



GROWTH MANAGEMENT DEPARTMENT STAFF REPORT
PONTE VEDRA OVERLAY DISTRICT
March 22, 2023 Public Meeting
ARC 2022-05 Gate C-Store #1201 @ Ponte Vedra - Raze & Rebuild

To: Architectural Review Committee
Staff: Trevor Steven, Planner
Date: March 17, 2023

Applicant: Matt Melchiori, PE
Prosser Inc.
13901 Sutton Park Drive South, Ste 200
Jacksonville, FL 32224

Location: 619 A1A N
FLUM: Commercial
Zoning: R-3

Applicable Standards: Ponte Vedra Zoning District Regulations, Sections VIII.Q.5.d, VIII.Q.5.e, and X.C.

Summary of Request: Applicant is requesting design approval of a new Convenience Store with associated fuel tanks, canopy, parking, and signage. The project includes the demolition of the existing Convenience Store and Bank. Staff notes that the use of Convenience Store is allowable by right within the R-3 Zoning District. There are no Variance requests within this project; this application is for the architectural design review of the proposed site. The ARC is charged with determining compliance with PVZDR Sections VIII.Q.5.d and VIII.Q.5.e for architectural design elements, per VIII.Q.6.a(3).

All application materials are attached to this Staff Report.

Staff Review

Planning Division: As mentioned above, the use of the property is consistent with allowable uses within the R-3 Zoning District. The proposed site meets all development standards for height limitations, building setbacks, impervious surface ratio, and parking requirements. Staff notes that the Applicant will need to include a parking table on future Commercial Plan submittals demonstrating parking requirements are met per the parking table found in PVZDR IX.C, for Automotive Filling Stations and Sales & Service Establishments.

Per PVZDR VIII.Q.5.e, flat roofs, or the appearance of flat roofs, shall not be permitted. Pitched roofs, or the appearance of pitched roofs are required. The proposed building has three roofs – the two on either side appear to be hip roofs, while the middle is a pitched roof. The PVZDR does not state a required roof pitch.

The proposed colors and materials of the project appear to be consistent with the standards set forth in PVZDR Section VIII.5.d.e. Applicant states they are meeting the requirements for the color palette being no more than three colors per building, excluding roof color.

Per PVZDR Section X.C, the total wall sign area for each building shall not exceed 24 square feet per face. Where a building is divided into units for several businesses, one wall sign as specified above is authorized for each such business. The Applicant is proposing multiple face signs for this project. The “Fresh Kitchen”, “Sweet Freeze”, and “GATE” wall signs are in compliance with the regulations as stated above. Additionally, the proposed monument sign has a total of 31.7 square ft sign face, which meets the requirement of 32 square ft maximum. It appears the applicant has provided multiple sign face color scheme options for the Board to review for compliance with the Overlay District design standards.

PVZDR Section VIII.Q.d – Architectural Design Standards

The pleasing and compatible relationship of architecture along Roads in the Overlay District is of important public concern. The architectural design of Structures and their materials and colors must be visually harmonious with the overall appearance, history and cultural heritage of Ponte Vedra, and also with natural Land forms and existing vegetation. Compatibility with existing adjacent Structures and other approved development plans must also be considered.

The intent of these standards is not to restrain diversity or innovative architecture, but to reduce incompatible and adverse impacts, and to insure an aesthetically pleasing environment. To accomplish this, the following standards shall apply to the review of proposed Buildings, renovations and related site improvements.

1. Proposed development shall be located and configured in a visually complementary manner with the existing terrain and vegetation of the parcel and surrounding parcels. Structures shall obstruct as little as reasonably practical scenic views from the main Road or from existing Structures and the natural environment. Structures shall not dominate, in an incompatible manner, any general development or adjacent Building which is substantially in compliance with this Ordinance. This may be accomplished by the use of architectural features and/or siting of proposed Structures to reduce the appearance of excessive and inappropriate height or mass of proposed Structures.
2. The proposed Building or Structure shall be of such design that is contributes to the image of the Ponte Vedra Coastal Corridor as a place of beauty, spaciousness and high quality.
3. The proposed Building or Structure shall not, in its exterior design and appearance, be of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance or value.
4. Where a single Building, or group of related Buildings contains more than one (1) store or business front, all Wall Signs shall be of similar style and shall be compatible and uniform in terms of size, color and any lighting. Any back-lighting or appearance of lighting shall be white in color.
5. The color and materials of Signs shall be compatible with the architectural style, color and materials of the related commercial or multi-Family Building
6. New Ground Signs and alterations to existing Ground Signs requiring an ARC review shall be externally illuminated.

PVZDR Section VIII.Q.e – Design Elements and Materials

The following specific design criteria shall apply to development regulations under the conditions of the Overlay District.

1. Flat roof lines, or the appearance of flat roof lines are not permitted.
2. Work areas or storage doors and open bays shall not open toward, face or otherwise be visible from an Overlay District Delineated Roadway.
3. Architectural grade shingles, metal standing seam, tile or other non-reflective roof materials with similar nature-blending texture and appearance shall be considered appropriate.
4. Stucco, tabby, wood siding or wood shingle siding, brick or other materials with similar texture and appearance shall be considered appropriate.

5. Exterior colors of paints and stains shall be Earth Tones with no more than three colors per Building, excluding roof color. Semi-transparent stains are recommended for application on natural wood finishes. All exterior color hues shall be subdued, consistent and compatible with those on existing adjacent properties as well as those throughout the Ponte Vedra Coastal Corridor.

6. Roof and exterior Wall surfaces, with the exception of glass doors and windows shall be non-reflective. Any glass coating shall not reflect outward and shall be limited in color to gray or green. No more than forty (40) percent of the façade facing an Overlay District Delineated Roadway shall be glass or reflective material.

7. The location and dimensions of Wall Signs shall maintain compatibility with architectural materials, finishes and features of the Building. Wall signs shall be directly mounted on the surface of the building and shall not be mounted on raceways or other such protrusions from the surface of the building.

8. The Architectural Review Committee may require utilization of particular landscape and plant species where a pattern of vegetation has been established or where such species are determined to be desirable.

9. Architectural lighting shall be recessed under roof overhangs or generated from a concealed light source or low level light fixtures. Site lighting shall be of low intensity, shall be of white light which does not distort colors and shall not spill over into adjoining properties, roadways or in any way interfere with the vision of oncoming motorists.

PVZDR Section X.C – Signs for R-3 Zoning District (provided in part)

2a. Shall be limited to one (1) Wall Sign upon the front elevation of the Building. When such Building abuts both on front and side Streets, one (1) Wall Sign may also be located upon the side Street elevation of the Building. The total Wall Sign area for each Building establishment shall not exceed twenty-four (24) square feet per face.

b. Where a Building is divided into units for several businesses, one Wall Sign as specified above is authorized for each such business. In addition, each business located therein may have one double-faced hanging Sign under covered walkways with maximum dimensions two (2) feet vertical by four (4) feet horizontal.

e. One (1) Ground Sign of the following maximum sizes, in addition to Wall Signs, may be installed when used in connection with a business conducted on the premises, and shall be on-site. Said Sign may be double-faced and shall not create a traffic hazard or endanger the public safety.

(1) For uses occupying five (5) acres or less, the total Ground Sign Face Area shall not exceed thirty-two (32) square feet per Sign face. For uses occupying more than two (2) acres, one such Sign is authorized for each Street Frontage.

Staff review shows there are no open comments on this application. A Pre-application Meeting was not held with the Planning Division. Attached for consideration are:

- Application
- Elevations
- Site Plan
- Landscape Plan
- Photometric Plan
- Owners Authorization
- Availability Letter
- Signage Drawings

CORRESPONDENCE

Staff has not received any phone calls or letters regarding the proposal as of the writing of this Staff Report.

SUGGESTED ACTION TO APPROVE

The Design Review Board may consider a motion to approve **ARC 2022-05 Gate C-Store #1201 @ Ponte Vedra - Raze & Rebuild**, as described within the application, provided:

1. The request complies with the Ponte Vedra Zoning District Regulations relating to design standards, specifically Sections VIII.Q.5.d, VIII.Q.5.e, and X.C. and is consistent with the intent and purpose of the Ponte Vedra Zoning and Overlay Regulations.

SUGGESTED ACTION TO DENY

The Design Review Board may consider a motion to deny **ARC 2022-05 Gate C-Store #1201 @ Ponte Vedra - Raze & Rebuild**, provided:

1. The request does not comply with the regulations set forth in the Ponte Vedra Zoning Regulations.



Application for Overlay District Review

Growth Management Department
Planning and Zoning Section
4040 Lewis Speedway, St. Augustine, FL 32084
Phone: 904.209.0675; Fax: 904.209-0576

Date Overlay District Property ID No (Strap)

Applicant Phone Number

Address Fax Number

City State Zip Code E-mail

Project Name

Project Address & Location

Type of Review Commercial Use Multi-family Use Other:

The Project Involves New Building Changes to an existing Building Exterior Repainting Signage (Individual)
 Unified Sign Plan Fences / Walls Parking / Lighting Landscaping / Buffers
 Other:

Describe Project and work proposed to be done (Provide additional information by attachment as needed)

The project includes the demolition of the existing Gate C-Store and bank. Along with, the construction of a new C-Store with associated fuel tanks, canopy, and parking. The existing driveway at A1A and Executive Way are to remain. An additional access to Executive Way is proposed.

I HEREBY CERTIFY THAT ALL INFORMATION IS CORRECT:
Signature of owner or person authorized to represent this application:

Signed By _____
Printed or typed name(s)

Contact Information of person to receive all correspondence if different than applicant:
 Phone Number Fax Number E-mail
 Postal Address Name
City State Zip Code

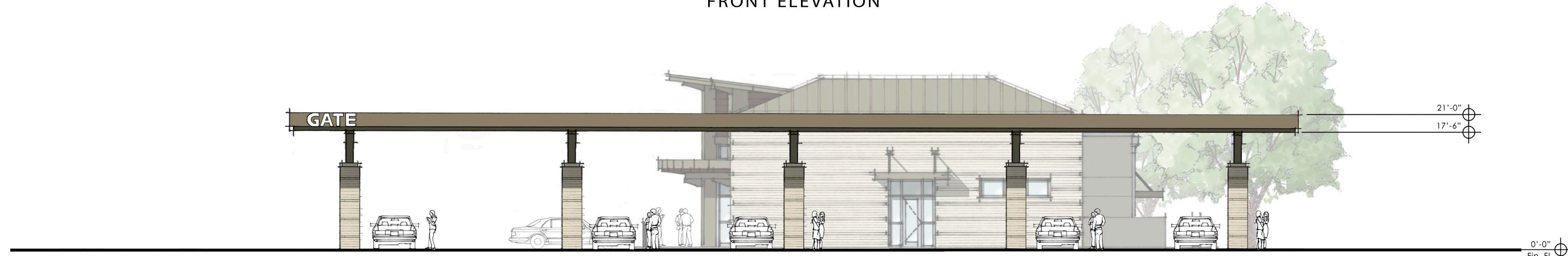
Please notify the Planning and Zoning Section at 904.209.0675 if you need any special assistance or accommodations to attend the meeting or if you have any questions concerning this application.

Please list any applications currently under review or recently approved which may assist in the review of this application including the name of the PUD/PRD:



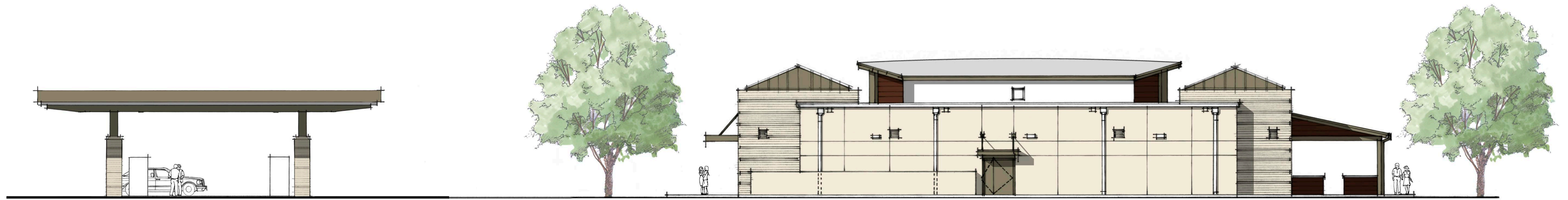
SCALE: 1/8" = 1'-0"

FRONT ELEVATION



SCALE: 1/8" = 1'-0"

SIDE ELEVATION



SCALE: 1/8" = 1'-0"

REAR ELEVATION

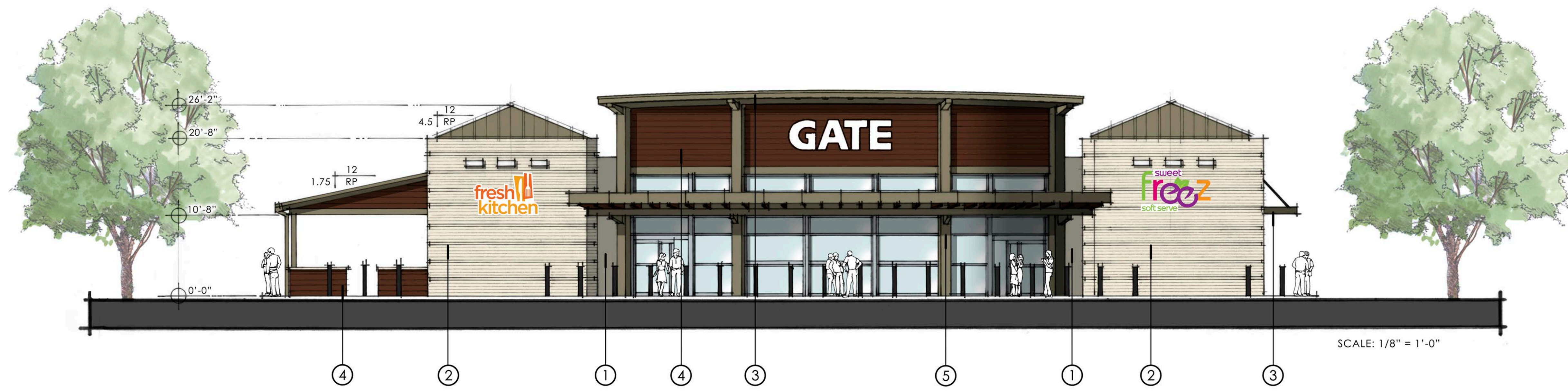


SCALE: 1/4" = 1'-0"

