

GROWTH MANAGEMENT DEPARTMENT STAFF REPORT

PONTE VEDRA OVERLAY DISTRICT

March 22, 2023 Public Meeting ARC 2022-05 Gate C-Store #1201 @ Ponte Vedra - Raze & Rebuild

To: Architectural Review Committee

Staff: Trevor Steven, Planner

Date: March 17, 2023

Applicant: Matt Melchiori, PE

Prosser Inc.

13901 Sutton Park Drive South, Ste 200

Jacksonville, FL 32224

Location: 619 A1A N **FLUM:** Commercial

Zoning: R-3

Applicable Standards: Ponte Vedra Zoning District Regulations, Sections VIII.Q.5.d, VIII.Q.5.e, and X.C.

Summary of Request: Applicant is requesting design approval of a new Convenience Store with associated fuel tanks, canopy, parking, and signage. The project includes the demolition of the existing Convenience Store and Bank. Staff notes that the use of Convenience Store is allowable by right within the R-3 Zoning District. There are no Variance requests within this project; this application is for the architectural design review of the proposed site. The ARC is charged with determining compliance with PVZDR Sections VIII.Q.5.d and VIII.Q.5.e for architectural design elements, per VIII.Q.6.a(3).

All application materials are attached to this Staff Report.

Staff Review

Planning Division: As mentioned above, the use of the property is consistent with allowable uses within the R-3 Zoning District. The proposed site meets all development standards for height limitations, building setbacks, impervious surface ratio, and parking requirements. Staff notes that the Applicant will need to include a parking table on future Commercial Plan submittals demonstrating parking requirements are met per the parking table found in PVZDR IX.C, for Automotive Filling Stations and Sales & Service Establishments.

Per PVZDR VIII.Q.5.e, flat roofs, or the appearance of flat roofs, shall not be permitted. Pitched roofs, or the appearance of pitched roofs are required. The proposed building has three roofs – the two on either side appear to be hip roofs, while the middle is a pitched roof. The PVZDR does not state a required roof pitch.

The proposed colors and materials of the project appear to be consistent with the standards set forth in PVZDR Section VIII.5.d.e. Applicant states they are meeting the requirements for the color palette being no more than three colors per building, excluding roof color.

Per PVZDR Section X.C, the total wall sign area for each building shall not exceed 24 square feet per face. Where a building is divided into units for several businesses, one wall sign as specified above is authorized for each such business. The Applicant is proposing multiple face signs for this project. The "Fresh Kitchen", "Sweet Freeze", and "GATE" wall signs are in compliance with the regulations as stated above. Additionally, the proposed monument sign has a total of 31.7 square ft sign face, which meets the requirement of 32 square ft maximum. It appears the applicant has provided multiple sign face color scheme options for the Board to review for compliance with the Overlay District design standards.

PVZDR Section VIII.Q.d – Architectural Design Standards

The pleasing and compatible relationship of architecture along Roads in the Overlay District is of important public concern. The architectural design of Structures and their materials and colors must be visually harmonious with the overall appearance, history and cultural heritage of Ponte Vedra, and also with natural Land forms and existing vegetation. Compatibility with existing adjacent Structures and other approved development plans must also be considered.

The intent of these standards is not to restrain diversity or innovative architecture, but to reduce incompatible and adverse impacts, and to insure an aesthetically pleasing environment. To accomplish this, the following standards shall apply to the review of proposed Buildings, renovations and related site improvements.

