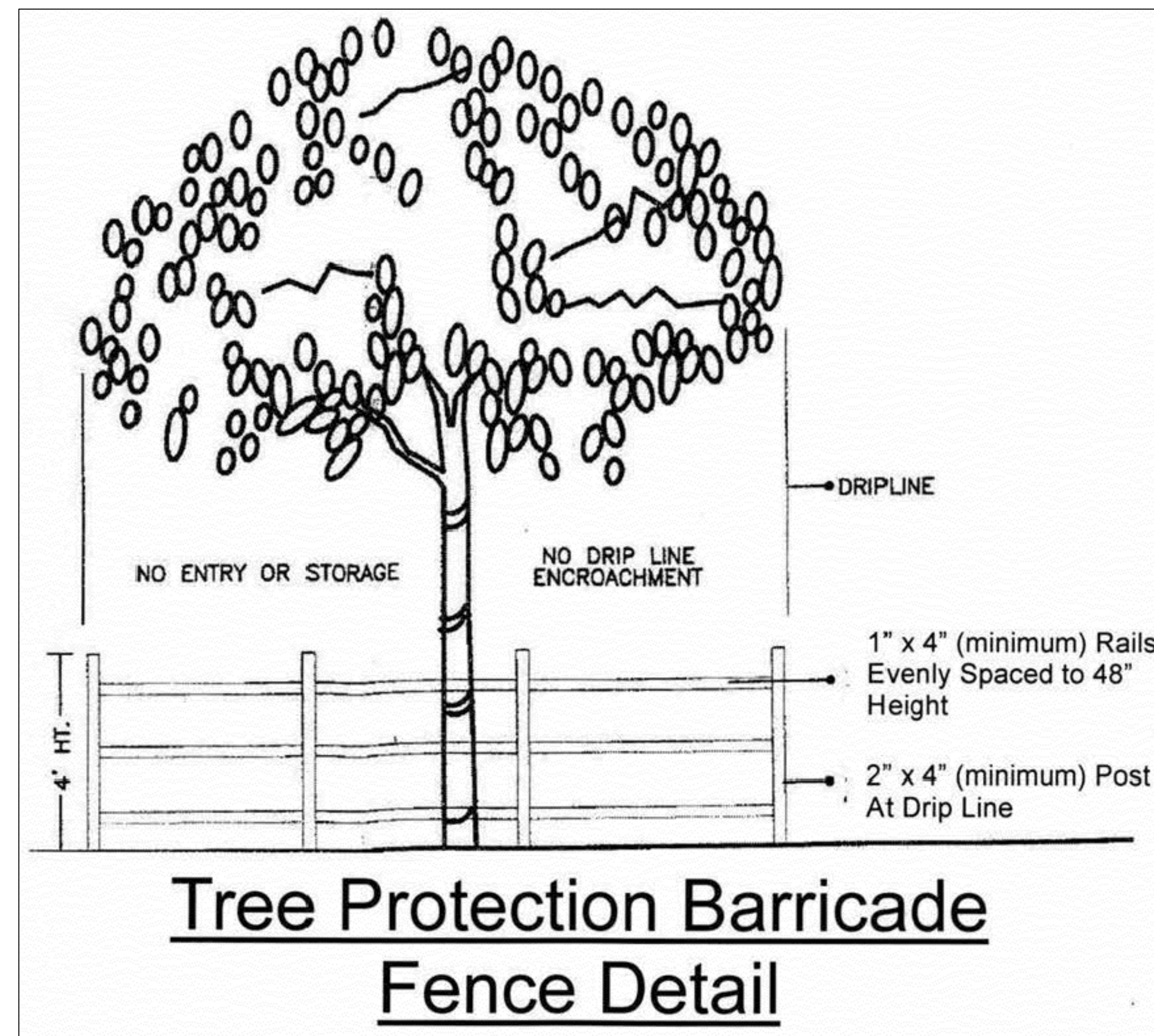
PROTECTED TREES TO REMAIN
 SEE TREE PROTECTION BARRIER
 DETAIL SHEET TR-2. (tjrp)