DUMPSTER ENCLOSURE ELEVATIONS

MATERIAL AND COLOR PALETTE LEGEND

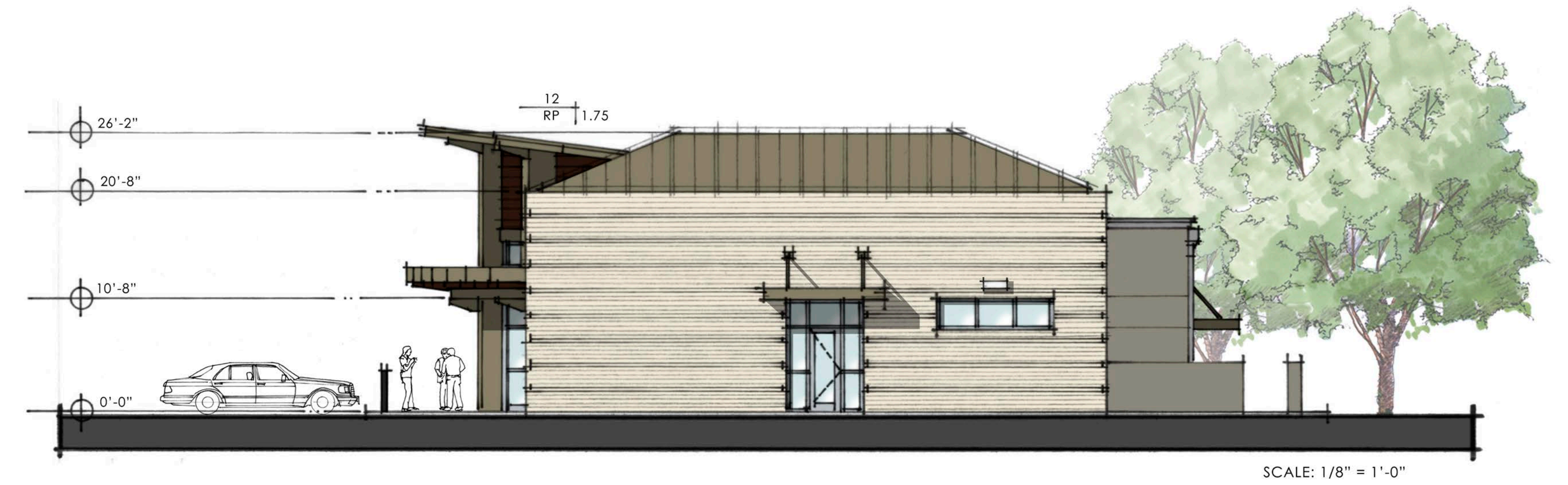
- ① **Stucco & Exhaust Louvers:**
Benjamin Moore
Linen White 912
- ② **Brick:**
Palmetto Brick
Whitestone
Wirecut
- ③ **Metal Roof:**
Berridge
Medium Bronze
(Typical)
Petersen Aluminum
Medium Bronze
(Corrosive Environments)
- ④ **Siding:**
Prodema
Deep Brown
- ⑤ **Exposed Steel:**
Electrostatic Paint
by Accessa
'Seal Brown' by Manufacturer
to match Tiger Drylac 38/60014
'Medium Bronze'
- ⑥ **Fuel Canopy:**
ACM by 3M (Manufacturer)
Top Fascia 'Olive'
Bottom Fascia 'White'
- ⑦ **Metal Columns:**
ACM
to match
'Medium Bronze'



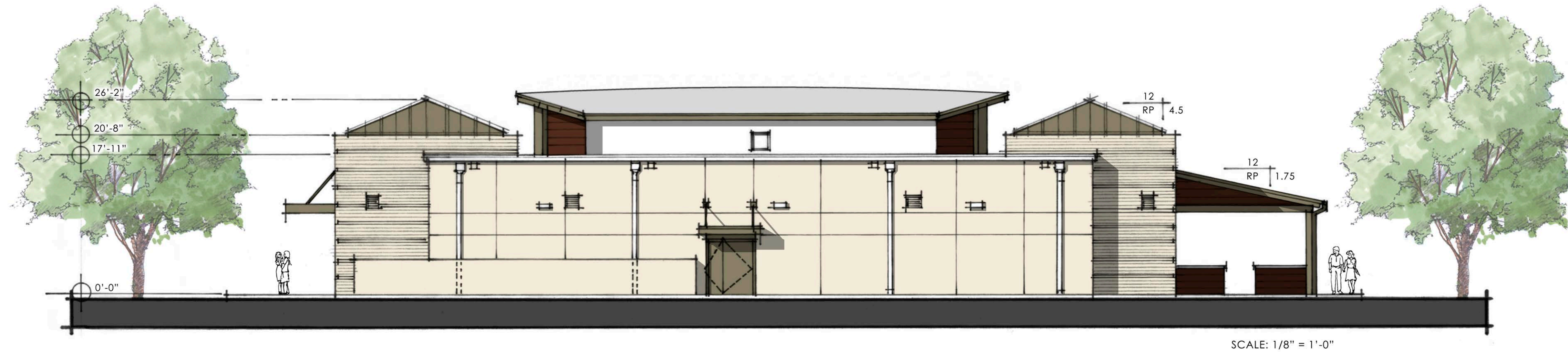
FRONT ELEVATION



SIDE ELEVATION



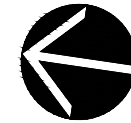
SIDE ELEVATION



REAR ELEVATION

MATERIAL AND COLOR PALETTE LEGEND

- ① **Stucco & Exhaust Louvers:**
Benjamin Moore
Linen White 912
- ② **Brick:**
Palmetto Brick
Whitestone
Wirecut
- ③ **Metal Roof:**
Berridge
Medium Bronze
(Typical)
Peterson Aluminum
Medium Bronze
(Corrosive Environments)
- ④ **Siding:**
Prodema
Deep Brown
- ⑤ **Exposed Steel:**
Electrostatic Paint
by Accessa
'Seal Brown' by Manufacturer
to match Tiger Drylac 38/60014
'Medium Bronze'
- ⑥ **Fuel Canopy:**
ACM by 3M (Manufacturer)
Top Fascia 'Olive'
Bottom Fascia 'White'
- ⑦ **Metal Columns:**
ACM
to match
'Medium Bronze'



SITE DATA TABLE

ADDRESS:
619 A1A N
PONTE VEDRA BEACH, FL 32082

RE: 061519-0150
USE: GAS STATION
NUMBER OF BUILDINGS: 1
ZONING: R-3
LANDUSE: COMMERCIAL
PHASES: 1
PROPOSED BLDG. HEIGHT: 27'
MAX. BLDG. HEIGHT: 35'
WETLANDS: NA
FEMA FLOOD ZONE: X

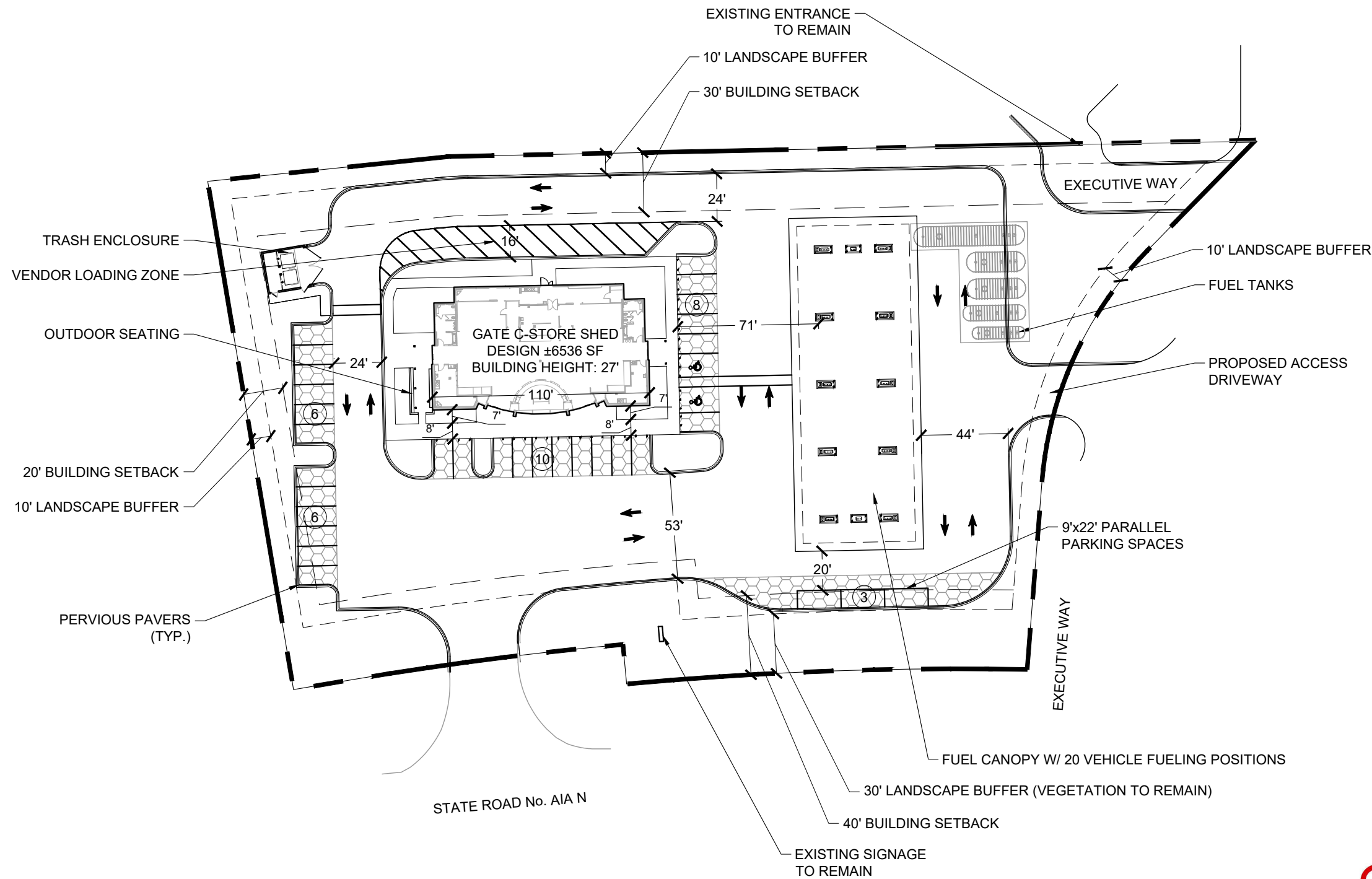
SETBACKS:

| | SETBACK | LANDSCAPE BUFFER |
|-------|---------|------------------|
| FRONT | 40 | 30 |
| SIDE | 20 | 10 |
| REAR | 30 | 10 |

LOT DATA:

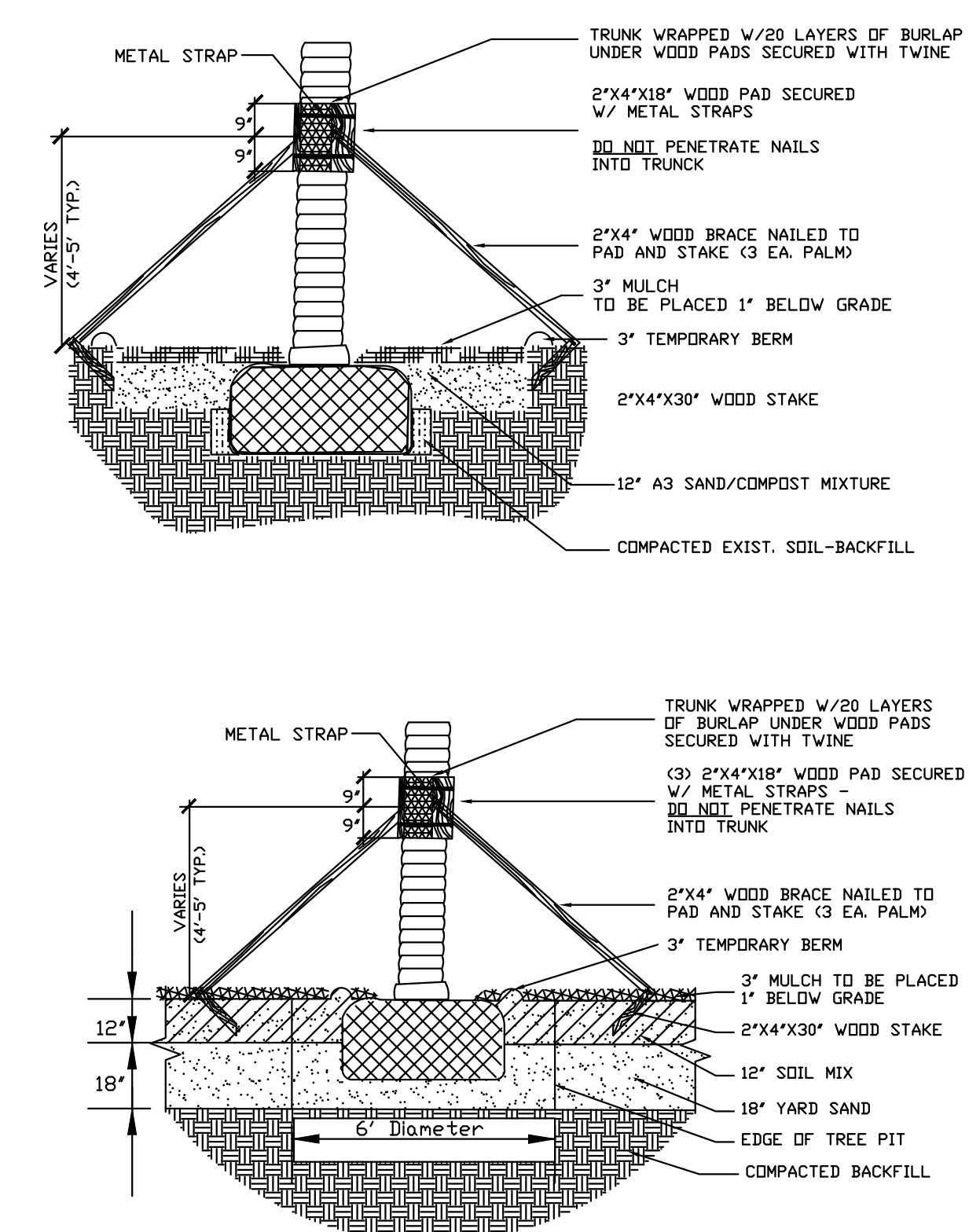
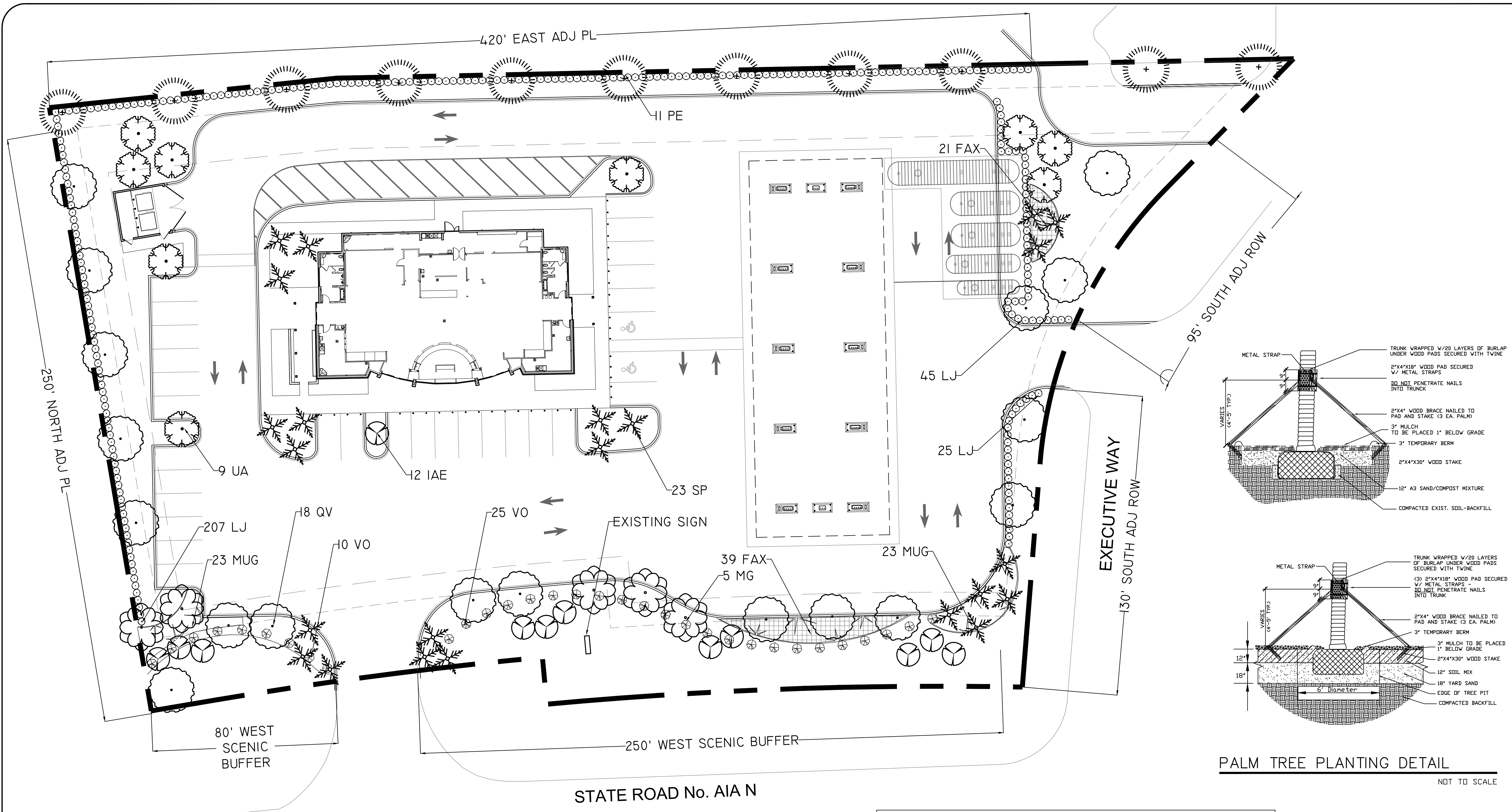
| | TOTAL (Ac) | TOTAL (%) |
|------------------------|------------|-----------|
| LOT AREA | 2.53 Ac | 100% |
| DEVELOPABLE AREA | 2.53 Ac | 100% |
| EXIST. IMPERVIOUS AREA | 1.55 Ac | 61% |
| PROP. IMPERVIOUS AREA* | 1.65 Ac | 65% |
| MAX. IMPERVIOUS AREA | 1.65 Ac | 65% |

*INCLUDES REDUCTION FOR PERVIOUS PAVERS



Gate C-Store #1201
Raze and Rebuild
September 22nd, 2022

PROSSER
Creative Visionaries. Engineering Minds®



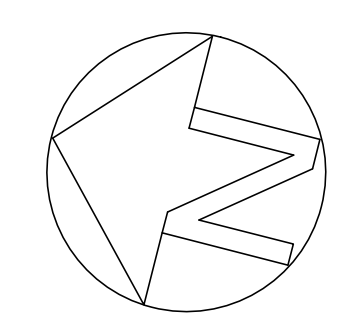
PALM TREE PLANTING DETAIL
NOT TO SCALE

PLANT LIST

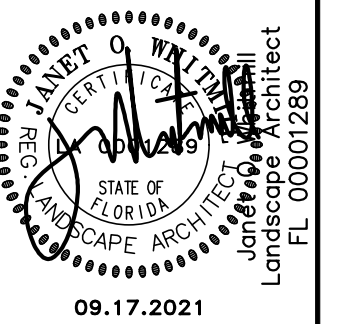
| QTY | SYM | DESCRIPTION | SIZE | SPACING | CANOPY TREE | % OF CANOPY | NOTES* | INCHES |
|-----|-----|--|---|----------|-------------|-------------|----------------|--------|
| 5 | MG | MAGNOLIA GRANDIFLORA "CLAUDIA WANNAMAKER MAGNOLIA" | 10' x 3-4", 2" CAL., 4' CT, MATCHED | AS SHOWN | YES | 0.06 | N, FYN, FF, WW | 10 |
| 18 | QV | QUERCUS VIRGINIANA "HIGHRISE LIVE OAK" | 10' x 3-4", 2" CAL., 4' CT, MATCHED | AS SHOWN | YES | 0.23 | N, FYN, FF, WW | 36 |
| 23 | SP | SABAL PALMETTO "CABBAGE PALM" | 16'-18" CT., MATCHED, BOOTED, FULL HEAD | AS SHOWN | NO | 0.29 | N, FYN, FF, WW | 108 |
| 9 | UA | ULMUS ALATA "WINGED ELM" | 10' x 3-4", 2" CAL., 4' CT, MATCHED | AS SHOWN | YES | 0.12 | N, FYN, FF, WW | 18 |
| 11 | PE | PINUS ELLIOTTI "SLASH PINE" | 10' x 3-4", 2" CAL., 4' CT, MATCHED | AS SHOWN | YES | 0.14 | N, FYN, FF, WW | 22 |
| 12 | IAE | ILEX ATTENUATA "EAGLESTON HOLLY" | 10' x 3-4", 2" CAL., 4' CT, MATCHED | AS SHOWN | NO | 0.15 | FYN, FF, WW | 24 |
| 78 | | | | | | 1.00 | | 218 |
| 35 | V0 | VIBURNUM ODORATISSIMUM "SWEET VIBURNUM" | 24" x 24", FULL, MATCHED | 36" OC. | | | FYN, FF, WW | |
| 60 | FAX | TRIPSACUM DACTYLAIDES "DWARF FAKAHATCHEE" | 24" x 18", FULL, MATCHED | 36" OC. | | | N, FYN, FF, WW | |
| 46 | MUG | MUHLENBERGIA CAPILLARIS "MUHLY GRASS" | 16" x 18", FULL, MATCHED | 36" OC. | | | N, FYN, FF, WW | |
| 277 | LJ | LIGUSTRUM JAPONICA "LIGUSTRUM" | 24" x 24", FULL, MATCHED | 36" OC. | | | FYN, FF, WW | |

LANDSCAPE REQUIREMENTS
(2.53 ACRES @ 80"/ACRE = 202 INCHES)

| PROPERTY | FRONTAGE/ AREA | GREEN AREA REQUIRED SF | GREEN AREA PROV'D SF | TREES | UNDER STORY | SHRUBS | GRASSES |
|-------------------|----------------|------------------------|----------------------|-----------|-------------|--------|---------|
| PUBLIC INTERIOR | 62,660 SF | 6270 | 6196 | 9 | | 85 | |
| 10% | | | | 1/ ISLAND | | | |
| STREET FRONTAGE | | | | | | | |
| SOUTH 10' | 225 LF | 2250 | 5750 | 5 | | 75 | |
| | | | | 1/ 50 | | CONT. | |
| ADJACENT PROPERTY | | | | | | | |
| NORTH 10' | 250 LF | 2500 | 300 | 5 | | 85 | |
| EAST 10' | 420 LF | 4200 | 5252 | 9 | | 140 | |
| | | | | 1/ 50 | | CONT. | |
| SCENIC BUFFER | | | | | | | |
| WEST 30' | 330 LF | 9900 | 11848 | 13 | 22 | 35 | 85 |
| | | | | 1/ 25 | 1/ 15 | 1/ 10 | 1/ 4 |
| TOTAL | | 15220 | 17498 | 41 | 22 | 420 | 85 |



JANET O. WHITMILL, R.L.A., INC.
LANDSCAPE ARCHITECTURE * PLANNING
P.O. BOX 5212, JACKSONVILLE, FL 32247 (904) 398-7688



GATE C STORE #1201
RAZE AND REBUILD
ST. JOHNS, FLORIDA

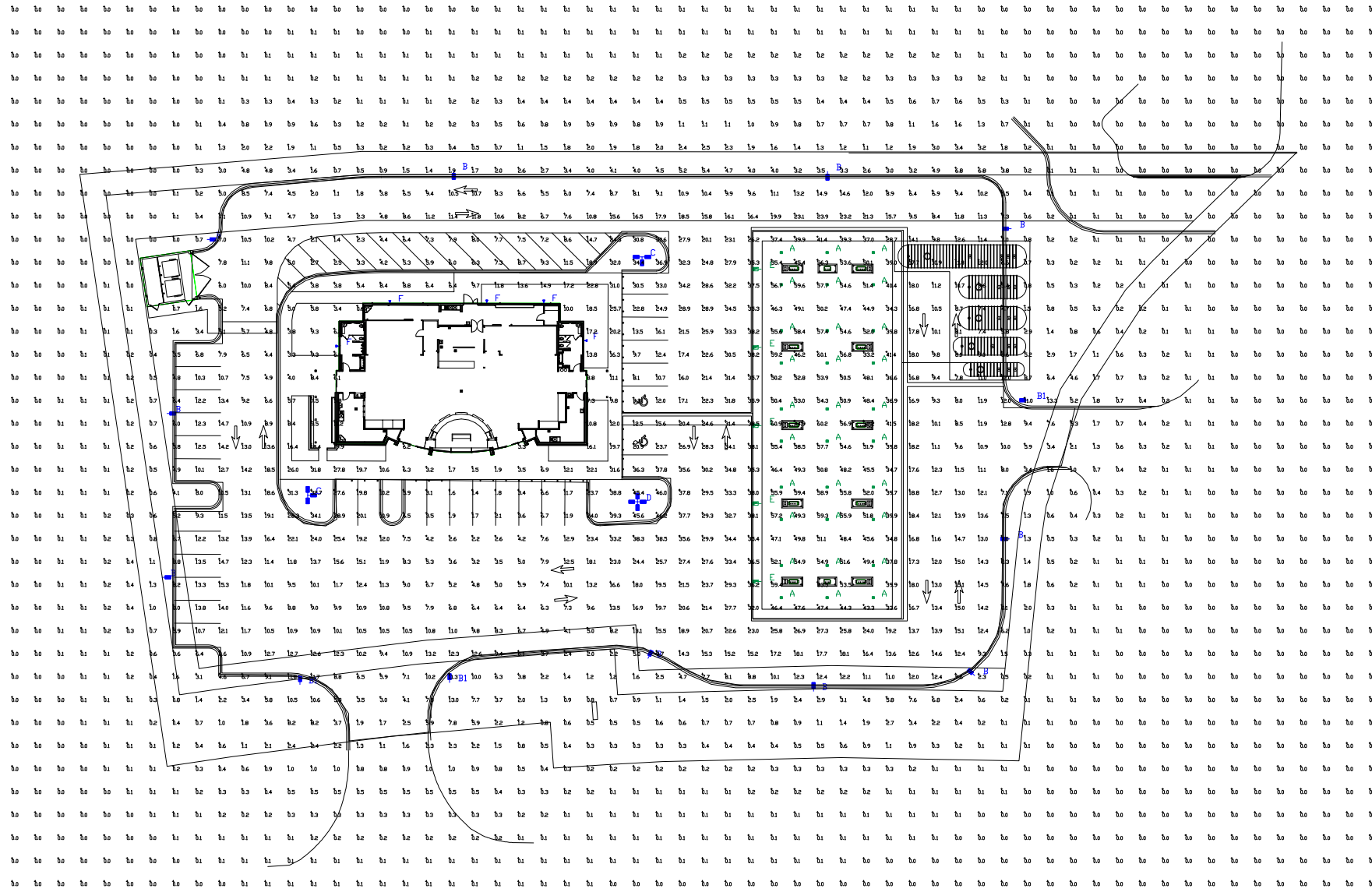
LANDSCAPE PLAN

02.07.2022

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any means without the prior
written consent of Janet O. Whitmill.