- 1. Proposed development shall be located and configured in a visually complementary manner with the existing terrain and vegetation of the parcel and surrounding parcels. Structures shall obstruct as little as reasonably practical scenic views from the main Road or from existing Structures and the natural environment. Structures shall not dominate, in an incompatible manner, any general development or adjacent Building which is substantially in compliance with this Ordinance. This may be accomplished by the use of architectural features and/or siting of proposed Structures to reduce the appearance of excessive and inappropriate height or mass of proposed Structures.
- 2. The proposed Building or Structure shall be of such design that is contributes to the image of the Ponte Vedra Coastal Corridor as a place of beauty, spaciousness and high quality.
- 3. The proposed Building or Structure shall not, in its exterior design and appearance, be of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance or value.
- 4. Where a single Building, or group of related Buildings contains more than one (1) store or business front, all Wall Signs shall be of similar style and shall be compatible and uniform in terms of size, color and any lighting. Any backlighting or appearance of lighting shall be white in color.
- 5. The color and materials of Signs shall be compatible with the architectural style, color and materials of the related commercial or multi-Family Building
- 6. New Ground Signs and alterations to existing Ground Signs requiring an ARC review shall be externally illuminated.

PVZDR Section VIII.Q.e – Design Elements and Materials

The following specific design criteria shall apply to development regulations under the conditions of the Overlay District.

- 1. Flat roof lines, or the appearance of flat roof lines are not permitted.
- 2. Work areas or storage doors and open bays shall not open toward, face or otherwise be visible from an Overlay District Delineated Roadway.
- 3. Architectural grade shingles, metal standing seam, tile or other non-reflective roof materials with similar natureblending texture and appearance shall be considered appropriate.
- 4. Stucco, tabby, wood siding or wood shingle siding, brick or other materials with similar texture and appearance shall be considered appropriate.

- 5. Exterior colors of paints and stains shall be Earth Tones with no more than three colors per Building, excluding roof color. Semi-transparent stains are recommended for application on natural wood finishes. All exterior color hues shall be subdued, consistent and compatible with those on existing adjacent properties as well as those throughout the Ponte Vedra Coastal Corridor.
- 6. Roof and exterior Wall surfaces, with the exception of glass doors and windows shall be non-reflective. Any glass coating shall not reflect outward and shall be limited in color to gray or green. No more than forty (40) percent of the façade facing an Overlay District Delineated Roadway shall be glass or reflective material.
- 7. The location and dimensions of Wall Signs shall maintain compatibility with architectural materials, finishes and features of the Building. Wall signs shall be directly mounted on the surface of the building and shall not be mounted on raceways or other such protrusions from the surface of the building.
- 8. The Architectural Review Committee may require utilization of particular landscape and plant species where a pattern of vegetation has been established or where such species are determined to be desirable.
- 9. Architectural lighting shall be recessed under roof overhangs or generated from a concealed light source or low level light fixtures. Site lighting shall be of low intensity, shall be of white light which does not distort colors and shall not spill over into adjoining properties, roadways or in any way interfere with the vision of oncoming motorists.

PVZDR Section X.C – Signs for R-3 Zoning District (provided in part)

- 2a. Shall be limited to one (1) Wall Sign upon the front elevation of the Building. When such Building abuts both on front and side Streets, one (1) Wall Sign may also be located upon the side Street elevation of the Building. The total Wall Sign area for each Building establishment shall not exceed twenty-four (24) square feet per face.
- b. Where a Building is divided into units for several businesses, one Wall Sign as specified above is authorized for each such business. In addition, each business located therein may have one double-faced hanging Sign under covered walkways with maximum dimensions two (2) feet vertical by four (4) feet horizontal.
- e. One (1) Ground Sign of the following maximum sizes, in addition to Wall Signs, may be installed when used in connection with a business conducted on the premises, and shall be on-site. Said Sign may be double-faced and shall not create a traffic hazard or endanger the public safety.
 - (1) For uses occupying five (5) acres or less, the total Ground Sign Face Area shall not exceed thirty-two (32) square feet per Sign face. For uses occupying more than two (2) acres, one such Sign is authorized for each Street Frontage.

Staff review shows there are no open comments on this application. A Pre-application Meeting was not held with the Planning Division. Attached for consideration are:

Application
Elevations
Site Plan
Landscape Plan
Photometric Plan
Owners Authorization
Availability Letter
Signage Drawings

CORRESPONDENCE

Staff has not received any phone calls or letters regarding the proposal as of the writing of this Staff Report.