CURRENT C.C.C.L.P.P.R STATE OF
 FLORIDA DEPARTMENT OF NATURAL
 RESOURCES (RECORDED JANUARY 28,
 1988, IN C.C.C.L. BOOK 13B, PAGES
 1-15)

TREES TO REMAIN		
TREE NUMBER	NAME	DBH INCHES
1	PALM	6
2	PALM	6
3	PALM	6
4	PALM	6
5	PALM	6
6	PALM	6
7	PALM	6
8	PALM	6
9	PALM	6
10	PALM	6
11	PALM	6
12	PALM	6
13	PALM	6
14	PALM	6
15	PALM	6
16	PALM	6
17	PALM	6
18	PALM	6
19	PALM	6
23	PALM	6
24	PALM	6
28	PALM	6
30	PALM	6
40	PALM	6
47	PALM	6
48	PALM	6
49	PALM	6
50	PALM	6
51	PALM	6
52	PALM	6
53	PALM	6
54	OAK	16
55	PALM	6
56	PALM	6
57	PALM	6
58	PALM	6
59	PALM	6
60	PALM	6
61	PALM	6
62	PALM	6
63	PALM	6
64	PALM	6
65	PALM	6
66	PALM	6
67	PALM	6
68	PALM	6
69	PALM	6
70	PALM	6
71	PALM	6
72	PALM	6
73	PALM	6
74	PALM	6
75	PALM	6
76	PALM	6
TOTAL	INCHES	334

PROTECTED TREES REMOVED		
TREE NUMBER	NAME	DBH INCHES
20	PALM	6
21	PALM	6
22	PALM	6
25	PALM	6
26	PALM	6
27	PALM	6
29	PALM	6
31	PALM	6
31	PALM	6
33	PALM	6
34	PALM	6
35	PALM	6
36	PALM	6
37	PALM	6
38	PALM	6
39	PALM	6
39A	PALM	6
41	PALM	6
42	PALM	6
43	PALM	6
44	PALM	6
45	PALM	6
46	PALM	6
TOTAL	INCHES	138

MITIGATION INCHES REQUIRED:
138"
MITIGATION INCHES PROVIDED:
22 PALMS 16' C.T. OR GREATER = 132"
2 PALMS UNDER 16' CT = 6"
TOTAL = 138"



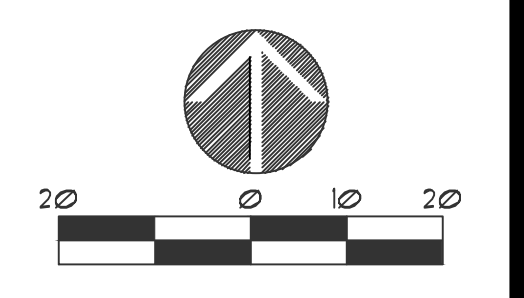
Tree Protection Barricade Fence Detail



**THE PLANTATION AT
PONTE VEDRA**
1111 PONTE VEDRA BLVD. SOUTH
PONTE VEDRA, FL 32082

REVISIONS :

NO.	DATE	DESCRIPTION
1	9/8/22	PER ARC COMMENTS



DATE : August 22, 2022
PROJECT NO. : 2022.91
DESIGNED BY : K&R
DRAWN BY : K&R
CHECKED BY : K&R
SCALE : 1" = 20'

SHEET TITLE
TREE REMOVAL /
PROTECTION PLAN



A & K LAND PLANNING & DESIGN
 INC.
 PHONE: 407-253-1000
 406 TORDOFF PLACE, SAINT JOHNS, FLORIDA 32590
 EMAIL: AKLANDPLANNING@COMCAST.NET
 4350 Highway Road, SCA
 32809074

**THE PLANTATION AT
 PONTE VEDRA
 1111 PONTE VEDRA BLVD. SOUTH
 PONTE VEDRA, FL 32082**

Size of nursery stock	Irrigation schedule for vigor 1,3	Irrigation schedule for survival 2,3,4
2 inch caliper	Daily for 2 weeks; every other day for 2 months; weekly until established.	Twice weekly for 2-3 months
2-4 inch caliper	Daily for 1 month; every other day for 3 months; weekly until established.	Twice weekly for 3-4 months
> 4 inch caliper	Daily for 6 weeks; every other day for 5 months; weekly until established.	Twice weekly for 4-5 months