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |
| | | |
| | | |

JOB NO. 11322
DRAWN: JOW
CHECKED: JOW
SCALE: 1:20
L-1
DRAWING NO.



XWM



SLM



CRUS

| Symbol | Qty | Label | Arrangement | Description | LLD | LDD | LLF | Arr. Lum. Lumens | Arr. Watts |
|--------|-----|-------|----------------|---|-------|-------|-------|------------------|------------|
| | 30 | A | SINGLE | CRUS-SC-HD-50 MTD @ 15' | 1.000 | 1.000 | 1.000 | 19071 | 125 |
| | 10 | B | SINGLE | SLM-LED-36L-SIL-FT-50-70CRI-IL-SINGLE-20'-6" MT HGT | 1.000 | 1.000 | 1.000 | 23720 | 286 |
| | 3 | B1 | SINGLE | SLM-LED-36L-SIL-FT-50-70CRI | 1.000 | 1.000 | 1.000 | 37808 | 286 |
| | 2 | C | 3 @ 90 DEGREE | SLM-LED-36L-SIL-FT-50-70CRI-T90-20'-6" MT HGT | 1.000 | 1.000 | 1.000 | 113424 | 858 |
| | 1 | D | 4 @ 90 DEGREES | SLM-LED-36L-SIL-FT-50-70CRI-Q90-20'-6" MT HGT | 1.000 | 1.000 | 1.000 | 151232 | 1144 |
| | 5 | E | SINGLE | SLM-LED-30L-SIL-FT-50-70CRI MTD ON CANDPY @ 18' | 1.000 | 1.000 | 1.000 | 31922 | 232 |
| | 5 | F | SINGLE | XWM-3-LED-06L-50 MTD @ 10' | 1.000 | 1.000 | 1.000 | 6011 | 44.7 |

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|-------|------|------|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| ALL_CALC_POINTS | Illuminance | Fc | 6.29 | 60.9 | 0.0 | N.A. | N.A. |
| CANDPY | Illuminance | Fc | 48.88 | 60.9 | 28.7 | 1.70 | 2.12 |
| INSIDE CURB | Illuminance | Fc | 13.73 | 38.5 | 1.1 | 12.48 | 35.00 |

Total Project Watts
Total Watts = 117115

LIGHTING PROPOSAL LD-155352-1

GATE C-STONE #1220
655 ADA IN
PONTE VERRA BEACHFL

| | | | |
|-------------|-------------|------------|--------------|
| BY: GARRARD | DATE: 02-02 | REV: 25-02 | SHEET 1 OF 1 |
|-------------|-------------|------------|--------------|

SCALE: 1"=30'

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



Owner's Authorization Form

Prosser Inc.

is hereby authorized TO ACT ON BEHALF OF

Gate Petroleum

the owners(s) of those lands described within

the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to St. Johns County, Florida, for an application related to a development Permit or other action pursuant to a: application for:

Other

By signing, I affirm that all legal owners(s), as listed on the Recorded Warranty Deed on file with the St. Johns County Clerk of Courts or otherwise stated (), have been notified of the (Identify what document)

I further understand incomplete or false information provided on this form may lead to revocation of permits, termination of development activity.

Signature of Owner

[Handwritten signature]

Print Name

Michael L. Junk

Signature of Owner

Print Name

Telephone Number

STATE OF FLORIDA COUNTY OF DUVAL

The foregoing instrument was acknowledged before me by means of [X] physical presence or [] online notarization, this 6th day of JANUARY, 2022, by MICHAEL L. JUNK as VICE PRESIDENT for GATE PETROLEUM COMPANY.

[Handwritten signature: Becky Hamilton]

Notary Public, State of Florida Name: My Commission Expires: My Commission Number is:

Personally Known [X] OR Produced Identification

Type of Identification Produced Revised August 30, 2011





Availability Letter

Bryce Crenshaw

2/11/2022

Prosser, Inc

13901 Sutton Park Drive South Suite 200

Jacksonville, Florida 32224

Project Name: Gate A1A Raze and Rebuild

Availability #: 2022-0481

Attn: Bryce Crenshaw

Thank you for your inquiry regarding the availability of Electric, Reclaim, Sewer, Water. The above referenced number in this letter will be the number JEA uses to track your project. Please reference this number when making inquiries and submitting related documents. This availability letter will expire two years from the date above.

Point of Connection:

A summary of connection points for requested services are identified on the following page. JEA recognizes Connection Point #1 as the primary point of connection (POC); however, a secondary, conditional POC will be listed if available. JEA assumes no responsibility for the inaccuracy of any service connection portrayed on a JEA utility system record drawing. JEA requires field verification in the form of a Level A SUE of all POCs prior to any plan approval to ensure connection availability. Please note the Special Conditions stated in each section contain pertinent information and additional requirements as well as further instructions. In the event the point of connection is located within a JEA easement located on private property not owned by applicant, applicant shall be responsible to obtain a temporary construction easement (TCE) from the third party owner providing applicant with the right to construct the utilities. **The TCE will need to be provided by JEA prior to setting up a pre-construction meeting.**

Main Extensions and/or Offsite Improvements:

For all utilities located in the public Right of Way or JEA easement, the new WS&R utilities shall be dedicated to JEA upon completion and final inspection, unless otherwise noted. **It shall be the applicant's responsibility to engage the services of a professional engineer, licensed in the State of Florida.** All WS&R construction shall conform to current JEA Water, Sewer & Reuse Design Guidelines which may be found at:

https://www.jea.com/engineering_and_construction/water_and_wastewater_development/reference_materials/

Reservation of Capacity:

This availability response does not represent JEA's commitment for or reservation of WS&R capacity. In accordance with JEA's policies and procedures, commitment to serve is made only upon JEA's approval of your application for service and receipt of your payment of all applicable fees.

A detailed overview of the process can be found at JEA.com. This document along with other important forms and submittal processes can be found at

Sincerely,

Roderick Jackson
jackrc@jea.com
(904) 386-1871

Availability Number: 2022-0481

Request Received On: 2/1/2022

Availability Response: 2/11/2022

Prepared by: Roderick Jackson

Expiration Date: 02/11/2024

Project Information

Name: Gate A1A Raze and Rebuild

Address: 619 A1A N, Jacksonville, FL 32082

County: St. Johns County

Type: Electric,Reclaim,Sewer,Water

Requested Flow: 1625

Parcel Number: 061519 0150, 061519 0180

Location: Includes both existing Gate Station and BB&T along A1A

Description: Current Gate C-Store and neighboring BB&T will be demolished to allow for building of a new Gate C-Store.

Potable Water Connection

Water Treatment Grid:

Connection Point #1: Ex 1.5-inch service can be used if in good condition and not in conflict with proposed construction

Connection Point #2: Ex 8-inch water main within the A1A N ROW

Connection point not reviewed for site fire protection requirements. Private fire protection

Water Special Conditions: analysis is required. For the estimate cost of a new connection request a special estimate under step 2 after obtaining approved plans through JEA development review via step 2 in Sages.

Sewer Connection

Sewer Grid:

Connection Point #1: Ex service can be used if in good condition and not in conflict with proposed construction.

Connection Point #2: Ex 10-inch gravity sewer within and easement at the rear of the property // Ex 8-inch and 10-inch sewer force main within the A1A N ROW

Connection to the proposed POC is contingent upon inspection and acceptance of the mains by

JEA. If gravity flow cannot be achieved, then Connection to the JEA-owned sewer system for your project will require the design and construction of an onsite, privately owned and maintained pump station, and a JEA dedicated force main (min. 4" dia.). If needed, a development meeting can be scheduled prior to submitting a plan set. Request development meeting through the JEA Sages program by entering your availability number and accessing the project portal.

Sewer Special Conditions: Development Meeting, and Plan Submittal requests can be made within Step 2 of the project portal. Connection to the JEA-owned sewer system for your project will require the design and construction of an onsite, privately owned and maintained pump station, and a JEA dedicated force main (min. 4" dia.). Request a force main connection pressure letter through the JEA Sages program by entering your availability number and accessing the project portal. If needed, a development meeting can be scheduled prior to submitting a plan set. Request development meeting through the JEA Sages program by entering your availability number and accessing the project portal. Force main connection pressure letter and development meeting requests can be made within Step 2 of the project portal.

Reclaimed Water Connection

Reclaim Grid:

Connection Point #1:

Connection Point #2:

Reclaim Special Conditions: JEA does not anticipate having reclaim water in this area in the foreseeable future.

Electric Availability:

Electric Special Conditions: The subject property does not lie within the geographic area legally served by JEA. The subject property does not lie within JEA's electric service territory.

General Conditions:

Request As-Built drawings and/or GIS maps by going to Step 1 in Sages. Request a Development Meeting with the water/wastewater team by going to Step 2 in Sages. If you need representative from the electric or real estate team please indicate that on your application. Don't forget to upload your utility layout with your application. Submit your plans for water/waste water review by Step 2 in Sages. If you are going to have JEA make the tap(s) for your new services you need to have a Special Estimate Determination for the cost of the taps prior to submitting your new service application. To request a Special Estimate Determination access Step 2 in Sages. After your plans are approved, you can submit your permit applications by access Step 3 in Sages, select Permit Determination. If your project requires the submittal of Deeds, Easements, Plats, Temporary Construction Easements and/or Hold Harmless Agreements, you can submit them by accessing Step 3 in Sages. After your plans, permits and shop drawings have been approved, as applicable, you can request a Pre-Construction Meeting by accessing Step 4 in Sages. Any required inspections you need for your project can be requested by

**Subsequent steps you need
to take to get service:**

accessing Step 4 in Sages. Project As-Builts can be submitted by accessing Step 4 in Sages. After your as-builts are approved you can submit your Permit COC applications by accessing Step 4 in Sages. After your permits are cleared, you can submit your project Acceptance Package by accessing Step 5 in Sages. After your project has been accepted you can submit your Commercial New Service Application by accessing Step 2 in Sages. If indicated on your availability letter, request your water flow test (Sages Step 2) and/or sewer locate (Sages Step 1). After you receive the results of these, if applicable, submit your plans (Sages Step 2). After your plans are approved, request a Special Estimate Determination (Sages Step 2) for the cost of your taps. After you have received the Special Estimate Determination, apply for your new services by accessing Step 2 in Sages.

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
|----------|------|--|----------|
| 03.10.22 | 00 | Original | bw |
| 05.31.22 | R1 | Update monument sign to max of 32.0 sqft | bw |
| 11.09.22 | R2 | Update to Add Sweet Freez & scrollers to package | bw |
| 02.22.23 | R3 | Update Gate Wall sign, show color options of signage | bw |
| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

CALCULATIONS:

ALLOWED TOTAL

PROPOSED TOTAL

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

Date: _____

Customer Notes:



Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



EXTERIOR SIGN PACKAGE
619 A1A N., PONTE VEDRA BEACH, FL 32082
REVISED 02.28.23

OPTION 1



SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

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| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |

SQUARE FOOTAGE FORMULA

ZONING:

32 SQFT
8' OVERALL HEIGHT

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 32.0 SqFt |
| PROPOSED TOTAL | 31.7 SqFt |

CUSTOMER APPROVAL:

- Approved
 Approved as Noted
 Not Approved

Customer Signature: _____

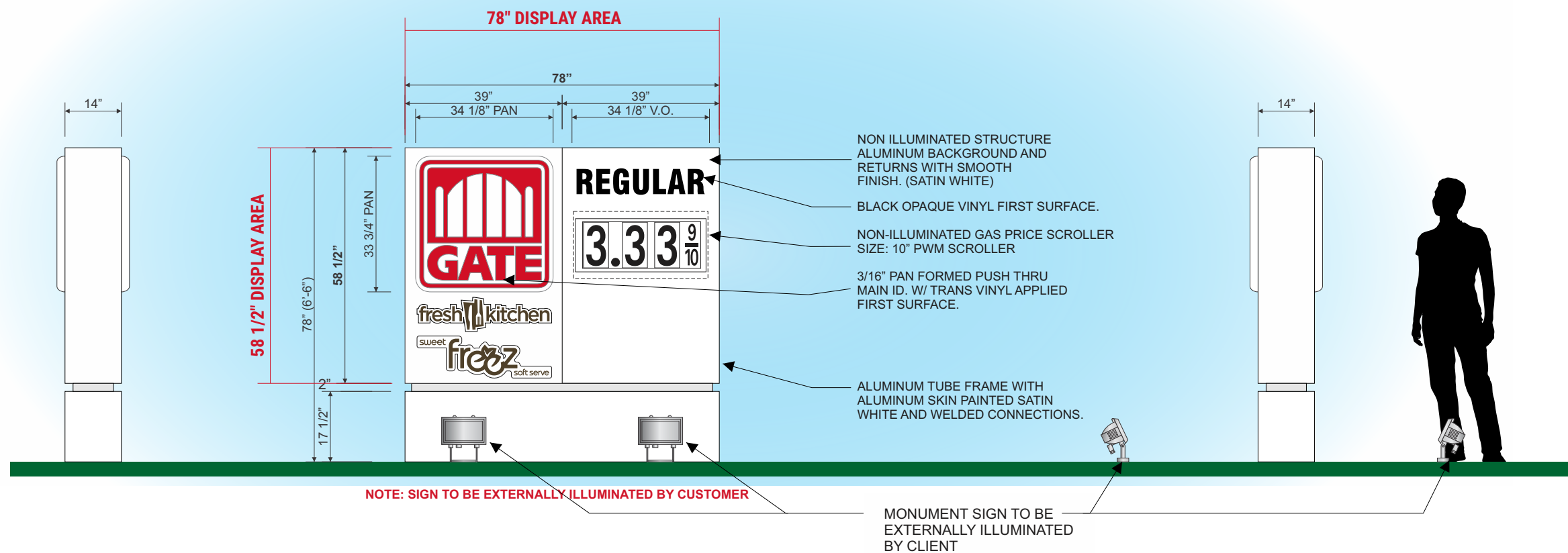
Date: _____

Customer Notes: _____



Complies with
UL 48
CSA C22.2 No.207

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MANUFACTURE & INSTALL

ONE (1) D/F EXTERNALLY ILLUMINATED SIGN CABINET. "GATE" TO BE 3/16" THICK PANNED WHITE ACRYLIC FACE W/ 3M 3630-33, RED VINYL GRAPHICS APPLIED FIRST SURFACE. GAS PRICE ALUMINUM FACE TO BE PAINTED WHITE, ILLUMINATED W/ WHITE LEDS. LED ILLUMINATED, MODULAR GAS PRICES. ROUTED AND BACKED ALUMINUM FACES WITH 3M™ VINYL GRAPHICS FUEL PRODUCT. DIGITS TO BE RED / GREEN . "REGULAR": COPY TO BE BLACK OPAQUE VINYL FIRST SURFACE, STATIC PRICE 3/16" FLAT WHITE ACRYLIC W 12 3/4" FONT KIT "ETHANOL-FREE": COPY TO BE BLUE OPAQUE VINYL FIRST SURFACE. "FRESH KITCHEN": 3/16" WHITE ACRYLIC FACES W/ TRANSLUCENT 3M DURANODIC BRONZE 3630-69 "SWEET FREEZ" 3/16" WHITE ACRYLIC FACES W/ TRANSLUCENT 3M DURANODIC BRONZE 3630-69

- NOTE: PRIMARY POWER TO BE PROVIDED BY CUSTOMER WITHIN 5 FEET OF SIGN LOCATION.
NOTE: GAS PRICE TO BE CLOSEST TO ROAD.
NOTE: BOTTOM TENANT SPACE TO BE DETERMINED BY CUSTOMER.

① Front Elevation and End View - Gate Main ID / Gas Price Face
3/8" = 1'-0"

Total Sqft: 31.7

OPTION 2



SALES ASSOC: Mike Lev
 PROJECT MGR: Ryan Richardson
 DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
 PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
|----------|------|--|----------|
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| 11.09.22 | R2 | Update to Add Sweet Freez & scrollers to package | bw |
| 02.22.23 | R3 | Update Gate Wall sign, show color options of signage | bw |
| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |

SQUARE FOOTAGE FORMULA

ZONING:

32 SQFT
 8' OVERALL HEIGHT

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 32.0 SqFt |
| PROPOSED TOTAL | 31.7 SqFt |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

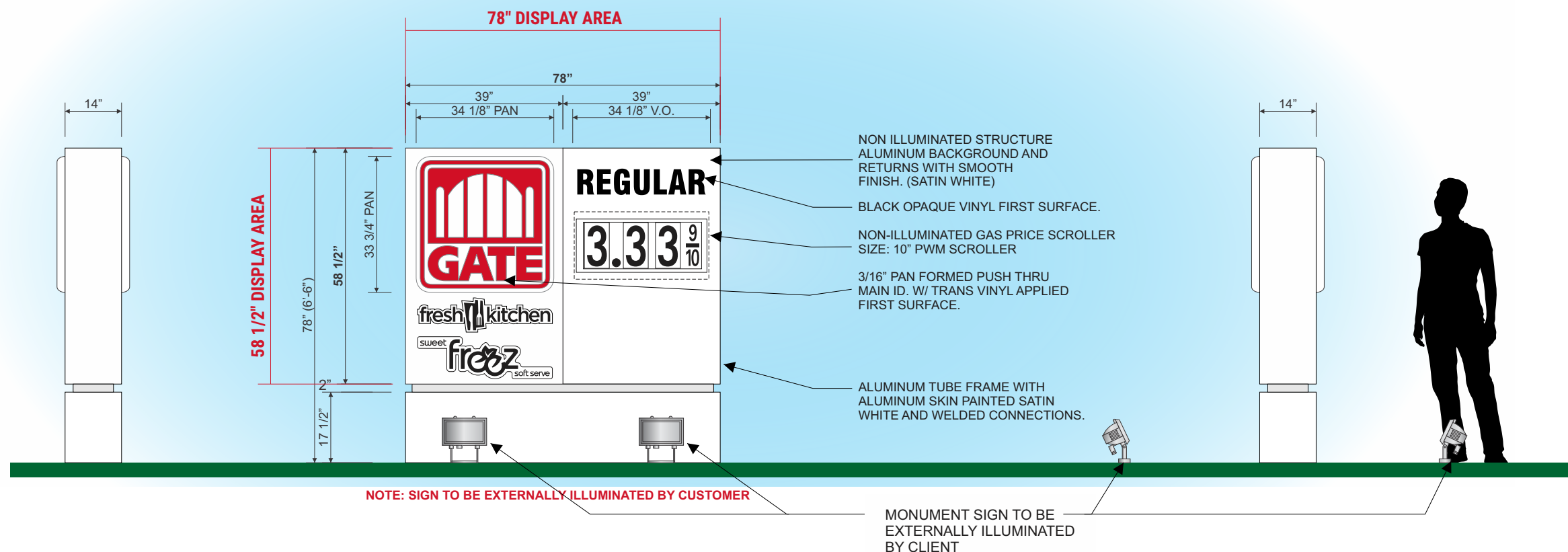
Date: _____

Customer Notes:



Complies with
UL 48
 CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



NOTE: SIGN TO BE EXTERNALLY ILLUMINATED BY CUSTOMER

MONUMENT SIGN TO BE EXTERNALLY ILLUMINATED BY CLIENT

MANUFACTURE & INSTALL

ONE (1) D/F EXTERNALLY ILLUMINATED SIGN CABINET. "GATE" TO BE 3/16" THICK PANNED WHITE ACRYLIC FACE W/ 3M 3630-33, RED VINYL GRAPHICS APPLIED FIRST SURFACE. GAS PRICE ALUMINUM FACE TO BE PAINTED WHITE, ILLUMINATED W/ WHITE LEDS. LED ILLUMINATED, MODULAR GAS PRICES. ROUTED AND BACKED ALUMINUM FACES WITH 3M™ VINYL GRAPHICS FUEL PRODUCT. DIGITS TO BE RED / GREEN . "REGULAR": COPY TO BE BLACK OPAQUE VINYL FIRST SURFACE, STATIC PRICE 3/16" FLAT WHITE ACRYLIC W 12 3/4" FONT KIT "ETHANOL-FREE": COPY TO BE BLUE OPAQUE VINYL FIRST SURFACE. "FRESH KITCHEN": 3/16" WHITE ACRYLIC FACES W/ TRANSLUCENT 3M BLACK 3630-22 "SWEET FREEZ" 3/16" WHITE ACRYLIC FACES W/ TRANSLUCENT 3M BLACK 3630-22

- NOTE: PRIMARY POWER TO BE PROVIDED BY CUSTOMER WITHIN 5 FEET OF SIGN LOCATION.
- NOTE: GAS PRICE TO BE CLOSEST TO ROAD.
- NOTE: BOTTOM TENANT SPACE TO BE DETERMINED BY CUSTOMER.

① Front Elevation and End View - Gate Main ID / Gas Price Face
 3/8" = 1'-0"

Total Sqft: 31.7



SALES ASSOC: Mike Lev
 PROJECT MGR: Ryan Richardson
 DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
 PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
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| 02.22.23 | R3 | Update Gate Wall sign, show color options of signage | bw |
| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
 MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 24.0 SqFt |
| PROPOSED TOTAL | 24.0 SqFt |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

Date: _____

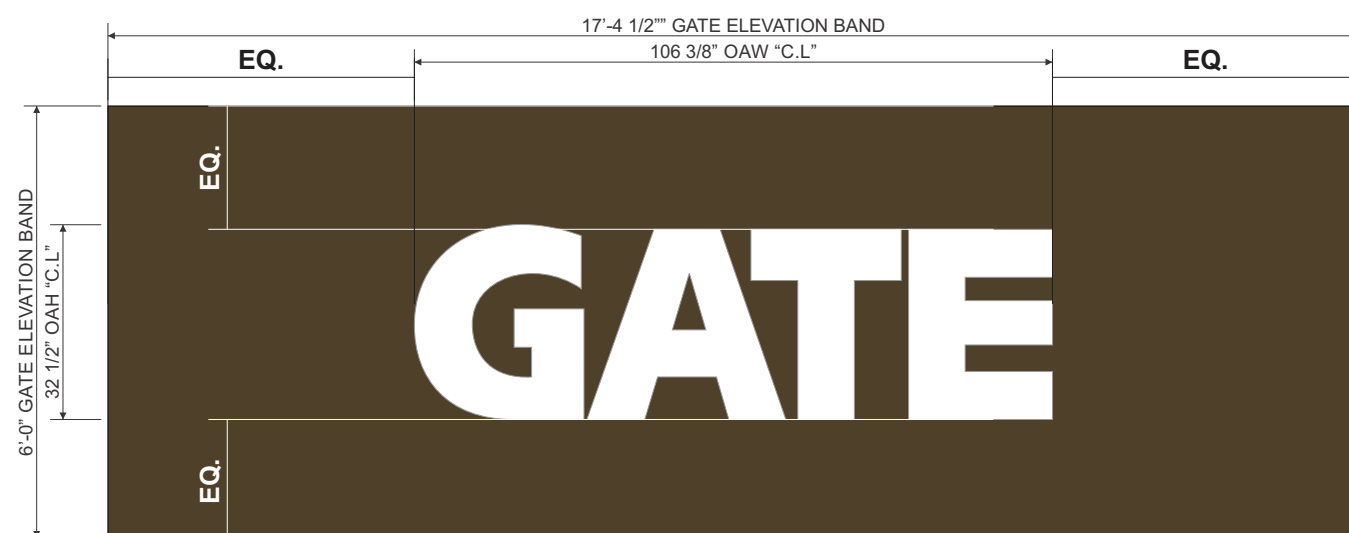
Customer Notes: _____



Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

**NOTE: SIDE DETAIL OF ELEVATION IS CONCEPTUAL ONLY,
 NOT SPECIFIC TO THIS SITE**

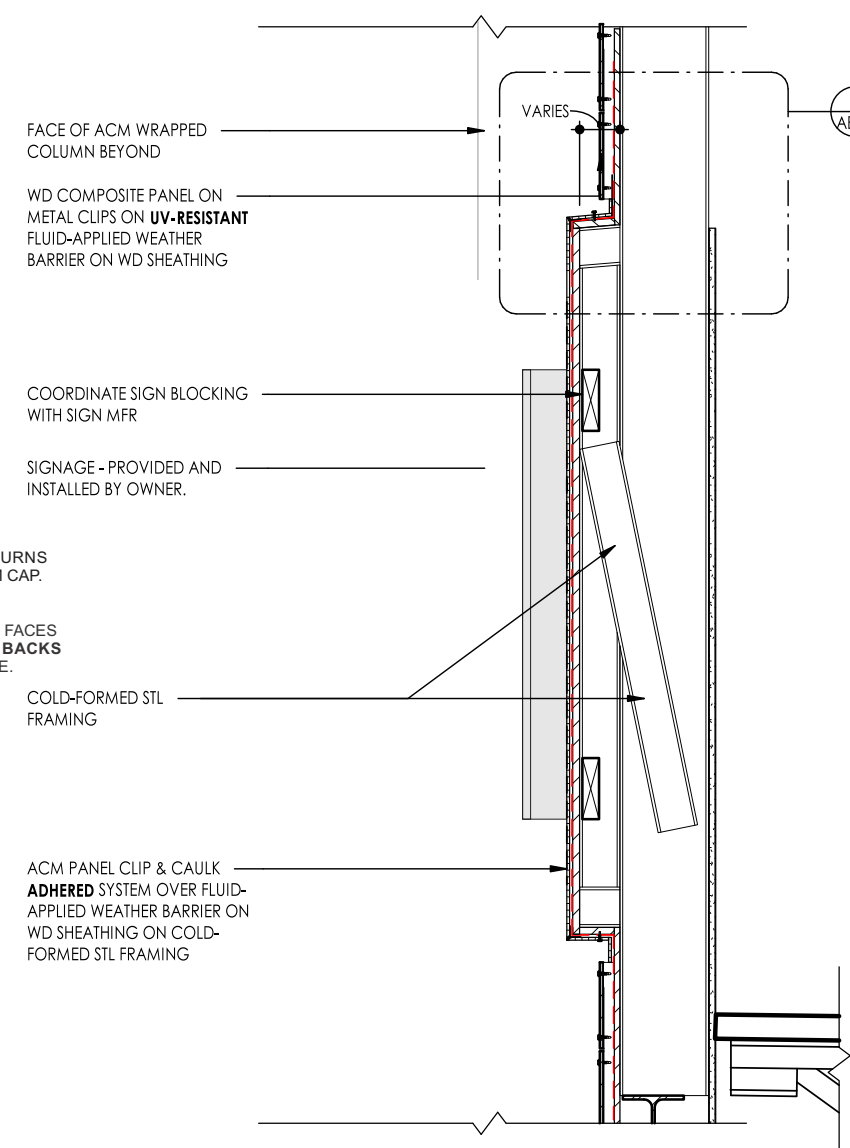


MANUFACTURE & INSTALL ONE (1) SET OF 32 1/2" ILLUMINATED CHANNEL LETTERS. 3/16" WHITE ACRYLIC FACES WITH 1/8" ALUMINUM BACKS PAINTED WHITE WITH .063" WHITE ALUMINUM RETURNS. LETTERS MOUNTED TO EXISTING STEEL FRAMING WITH TAPPED BOLTS AND FABRICATED ALUMINUM ANGLE BRACKETS.