SUGGESTED ACTION TO APPROVE

The Design Review Board may consider a motion to approve ARC 2022-05 Gate C-Store #1201 @ Ponte Vedra - Raze & Rebuild, as described within the application, provided:

1. The request complies with the Ponte Vedra Zoning District Regulations relating to design standards, specifically Sections VIII.Q.5.d, VIII.Q.5.e, and X.C. and is consistent with the intent and purpose of the Ponte Vedra Zoning and Overlay Regulations.

SUGGESTED ACTION TO DENY

The Design Review Board may consider a motion to deny ARC 2022-05 Gate C-Store #1201 @ Ponte Vedra - Raze & Rebuild, provided:

1. The request does not comply with the regulations set forth in the Ponte Vedra Zoning Regulations.



Application for Overlay District Review

Growth Management Department Planning and Zoning Section

4040 Lewis Speedway, St. Augustine, FL 32084

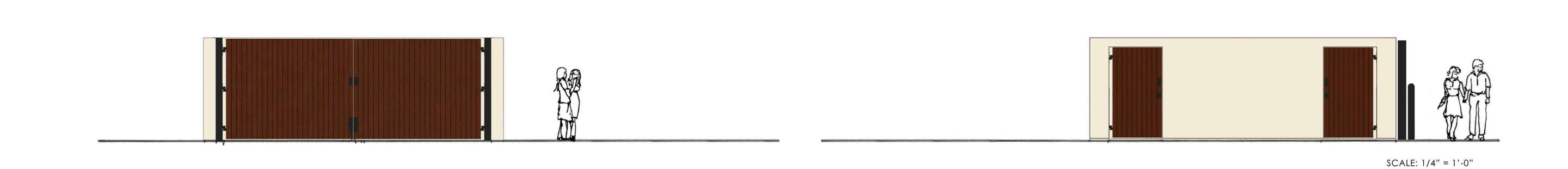
Phone: 904.209.0675; Fax: 904.209-0576

Date 02/24/2	2022	Overlay Dist	trict Ponte V	'edra		Property II	O No (Strap)	061519-0150 <u>061519-0180</u>	,
Applicant	Gate Petroleum (Company			Phone	e Number	904-448-2	945	
Address	PO Box 23627				Fax Nı	umber			
City	Jacksonville	State FL	Zip Code	32241-3627	E-mail	mmelchi	ori@prosserii	nc.com	
Project Name	Gate C-Store #1	201 @ Ponte Ve	edra - Raze &	Rebuild					
Project Addre	ess & Location 61	9 A1A N, Ponte	Vedra Beach	ı, FL 32082					
Type of Revie Check all that	, \	mercial Use 🗌	Multi-family	Use Other:	:				
The Project In Check all that	apply	ed Sign Plan	•	n existing Buildin Walls 🔀 Parkin		tterior Repa	ninting 🔀 ndscaping / I	Signage (In Buffers	dividual)
	Describe Project a	nd work propo	sed to be dor	ne (Provide addi	tional inf	ormation b	v attachment	t as needed)
I HEREBY CER	TIFY THAT ALL INF			pplication:					
Signed By									
Printed or typ		t Melchiori, P.E.			P				
	mation of person t umber 904-739-36		Number	e if different thai			iori@prosseri	nc com	
	ddress 13901 Sutt)	Name		· · · · · · · · · · · · · · · · · · ·		
City	Jacksonville	State FL		e 32224]				
Please notify	the Planning and 2 you have any ques		 at 904.209.06	 675 if you need a] any specia	al assistanc	e or accomm	odations to	attend the
	y applications curr the PUD/PRD:	rently under rev	riew or recen	tly approved wh	ich may a	assist in the	e review of thi	ís applicatic	n including





REAR ELEVATION

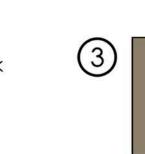


MATERIAL AND COLOR PALETTE LEGEND

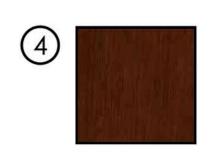


GATE PETROLEUM



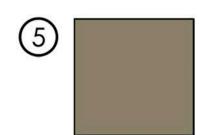


Metal Roof: Medium Bronze (Typical) Petersen Aluminum Medium Bronze (Corrosive Environments)