Notes on Irrigation:

- 1.) Delete daily irrigation when planting in winter or when planting in cool climates. Irrigation frequency can be reduced slightly (e.g. 2-3 times each week instead of every other day) when planting hardened-off, field-grown trees that were root-pruned during production. Establishment takes 3 (hardiness zones 10-11) to 4 (hardiness zones 9-9) to 5 (hardiness zones 6-6) to 15 (hardiness zones 2-5) months per inch trunk caliper. Never apply irrigation if the soil is saturated.
- 2.) Irrigation frequency can be reduced slightly (e.g. to once or twice each week) when planting hardened-off, field-grown trees that were root-pruned during production.
- 3.) At each irrigation, apply 1-2 gallons (cool climates) or 2-3 gallons (warmest climates) per inch trunk caliper to the root ball. Apply it in a manner so all water soaks into the root ball. Do not water if root ball is wet/saturated on the irrigation day.
- 4.) Trees take much longer than regularly irrigated trees. Irrigate in drought the following summer.

NOTE: If your approved building permit included hose bibs to meet your irrigation requirement, and you will be installing an irrigation system instead of the hose bibs shown on your approved plans, you must submit two (2) copies of the irrigation system plans for review as a revision to your building permit (not your IO set). One approved copy will be returned to you after approval, and should be on site for the landscape inspection. Your Landscape Inspection will not be passed if the irrigation system is not installed per the approved irrigation plan.

IRRIGATION NOTE

STANDARD ST. JOHNS COUNTY NOTES:

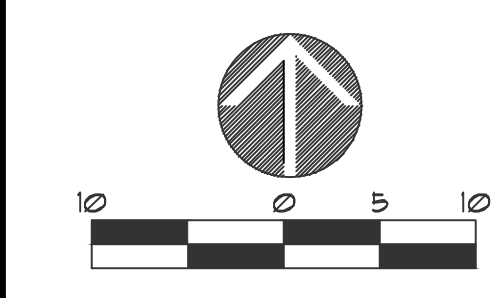
- Vegetation that exceeds twenty-five (25) feet in height at maturity should not be planted closer than fifteen (15) feet of the vertical plane of an existing power line, excluding service wires.
- Balled and burlapped strapping wire, and any synthetic material shall be removed prior to final inspection. Wire baskets should be cut away from top one-third of root ball.
- Non-canopy Trees shall not be planted closer than 10 feet from other Trees and Canopy Trees no closer than 20-30 feet, depending on species.
- A mulch ring for all newly planted Trees shall be provided at least five (5) feet in diameter and not closer than six (6) inches from the tree trunk.
- Irrigation will be provided with an automatic irrigation system (Reclaimed water to be used, all piping to be colored purple).
- Trees shall have a minimum height of (8) eight to (10) feet and (2) two inches of caliper.
- Shrub lines are to be planted at the required minimum height, not by container size.
- Soil in Tree Islands shall have at least 12" of suitable soil for tree plantings, and be void of any construction debris or unsuitable materials.
- Trees shall not be planted closer than 15' from the centerline of underground utilities.
- 10% OF all newly planted trees need to be canopy trees
- No more than 50% of newly planted trees can be of the same species.
- The soil in the islands shall have at least twelve (12) inches of suitable soil for tree plantings and void of construction debris (Per LDC 6.06.03 G.2)

IRRIGATION NOTE:

- CONTRACTOR TO ADJUST AND ADD ON IRRIGATION AS NECESSARY TO EXISTING IRRIGATION SYSTEM TO PROVIDE 100% HEAD TO HEAD COVERAGE
- TREES, SHRUBS, AND SOD TO BE ON SEPARATE ZONES