BACKER ALUM. SKIN & FRAME TO BE PROVIDE BY GATE INCLUDED W/ ELEVATION BUILD.

② Front & Side View - Illuminated Channel Letters
 3/8" = 1'-0"

Display Square Footage: 24.0





SALES ASSOC: Mike Lev
 PROJECT MGR: Ryan Richardson
 DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
 PATH: F:\Customers\F\Gate Petroleum\ART

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| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
 MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 24.0 SqFt |
| PROPOSED TOTAL | 24.0 SqFt |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

Date: _____

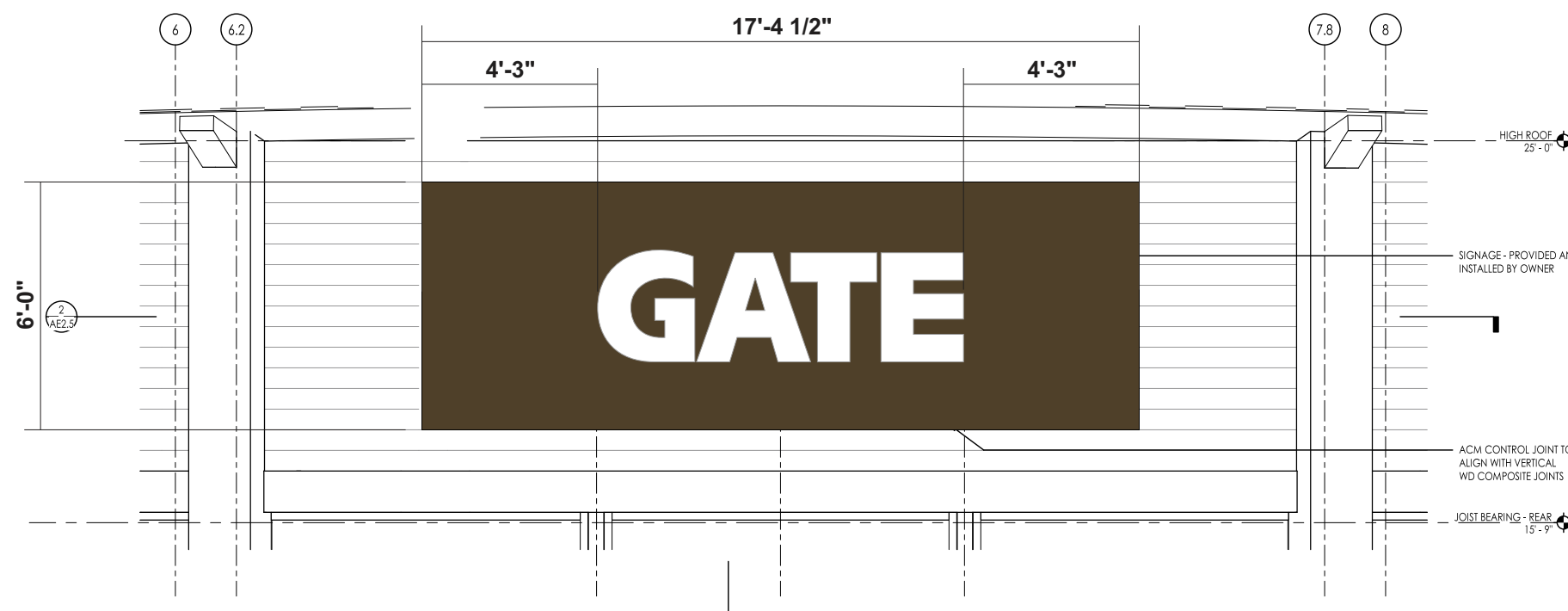
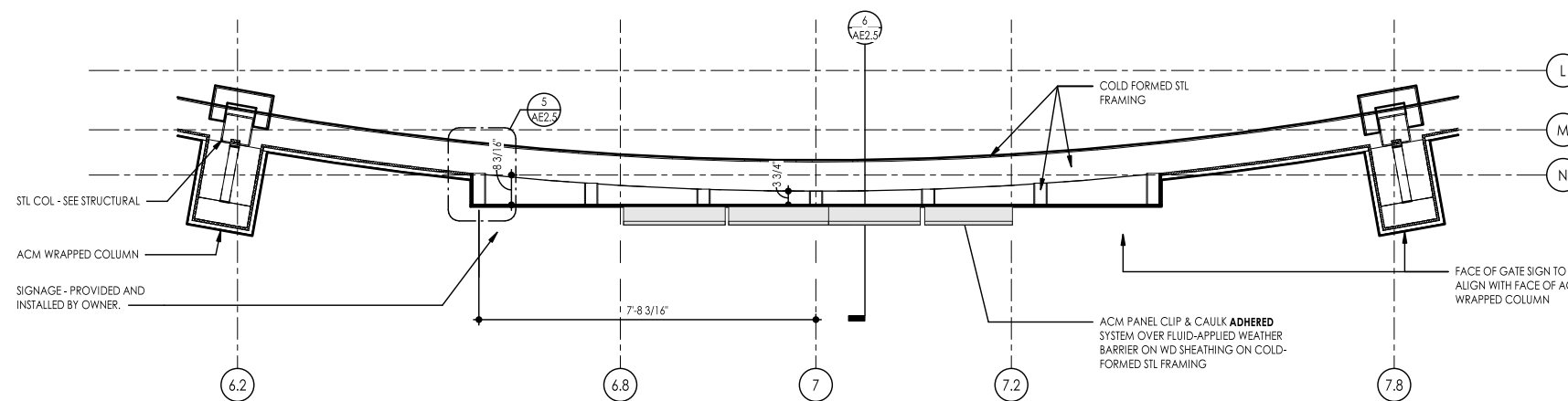
Customer Notes: _____



Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

**NOTE: SIDE DETAIL OF ELEVATION IS CONCEPTUAL ONLY,
 NOT SPECIFIC TO THIS SITE**



2 Front & Top View - Illuminated Channel Letters
 1/4" = 1'-0"

OPTION 1

- P1** PAINT WHITE
- P2** PAINT PMS 165C
- P3** PAINT PMS 137C

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5300 Shad Road, Jacksonville, FL. 32257
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619 A1A N.,
Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

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| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 24.0 SqFt |
| PROPOSED TOTAL | 23.8 SqFt |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

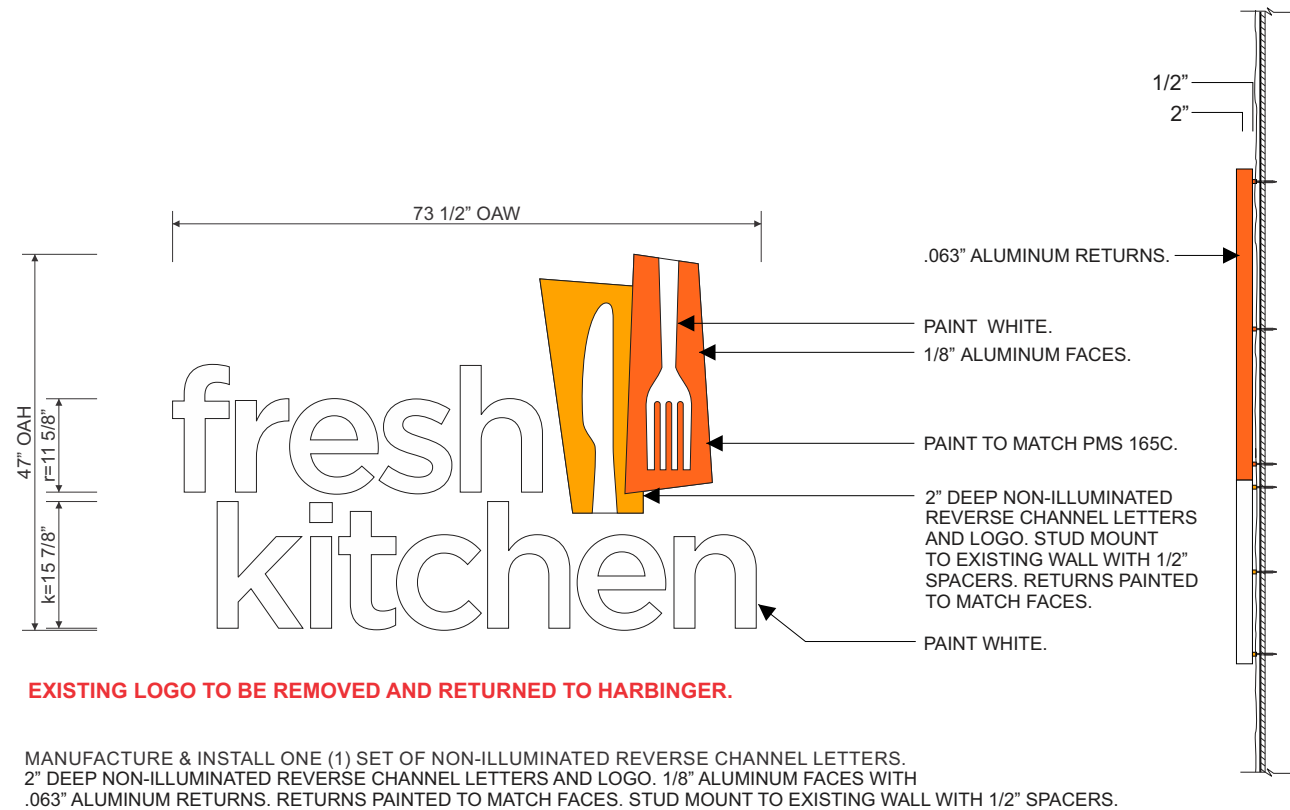
Date: _____

Customer Notes:



Complies with
UL 48
CSA C22.2 No.207

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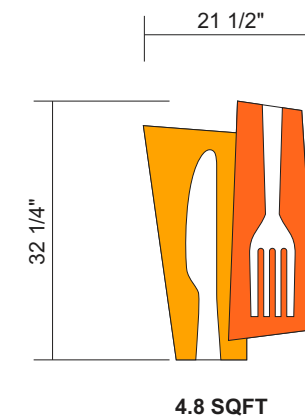


EXISTING LOGO TO BE REMOVED AND RETURNED TO HARBINGER.

MANUFACTURE & INSTALL ONE (1) SET OF NON-ILLUMINATED REVERSE CHANNEL LETTERS. 2" DEEP NON-ILLUMINATED REVERSE CHANNEL LETTERS AND LOGO. 1/8" ALUMINUM FACES WITH .063" ALUMINUM RETURNS. RETURNS PAINTED TO MATCH FACES. STUD MOUNT TO EXISTING WALL WITH 1/2" SPACERS.

3 Front Elevation and End View - Non-Illuminated Reverse Channel Letters
1/2" = 1'-0"

Display Square Footage: **23.8**



15% OF SIGN WITH COLORS

OPTION 2

- P1** PAINT WHITE
- P2** 313 DURANODIC BRONZE

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5300 Shad Road, Jacksonville, FL. 32257
harbingersign.com 904.268.4681



619 A1A N.,
Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

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| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 24.0 SqFt |
| PROPOSED TOTAL | 23.8 SqFt |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

Date: _____

Customer Notes: _____



EXISTING LOGO TO BE REMOVED AND RETURNED TO HARBINGER.

MANUFACTURE & INSTALL ONE (1) SET OF NON-ILLUMINATED REVERSE CHANNEL LETTERS. 2" DEEP NON-ILLUMINATED REVERSE CHANNEL LETTERS AND LOGO. 1/8" ALUMINUM FACES WITH .063" ALUMINUM RETURNS. RETURNS PAINTED TO MATCH FACES. STUD MOUNT TO EXISTING WALL WITH 1/2" SPACERS.

3 Front Elevation and End View - Non-Illuminated Reverse Channel Letters
1/2" = 1'-0"

Display Square Footage: **23.8**



Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

OPTION 3

- P1** PAINT WHITE
- P2** 313 DURANODIC BRONZE
- P3** MEDIUM BRONZE

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5300 Shad Road, Jacksonville, FL. 32257
harbingersign.com 904.268.4681



619 A1A N.,
Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

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| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 24.0 SqFt |
| PROPOSED TOTAL | 23.8 SqFt |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

Date: _____

Customer Notes: _____



EXISTING LOGO TO BE REMOVED AND RETURNED TO HARBINGER.

MANUFACTURE & INSTALL ONE (1) SET OF NON-ILLUMINATED REVERSE CHANNEL LETTERS. 2" DEEP NON-ILLUMINATED REVERSE CHANNEL LETTERS AND LOGO. 1/8" ALUMINUM FACES WITH .063" ALUMINUM RETURNS. RETURNS PAINTED TO MATCH FACES. STUD MOUNT TO EXISTING WALL WITH 1/2" SPACERS.

3 Front Elevation and End View - Non-Illuminated Reverse Channel Letters
1/2" = 1'-0"

Display Square Footage: **23.8**



Complies with
UL 48
CSA C22.2 No.207

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OPTION 4

- P1** PAINT WHITE
- P2** PAINT BLACK C

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sign of the future

5300 Shad Road, Jacksonville, FL. 32257
harbingersign.com 904.268.4681



619 A1A N.,
Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
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|----------|------|--|----------|
| 03.10.22 | 00 | Original | bw |
| 05.31.22 | R1 | Update monument sign to max of 32.0 sqft | bw |
| 11.09.22 | R2 | Update to Add Sweet Freez & scrollers to package | bw |
| 02.22.23 | R3 | Update Gate Wall sign, show color options of signage | bw |
| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 24.0 SqFt |
| PROPOSED TOTAL | 23.8 SqFt |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

Date: _____

Customer Notes: _____



EXISTING LOGO TO BE REMOVED AND RETURNED TO HARBINGER.