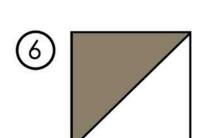


Siding: Prodema Deep Brown

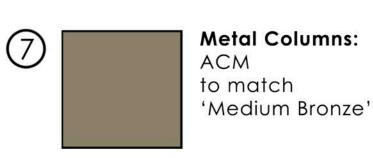
DUMPSTER ENCLOSURE ELEVATIONS



Exposed Steel: Electrostatic Paint by Accessa 'Seal Brown' by Manufacturer to match Tiger Drylac 38/60014 'Medium Bronze'



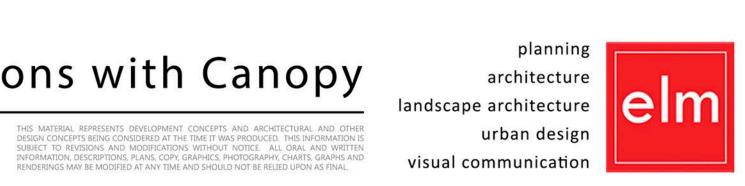
ACM by 3M (Manufacturer) Top Fascia 'Olive' Bottom Fascia 'White'



GATE ALWAYS FRESH MARKET at A1A at PONTE VEDRA BEACH

Schematic Elevations with Canopy

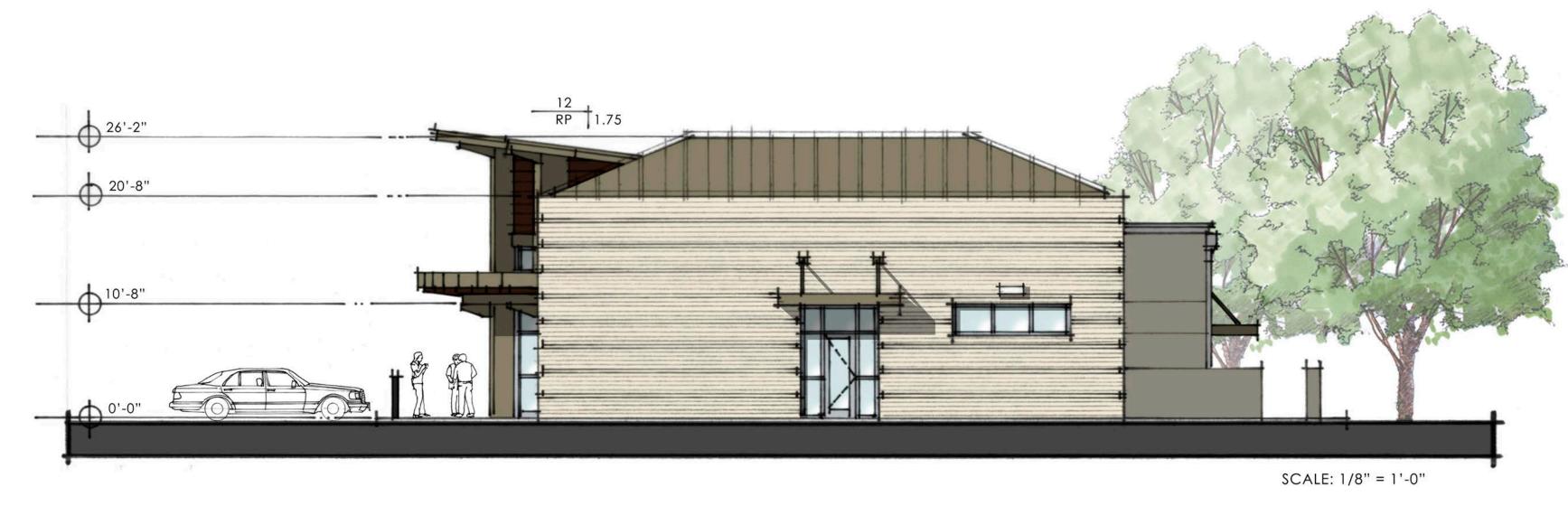