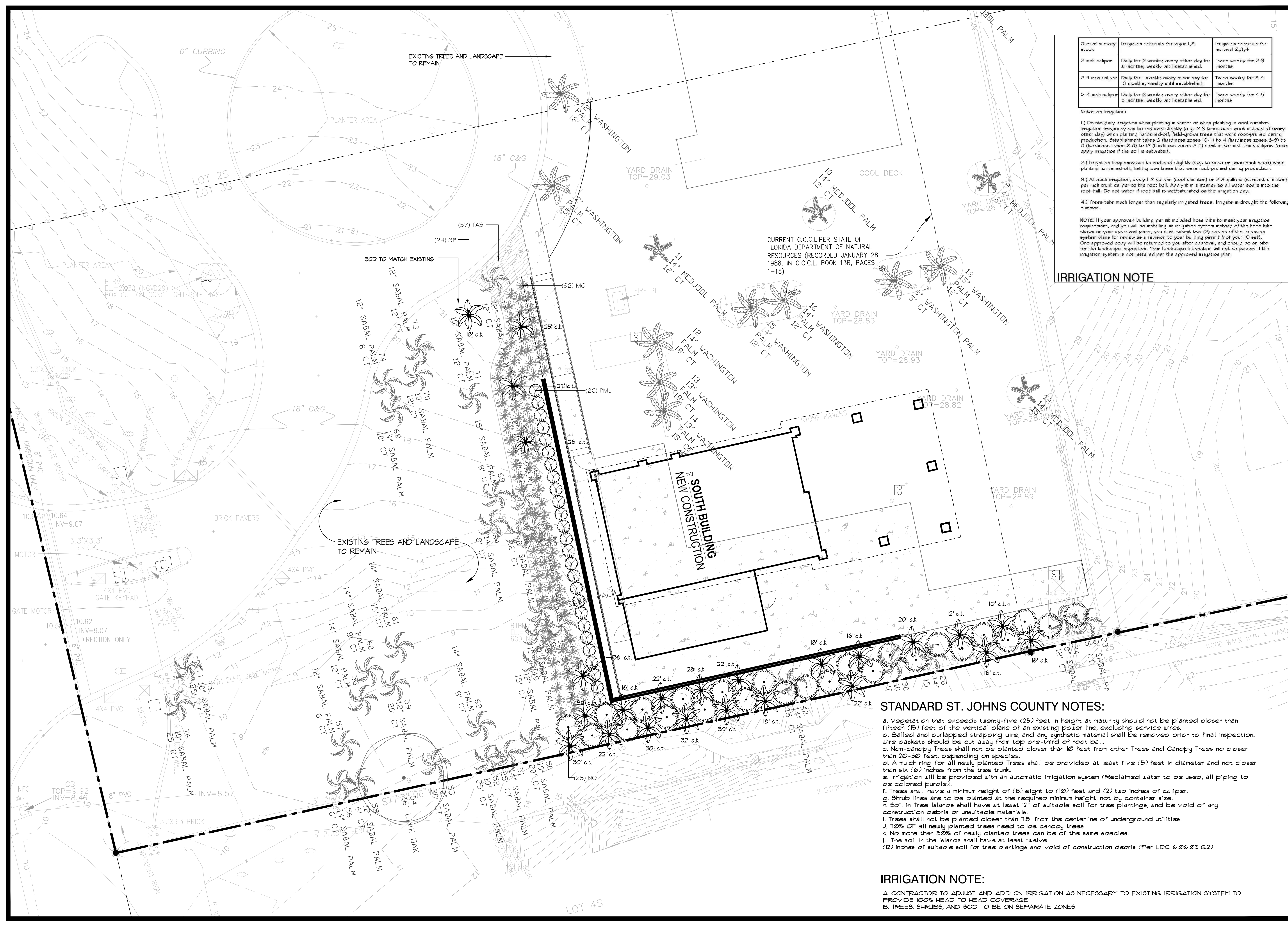
REVISIONS :

NO.	DATE	DESCRIPTION
1	9/8/22	PER ARC COMMENTS



DATE : August 22, 2022
 PROJECT NO. : 202231
 DESIGNED BY : KSR
 DRAWN BY : KSR
 CHECKED BY : KSR
 SCALE : 1" = 10'