MANUFACTURE & INSTALL ONE (1) SET OF NON-ILLUMINATED REVERSE CHANNEL LETTERS. 2" DEEP NON-ILLUMINATED REVERSE CHANNEL LETTERS AND LOGO. 1/8" ALUMINUM FACES WITH .063" ALUMINUM RETURNS. RETURNS PAINTED TO MATCH FACES. STUD MOUNT TO EXISTING WALL WITH 1/2" SPACERS.

3 Front Elevation and End View - Non-Illuminated Reverse Channel Letters
1/2" = 1'-0"

Display Square Footage: **23.8**


 Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

OPTION 1

- P1** — PAINT, PANTONE 368 C
- P2** — PAINT, PANTONE 259 C
- P3** — PAINT, WHITE

harbinger
sign of the future

5300 Shad Road, Jacksonville, FL. 32257
harbingersign.com 904.268.4681



619 A1A N.,
Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
|----------|------|--|----------|
| 03.10.22 | 00 | Original | bw |
| 05.31.22 | R1 | Update monument sign to max of 32.0 sqft | bw |
| 11.09.22 | R2 | Update to Add Sweet Freez & scrollers to package | bw |
| 02.22.23 | R3 | Update Gate Wall sign, show color options of signage | bw |
| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 24.0 SqFt |
| PROPOSED TOTAL | 23.5 SqFt |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

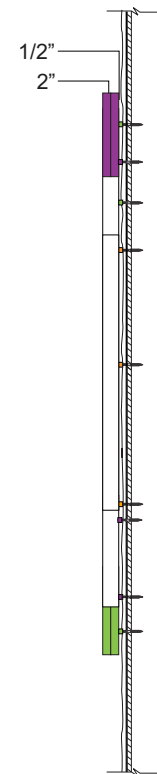
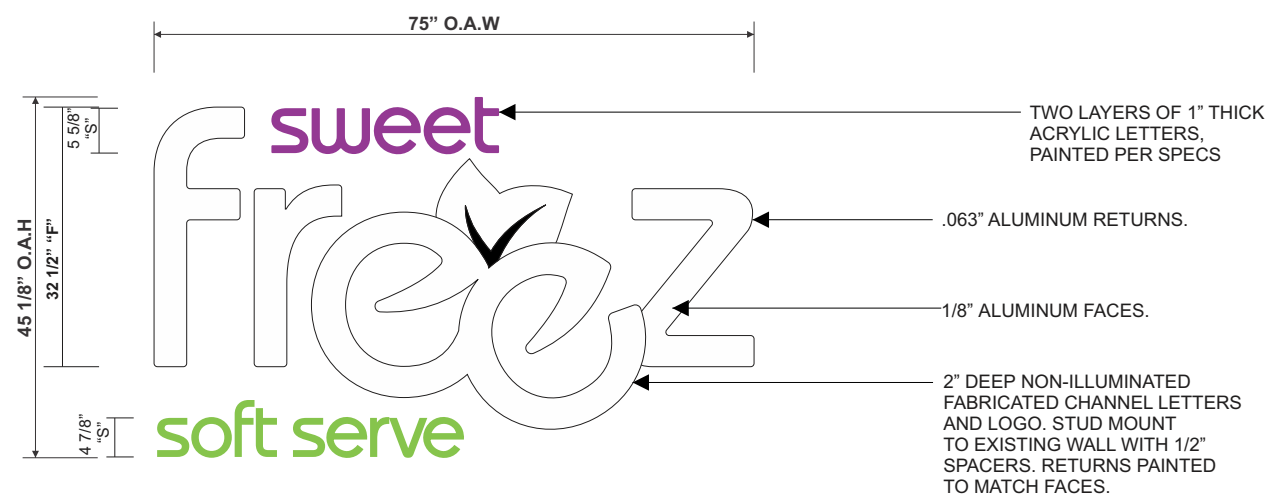
Date: _____

Customer Notes: _____



Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15, THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



MANUFACTURE & INSTALL ONE (1) SET OF NON-ILLUMINATED FABRICATED CHANNEL LETTERS & ACRYLIC LETTERS. "FREEZ" TO BE 2" DEEP NON-ILLUMINATED CHANNEL LETTERS AND LOGO. 1/8" ALUMINUM FACES WITH .063" ALUMINUM RETURNS, PAINTED PER SPECS. "SWEET" & "SOFT SERVE" TO BE TWO LAYERS OF 1" THICK ACRYLIC LETTERS, PAINTED PER SPECS. LETTERS TO BE STUD MOUNT TO EXISTING WALL WITH 1/2" SPACERS.

4 Front Elevation & Side Mounting Detail - Sweet Freez Channel Letter Wall Sign
1/2" = 1'-0"

Display Square Footage: **23.5**

OPTION 2

- P1** PAINT WHITE
- P2** 313 DURANODIC BRONZE

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harbingersign.com 904.268.4681



619 A1A N.,
Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
|----------|------|--|----------|
| 03.10.22 | 00 | Original | bw |
| 05.31.22 | R1 | Update monument sign to max of 32.0 sqft | bw |
| 11.09.22 | R2 | Update to Add Sweet Freez & scrollers to package | bw |
| 02.22.23 | R3 | Update Gate Wall sign, show color options of signage | bw |
| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 24.0 SqFt |
| PROPOSED TOTAL | 23.5 SqFt |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

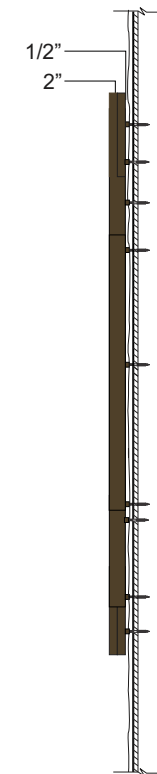
Date: _____

Customer Notes: _____



Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15, THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



MANUFACTURE & INSTALL ONE (1) SET OF NON-ILLUMINATED FABRICATED CHANNEL LETTERS & ACRYLIC LETTERS. "FREEZ" TO BE 2" DEEP NON-ILLUMINATED CHANNEL LETTERS AND LOGO. 1/8" ALUMINUM FACES WITH .063" ALUMINUM RETURNS, PAINTED PER SPECS. "SWEET" & "SOFT SERVE" TO BE TWO LAYERS OF 1" THICK ACRYLIC LETTERS, PAINTED PER SPECS. LETTERS TO BE STUD MOUNT TO EXISTING WALL WITH 1/2" SPACERS.

4 Front Elevation & Side Mounting Detail - Sweet Freez Channel Letter Wall Sign
1/2" = 1'-0"

Display Square Footage: **23.5**

OPTION 3

- P1** PAINT WHITE
- P2** 313 DURANODIC BRONZE
- P3** MEDIUM BRONZE

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5300 Shad Road, Jacksonville, FL. 32257
harbingersign.com 904.268.4681



619 A1A N.,
Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
|----------|------|--|----------|
| 03.10.22 | 00 | Original | bw |
| 05.31.22 | R1 | Update monument sign to max of 32.0 sqft | bw |
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| 02.22.23 | R3 | Update Gate Wall sign, show color options of signage | bw |
| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 24.0 SqFt |
| PROPOSED TOTAL | 23.5 SqFt |

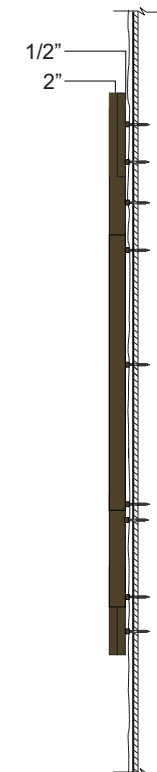
CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

Date: _____

Customer Notes:



MANUFACTURE & INSTALL ONE (1) SET OF NON-ILLUMINATED FABRICATED CHANNEL LETTERS & ACRYLIC LETTERS. "FREEZ" TO BE 2" DEEP NON-ILLUMINATED CHANNEL LETTERS AND LOGO. 1/8" ALUMINUM FACES WITH .063" ALUMINUM RETURNS, PAINTED PER SPECS. "SWEET" & "SOFT SERVE" TO BE TWO LAYERS OF 1" THICK ACRYLIC LETTERS, PAINTED PER SPECS. LETTERS TO BE STUD MOUNT TO EXISTING WALL WITH 1/2" SPACERS.

4 Front Elevation & Side Mounting Detail - Sweet Freez Channel Letter Wall Sign
1/2" = 1'-0"

Display Square Footage: **23.5**



Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

OPTION 4

- P1** PAINT WHITE
- P2** PAINT BLACK C

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harbingersign.com 904.268.4681



619 A1A N.,
Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
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| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|-----------|
| ALLOWED TOTAL | 24.0 SqFt |
| PROPOSED TOTAL | 23.5 SqFt |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

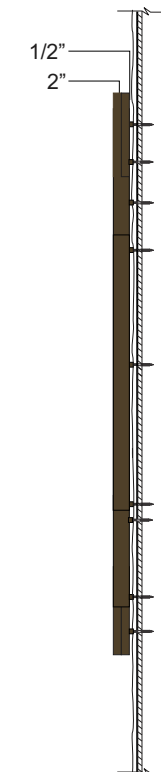
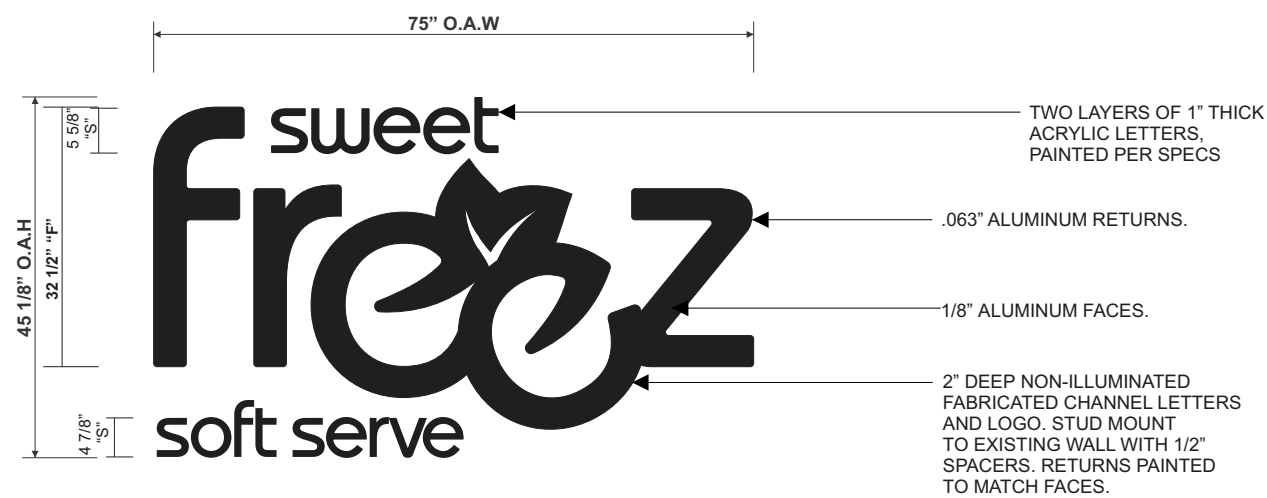
Date: _____

Customer Notes: _____



Complies with
UL 48
CSA C22.2 No.207

THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



MANUFACTURE & INSTALL ONE (1) SET OF NON-ILLUMINATED FABRICATED CHANNEL LETTERS & ACRYLIC LETTERS. "FREEZ" TO BE 2" DEEP NON-ILLUMINATED CHANNEL LETTERS AND LOGO. 1/8" ALUMINUM FACES WITH .063" ALUMINUM RETURNS, PAINTED PER SPECS. "SWEET" & "SOFT SERVE" TO BE TWO LAYERS OF 1" THICK ACRYLIC LETTERS, PAINTED PER SPECS. LETTERS TO BE STUD MOUNT TO EXISTING WALL WITH 1/2" SPACERS.