SCALE: AS NOTED



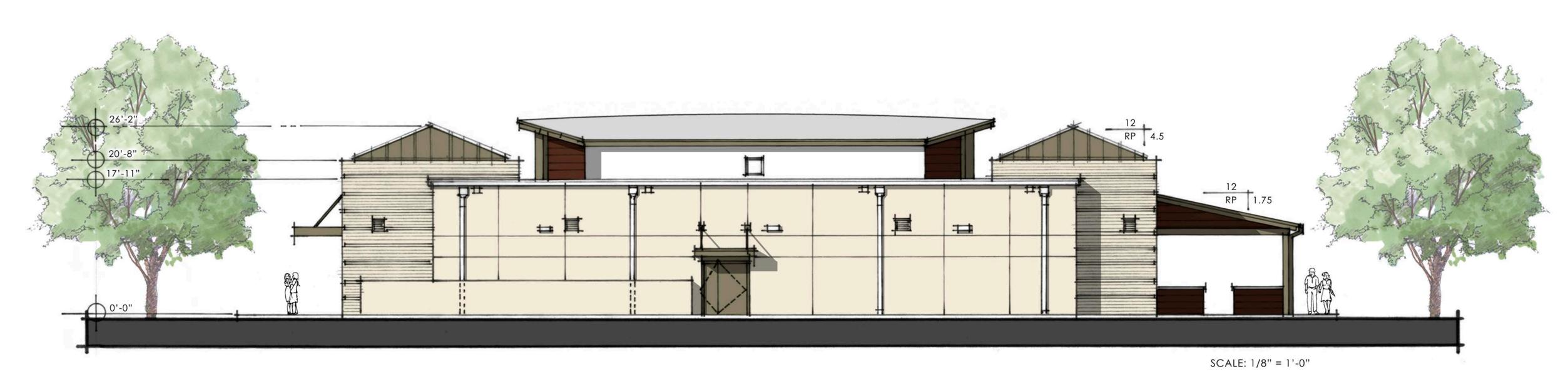


FRONT ELEVATION





SIDE ELEVATION SIDE ELEVATION



REAR ELEVATION

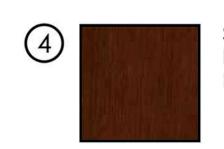
MATERIAL AND COLOR PALETTE LEGEND







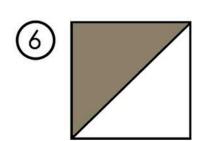
Metal Roof: Medium Bronze (Typical) Petersen Aluminum Medium Bronze (Corrosive Environments)



Siding: Prodema Deep Brown



Exposed Steel: Electrostatic Paint by Accessa 'Seal Brown' by Manufacturer to match Tiger Drylac 38/60014 'Medium Bronze'