SHEET TITLE
LANDSCAPE PLAN



General Notes and Specifications

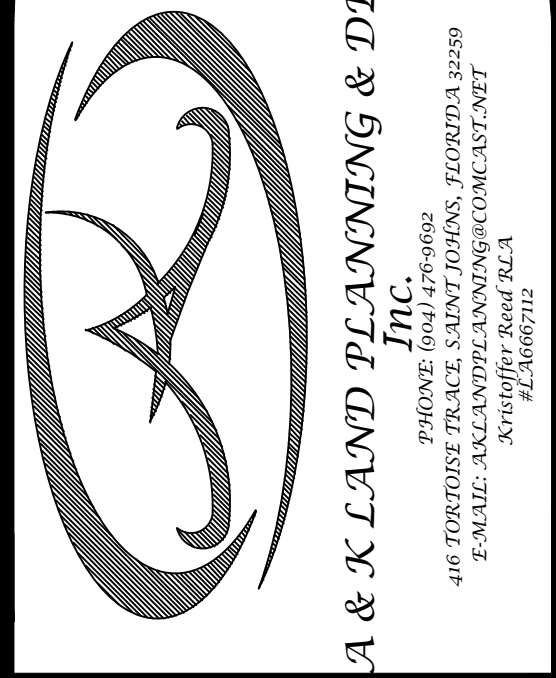
- Prior to construction the landscape contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. The landscape contractor is responsible for repairing any and all damage to utilities, structures, site appurtenances, etc., which occurs as a result of the landscape construction.
- When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions or obstructions, notify owner's representative before planting.
- All plants must be healthy, vigorous material, free of pests and disease.
- All trees, palms, and shrubs shall be highest grade Dept. of Agriculture and Consumer Services.
- All plant material must be approved by the Landscape Architect before the plant material is installed.
- Any changes to the plant material (size, type, etc.), irrigation or any other deviations from the plans must be approved by the Landscape Architect prior to the change being implemented by the contractor. The contractor must provide written proof of authorization for any changes.
- All plants to be field grown or container grown as indicated on plant list. Store plants in shade and protect from weather. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or, in a manner acceptable to owner's rep. Do not remove container grown stock from containers until planting time. Protect roots of plant from drying or other possible injury. Keep plant ball moist at all times.
- All plants shall be triangular spaced.
- Obtain agronomic soils test for all planting areas and tree pits prior to excavation of tree pits. Tests shall be performed by an approved soils testing laboratory and shall include fertility and suitability analysis with written recommendations for soil amendments, fertilizer and chemical conditioner application rates for soil preparation, planting backfill mix, and post maintenance fertilization program. Submit a copy of soils report to owner's rep. and landscape architect.
- Add soil amendments as recommended by soil test in quantities necessary to bring soil mixture to pH rating of between 5.5 and 6.0. Minerals used for pH correction shall be commercially produced for this purpose.
- All plants and planting areas must be completely mulched as specified with three (3) inches of pine straw or pine bark mulch. Provide 4" minimum clearance of mulch from all shrub trunks and 6" minimum clearance from all tree trunks.
- The landscape contractor is responsible for verifying all quantities shown on these plans, before pricing the work.
- The planting shall be done in accordance with acceptable horticultural practices. This is to include proper planting mix, plant and tree pit preparation, pruning, staking or guying, wrapping, spraying, fertilization, planting, and adequate maintenance throughout the required maintenance period.
- The landscape contractor is responsible for fully maintaining all planting (including but not limited to: pruning, watering, fertilizing, cultivating, weeding, mowing, mulching, tightening and repairing of guys, resetting plants to proper grade or upright position, restoration of plant saucer, and furnishing and applying such sprays as necessary to keep free of insects and diseases. The landscape contractor's responsibility for maintenance (exclusive of replacement within the guarantee period) shall terminate one year from the date of final acceptance by owner and landscape architect.
- All trees, palms, shrubs and plant material shall be warranted for a period of one year after date of completion and acceptance of the entire project. Final acceptance of all landscaping under this contract shall constitute the beginning of the guarantee period. Replace, in accordance with the drawings and specifications, all plants that are dead or, as determined by the owner's representative, are in an unhealthy or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the contractor's negligence. Furnish and plant replacements which comply with requirements shown and specified. Warrant all replacement plants for one year after installation. The cost of such replacement(s) is at the contractor's expense.
- All plants are subject to approval by the owner's representative. Prior to planting, all trees and palms must be approved by the owner or owner's rep.
- Standards set forth in "American Standard for Nursery Stock" represent guideline specifications only and shall constitute minimum quality requirements for plant material.
- At the conclusion of this planting, if the owner's rep. or owner has reason to believe that the plants are not of the specified grade, he will request a re-grading or inspection, and such evidence will be the basis for requesting replacement of plants and for legal or other action according to law, should this become necessary.
- All planting beds to be treated with pre-emergent weed control prior to planting.
- Contractor is to check the site weekly to insure all plant material is healthy and well watered.
- All disturbed areas to be sodded.