4 Front Elevation & Side Mounting Detail - Sweet Freez Channel Letter Wall Sign
1/2" = 1'-0"

Display Square Footage: **23.5**

OPTION 1

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sign of the future

5300 Shad Road, Jacksonville, FL. 32257
harbingersign.com 904.268.4681



619 A1A N.,
Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
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| 03.10.22 | 00 | Original | bw |
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| 02.22.23 | R3 | Update Gate Wall sign, show color options of signage | bw |
| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|----------------|
| ALLOWED TOTAL | 24.0 SqFt Each |
| PROPOSED TOTAL | 24.0 SqFt Each |

CUSTOMER APPROVAL:

- Approved
 Approved as Noted
 Not Approved

Customer Signature: _____

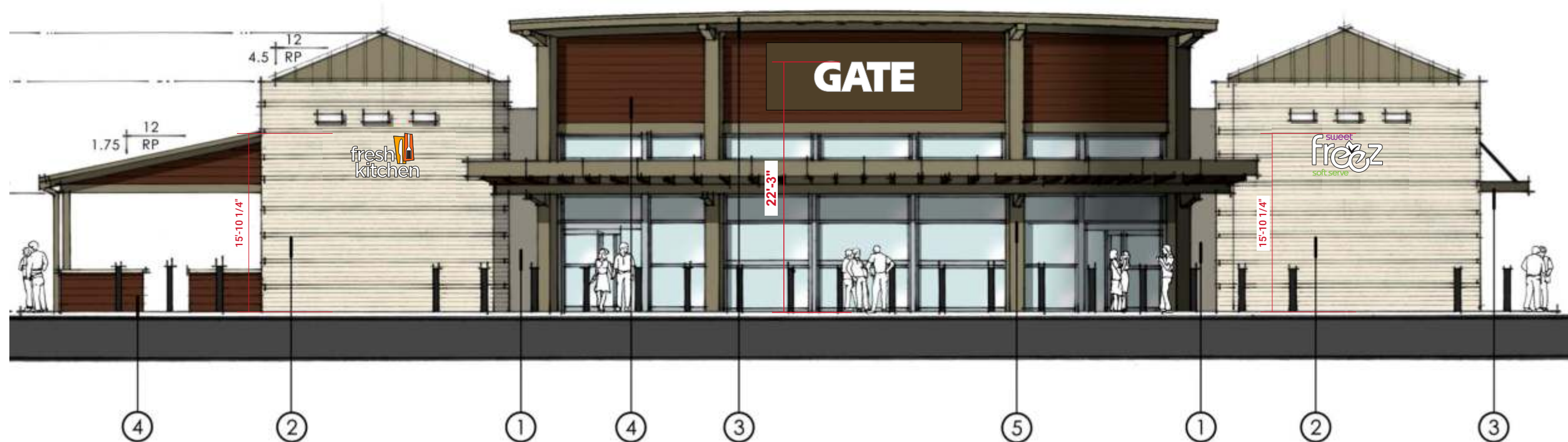
Date: _____

Customer Notes: _____



Complies with
UL 48
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THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



East Elevation - Exterior Signage
3/32" = 1'

OPTION 2



SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
|----------|------|--|----------|
| 03.10.22 | 00 | Original | bw |
| 05.31.22 | R1 | Update monument sign to max of 32.0 sqft | bw |
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| 02.27.23 | R4 | Update code check in each title block | BW |
| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|----------------|
| ALLOWED TOTAL | 24.0 SqFt Each |
| PROPOSED TOTAL | 24.0 SqFt Each |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

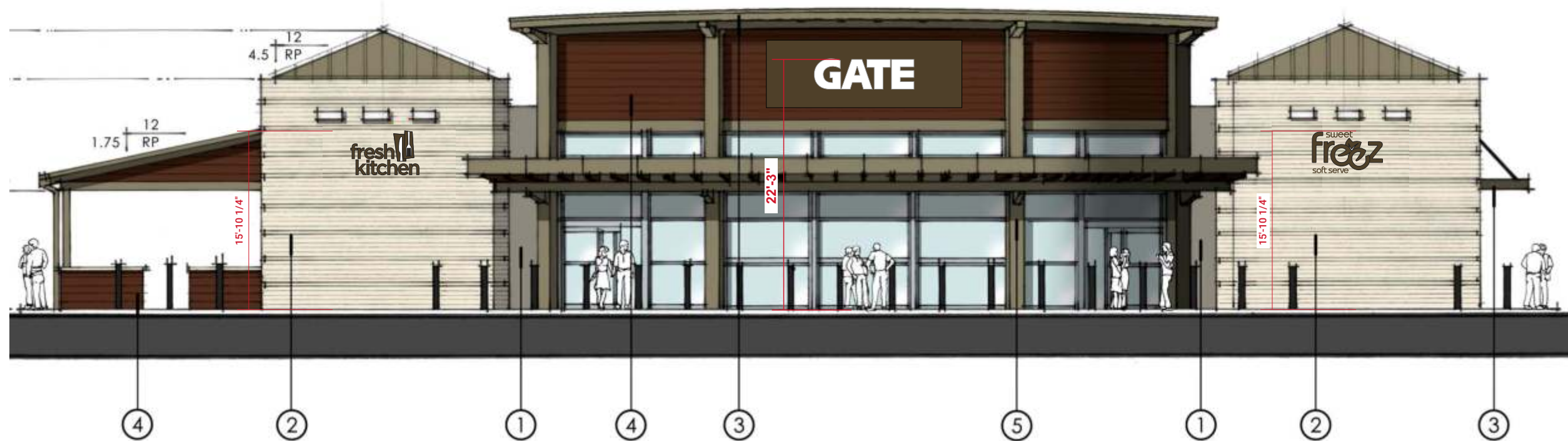
Date: _____

Customer Notes: _____



Complies with
UL 48
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THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020), THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIETY (AWS D1.1-15), THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14), THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



East Elevation - Exterior Signage
3/32" = 1'

OPTION 3



619 A1A N.,
Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
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| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|----------------|
| ALLOWED TOTAL | 24.0 SqFt Each |
| PROPOSED TOTAL | 24.0 SqFt Each |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

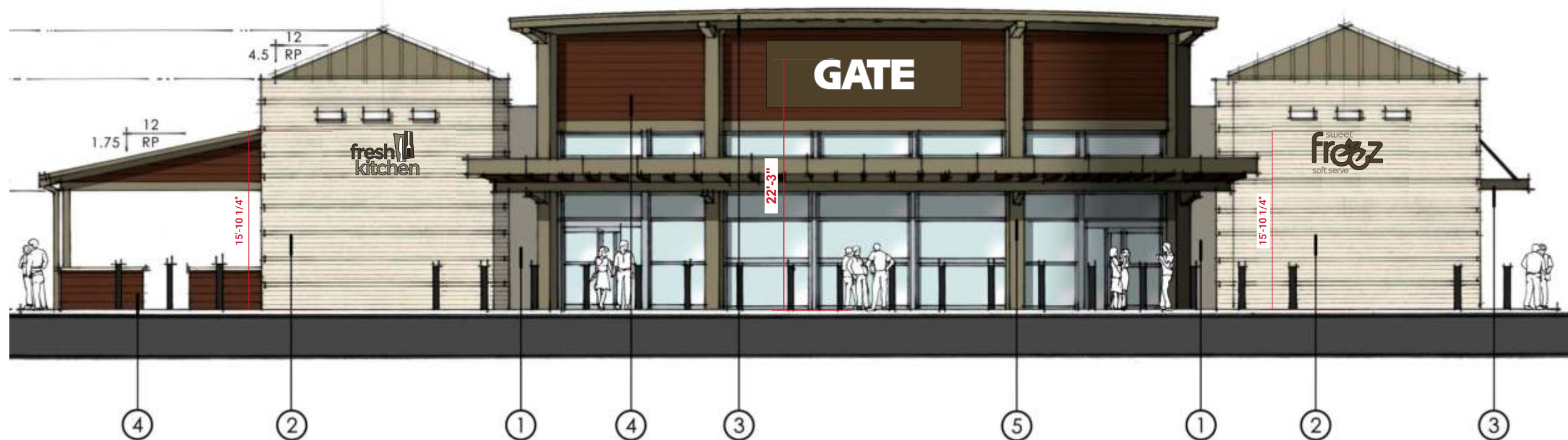
Date: _____

Customer Notes: _____



Complies with
UL 48
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East Elevation - Exterior Signage
3/32" = 1'

OPTION 4



SALES ASSOC: Mike Lev
PROJECT MGR: Ryan Richardson
DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F\Gate Petroleum\ART

| DATE | REV. | DESCRIPTION | INITIALS |
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| 02.28.23 | R5 | Update elevation panel size | BW |
| | | | |
| | | | |
| | | | |
| | | | |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|----------------|
| ALLOWED TOTAL | 24.0 SqFt Each |
| PROPOSED TOTAL | 24.0 SqFt Each |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

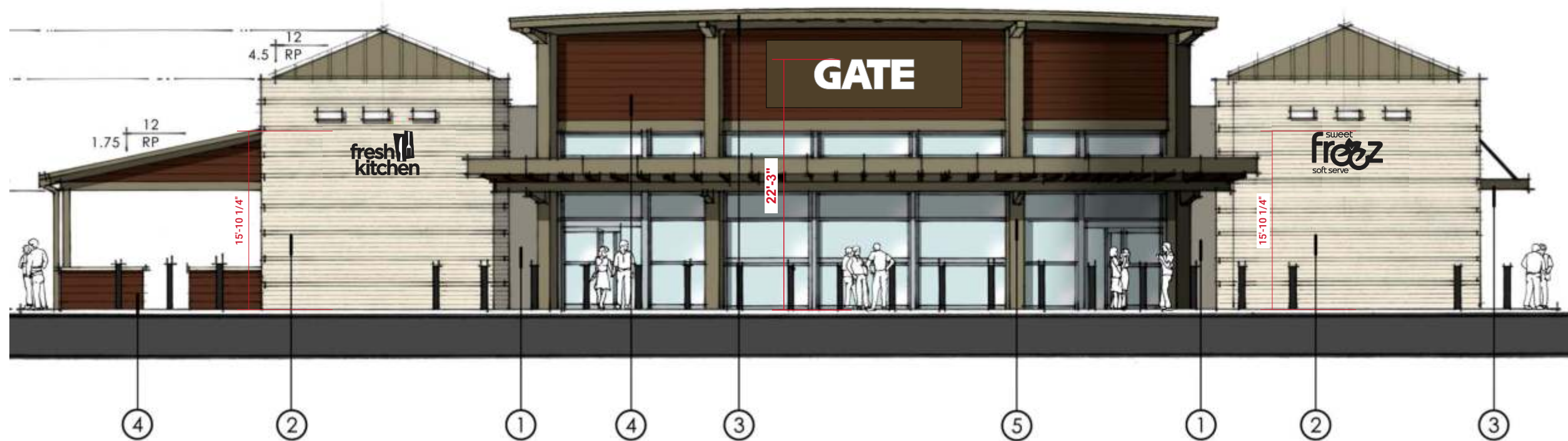
Date: _____

Customer Notes: _____



Complies with
UL 48
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East Elevation - Exterior Signage
3/32" = 1'

| | |
|---|-----------------------------|
| 1 | Monument Sign |
| 2 | GATE Remote Channel Letters |
| 3 | Fresh Kitchen Wall Sign |
| 4 | Sweet Freez Wall Sign |



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5300 Shad Road, Jacksonville, FL 32257
harbingersign.com 904.268.4681



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FILE: GATE_#1201_C-Store_R5.cdr
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| 02.28.23 | R5 | Update elevation panel size | BW |

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA
MAX 24 SQFT EACH

CALCULATIONS:

| | |
|----------------|----------------|
| ALLOWED TOTAL | 24.0 SqFt Each |
| PROPOSED TOTAL | 24.0 SqFt Each |

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature: _____

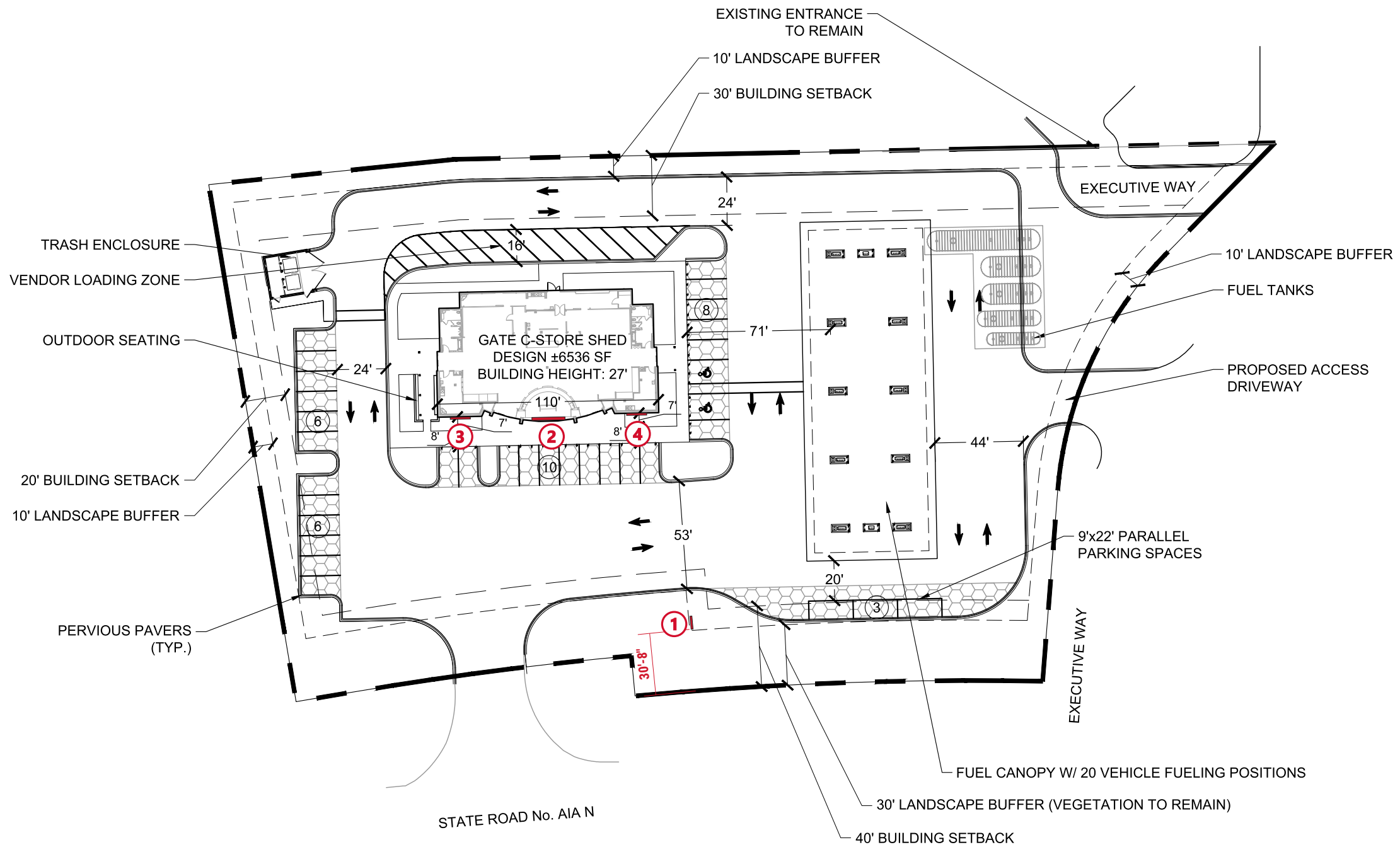
Date: _____

Customer Notes: _____



Complies with
UL 48
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Site Plan
1" = 60'-0"