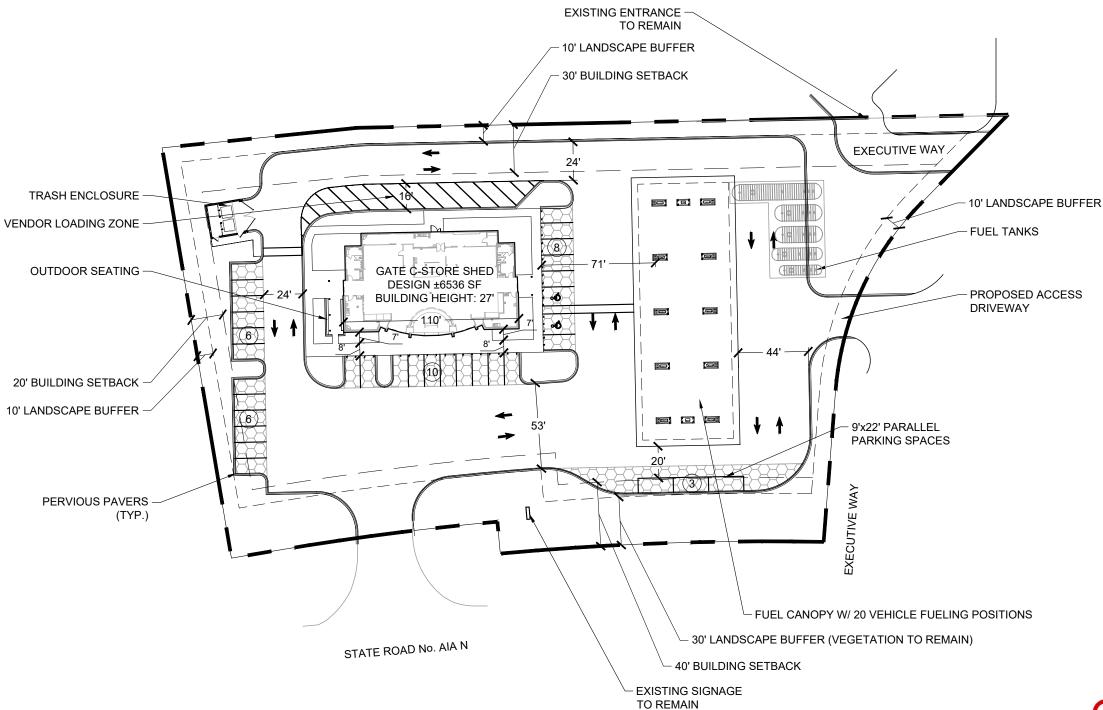
ACM by 3M (Manufacturer) Top Fascia 'Olive' Bottom Fascia 'White'



GATE ALWAYS FRESH MARKET #1201 at A1A at PONTE VEDRA

Schematic Elevations





ADDRESS: 619 A1A N

PONTE VEDRA BEACH, FL 32082

RE: 061519-0150 USE: **GAS STATION**

NUMBER OF BUILDINGS:

ZONING: R-3

LANDUSE: COMMERCIAL

PHASES:

PROPOSED BLDG. HEIGHT 27' 35' MAX. BLDG. HEIGHT:

WETLANDS: NA FEMA FLOOD ZONE: Χ

SETBACKS:

	SETBACK	LANDSCAPE BUFFER
FRONT	40	30
SIDE	20	10
REAR	30	10

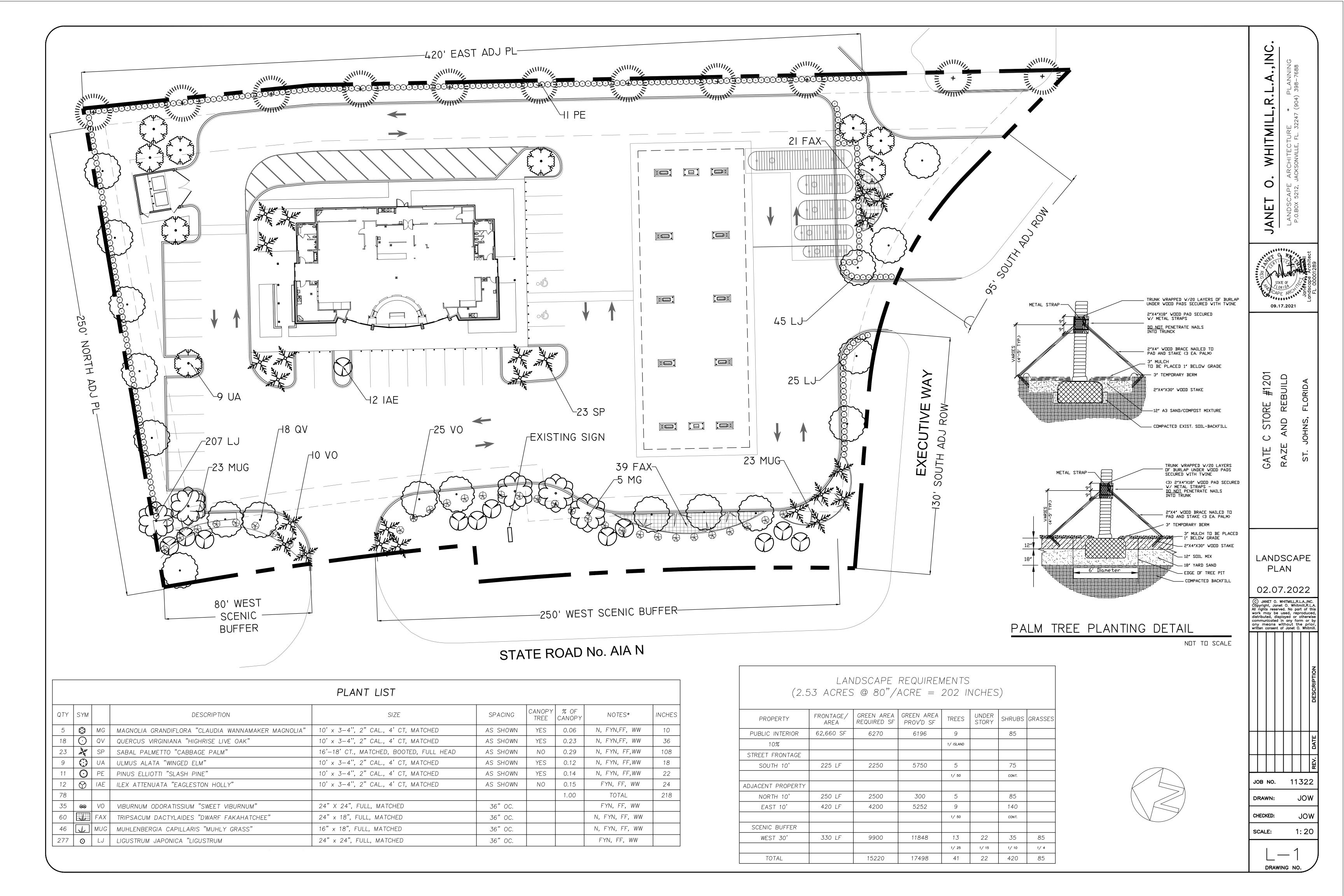
LOT DATA:		
	TOTAL (Ac)	TOTAL (%)
LOT AREA	2.53 Ac	100%
DEVELOPABLE AREA	2.53 Ac	100%
EXIST. IMPERVIOUS AREA	1.55 Ac	61%
PROP. IMPERVIOUS AREA*	1.65 Ac	65%
MAX. IMPERVIOUS AREA	1.65 Ac	65%