PLANT SCHEDULE PLANTATION AT PONTE VEDRA				
TREES	QTY	COMMON / BOTANICAL NAME		SPECIFICATIONS
SP	24	Cabbage Palmetto / Sabal palmetto	AS SHOWN	Clear Trunk as shown, no boots, regenerated
SHRUBS	QTY	COMMON / BOTANICAL NAME	SPACING	
MC	42	Pink Muhly / Muhlenbergia capillaris	36" o.c.	18" ht. x 18" spd. minimum full & dense
NO	25	Oleander / Nerium oleander	12" o.c.	8'-10' ht. x 6' spd. minimum full & dense to ground
PML	26	Large Podocarpus / Podocarpus macrophyllus	36" o.c.	48" ht. x 24" spd. minimum full & dense
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	SPACING	
TAS	57	Snow N Summer Asiatic Jasmine / Trachelospermum asiaticum 'Snow N Summer' TM	18" o.c.	6" ht. x 12" spd. minimum full & dense

CONTRACTOR TO VERIFY ALL QUANTITIES

NOTES:

- MULCH ALL PLANTING BEDS WITH 3" PINE STRAW OR PINE BARK MULCH.
- ALL DISTURBED AREAS NOT OTHERWISE LANDSCAPED SHALL BE SODDED TO MATCH EXISTING SOD.
- ALL PLANT MATERIAL TO BE FLORIDA NO. 1 QUALITY OR BETTER.
- NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- ALL TREES AND PLANTS SHALL MEET MINIMUM SPECIFIED SIZES IN INCHES AND FEET, REGARDLESS OF CONTAINER SIZE INDICATED. WHERE DIFFERENCES OCCUR, THE LARGER SPECIFICATION SHALL PREVAIL.
- CONTRACTOR TO VERIFY ALL QUANTITIES



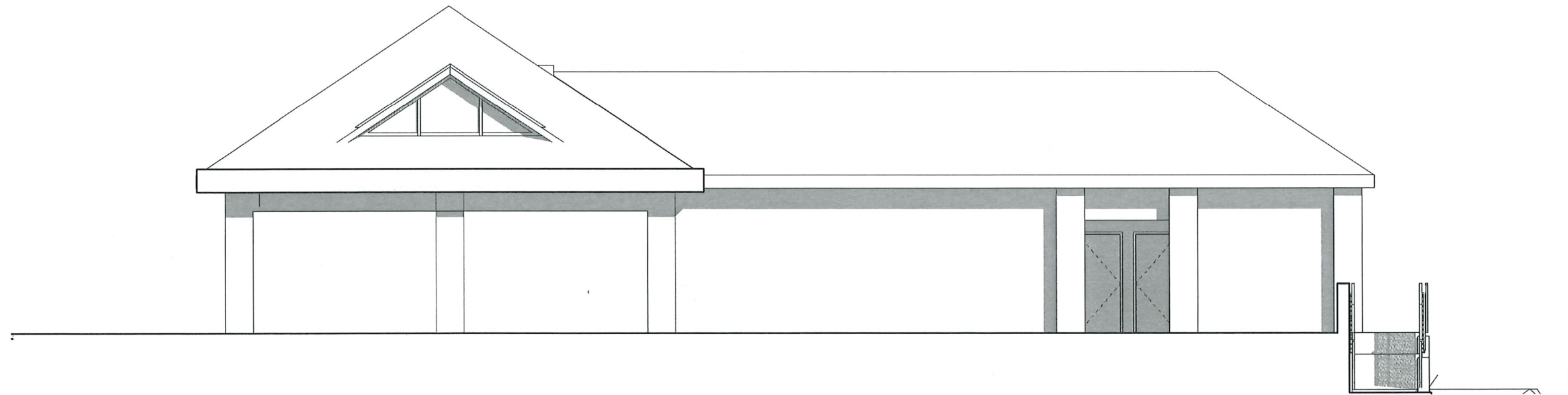
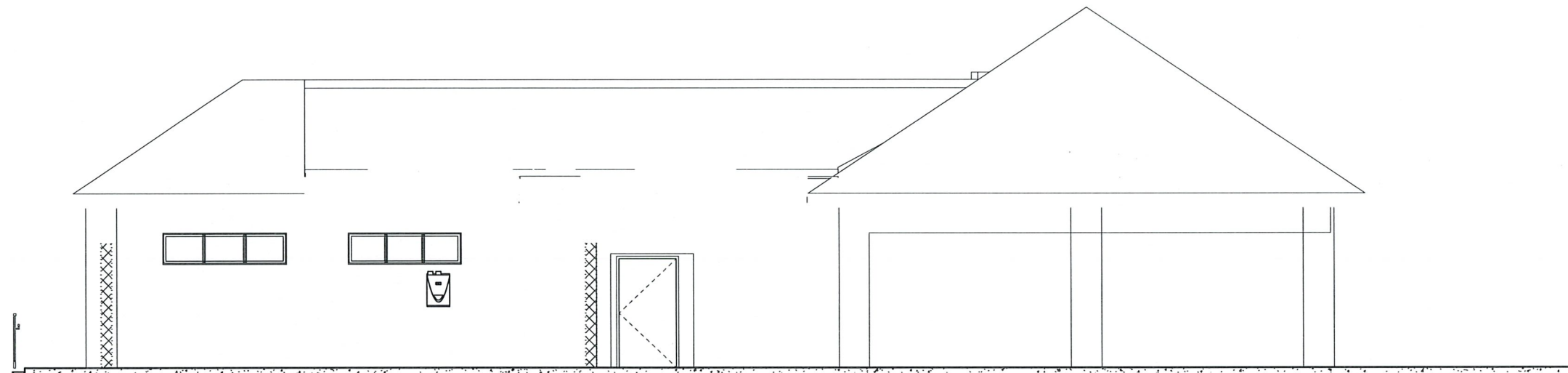
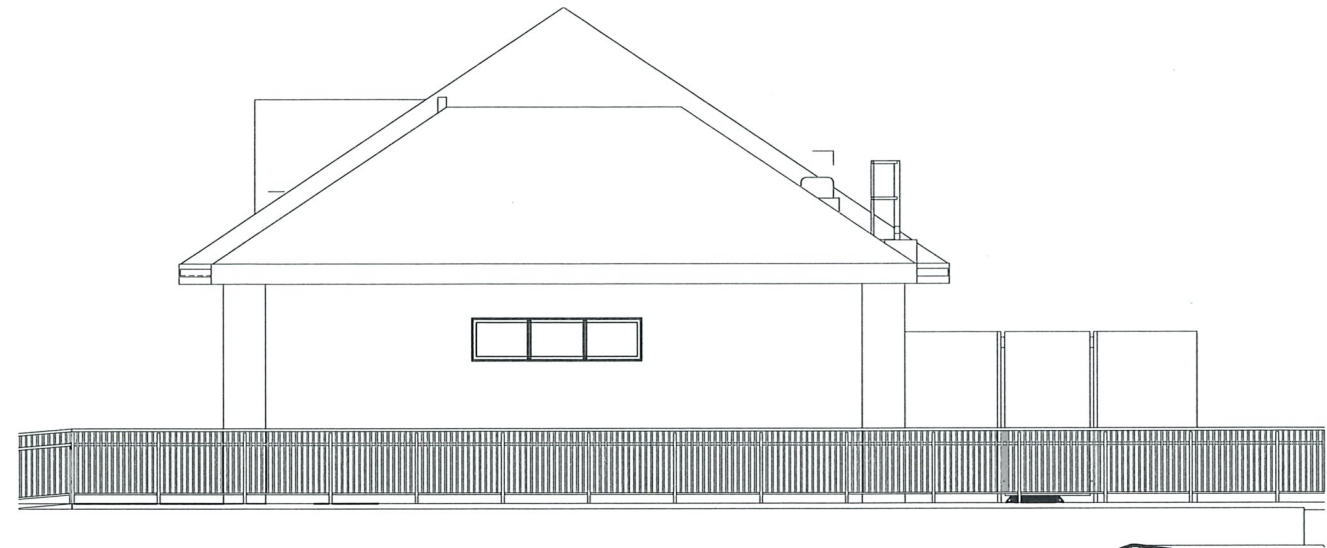
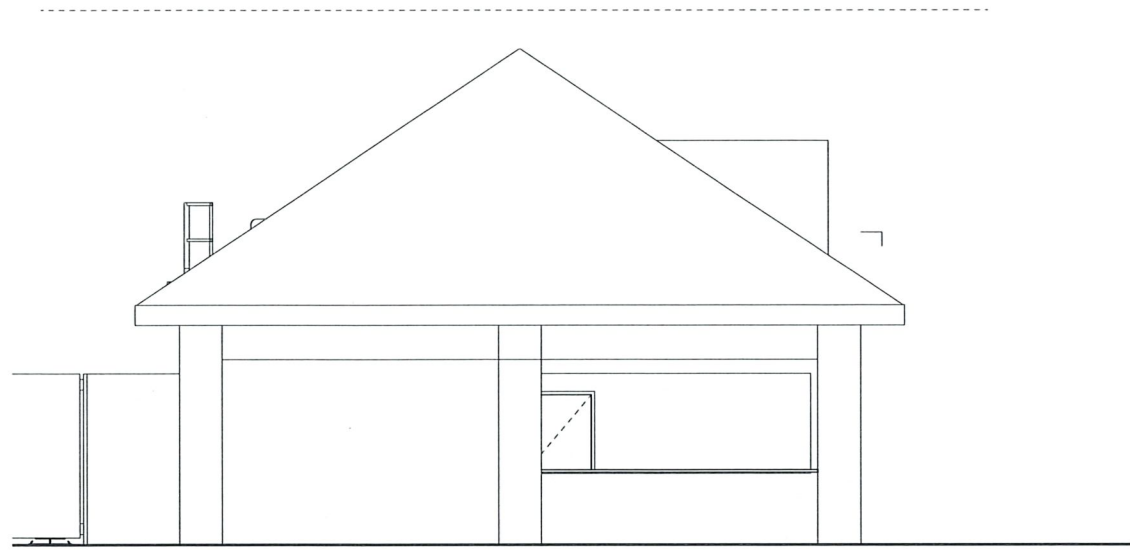
A & K LAND PLANNING & DESIGN, Inc.
 445 FORENSE LAKELAND PLANNING & DESIGN CENTER
 445 FORENSE LAKELAND PLANNING & DESIGN CENTER
 CHRISTOPHER ROAD, FLA 33409
 FL 33409

THE PLANTATION AT
 PONTE VEDRA
 1111 PONTE VEDRA BLVD. SOUTH
 PONTE VEDRA, FL 32082

REVISIONS :	DATE	BY	DESCRIPTION
9/8/22			PER ARC COMMENTS

DATE : August 22, 2022
 PROJECT NO. : 2022-91
 DESIGNED BY : KSR
 DRAWN BY : KSR
 CHECKED BY : KSR
 SCALE : N.T.S.

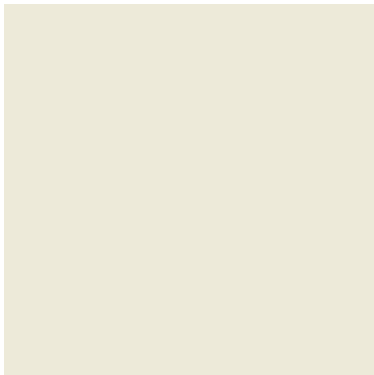
SHEET TITLE
 PLANTING
 DETAILS











Benjamin Moore SeaShell
OC120



DaVinci Slate Black