*INCLUDES REDUCTION FOR PERVIOUS PAVERS



Gate C-Store #1201
Raze and Rebuild
September 22nd, 2022

Creative Visionaries. Engineering Minds®



				PLANT LIST				
QTY	SYM		DESCRIPTION	SIZE	SPACING	CANOPY % OF TREE CANOPY	NOTES*	INCHES
5	S	MG	MAGNOLIA GRANDIFLORA "CLAUDIA WANNAMAKER MAGNOLIA"	10' x 3-4", 2" CAL., 4' CT, MATCHED	AS SHOWN	YES 0.06	N, FYN,FF, WW	10
18	0	QV	QUERCUS VIRGINIANA "HIGHRISE LIVE OAK"	10' x 3-4", 2" CAL., 4' CT, MATCHED	AS SHOWN	YES 0.23	N, FYN,FF, WW	36
23	A MARIE	SP	SABAL PALMETTO "CABBAGE PALM"	16'-18' CT., MATCHED, BOOTED, FULL HEAD	AS SHOWN	NO 0.29	N, FYN, FF,WW	108
9	0	UA	ULMUS ALATA "WINGED ELM"	10' x 3-4", 2" CAL., 4' CT, MATCHED	AS SHOWN	YES 0.12	N, FYN, FF,WW	18
11		PE	PINUS ELLIOTTI "SLASH PINE"	10' x 3-4", 2" CAL., 4' CT, MATCHED	AS SHOWN	YES 0.14	N, FYN, FF,WW	22
12	8	IAE	ILEX ATTENUATA "EAGLESTON HOLLY"	10' x 3-4", 2" CAL., 4' CT, MATCHED	AS SHOWN	NO 0.15	FYN, FF, WW	24
78						1.00	TOTAL	218
35	8 €	VO	VIBURNUM ODORATISSIUM "SWEET VIBURNUM"	24" X 24", FULL, MATCHED	36" OC.		FYN, FF, WW	
60		FAX	TRIPSACUM DACTYLAIDES "DWARF FAKAHATCHEE"	24" x 18", FULL, MATCHED	36" OC.		N, FYN, FF, WW	
46		MUG	MUHLENBERGIA CAPILLARIS "MUHLY GRASS"	16" x 18", FULL, MATCHED	36" OC.		N, FYN, FF, WW	
277	0	LJ	LIGUSTRUM JAPONICA "LIGUSTRUM	24" x 24", FULL, MATCHED	36" OC.		FYN, FF, WW	

SOD PASPALUM NOTATUM "ARGENTINE BAHIA" - TSA FREE (WEED FREE)

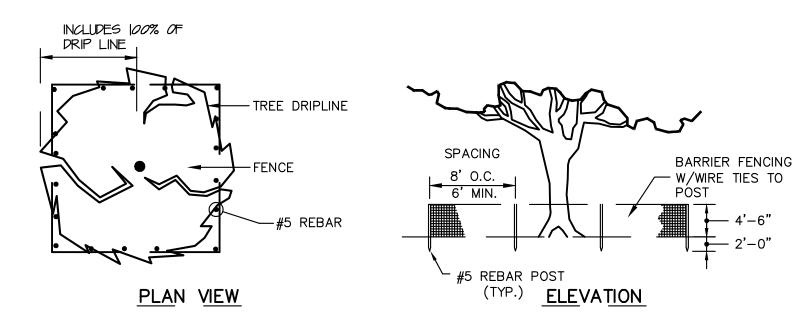
SOD ALL 4:1 SLOPES OR GREATER, 10' FROM EOP AND ALL DISTURBED ROW. COORDINATE FURTHER GRASSING WITH GENERAL CONTRACTOR SELECTED SOD SPECIES MEETS ALL CURRENT LANDSCAPE AND IRRIGATION REQUIREMENTS. ANY VARIABLE WILL REQUIRE GOVERNMENT APPROVAL

N-NATIVE, FYN- FLORIDA YARDS & NEIGHBORHOODS 2006, FF- FLORIDA FRIENDLY, WW- WATER WISE 2008 OHE - JEA OVERHEAD ELECTRIC (ACCEPTABLE PLANT LIST)

NOTE: TREE REQUIREMENTS - 70% CANOPY AND MAXIMUM 50% ONE SPECIES

NO PROTECTED TREES REMOVED.

(2.5		NDSCAPE 6 @ 80"/.	,				
PROPERTY	FRONTAGE/ AREA	GREEN AREA REQUIRED SF	GREEN AREA PROV'D SF	TREES	UNDER STORY	SHRUBS	GRASSES
PUBLIC INTERIOR	62,660 SF	6270	6196	9		85	
10%				1/ ISLAND			
STREET FRONTAGE							
SOUTH 10'	225 LF	2250	5750	5		75	
				1/ 50		CONT.	
ADJACENT PROPERTY							
NORTH 10'	250 LF	2500	300	5		85	
EAST 10'	420 LF	4200	5252	9		140	
				1/ 50		CONT.	
SCENIC BUFFER							
WEST 30'	330 LF	9900	11848	13	22	35	85
				1/ 25	1/ 15	1/ 10	1/4
TOTAL		15220	17498	41	22	420	85



TREE PROTECTION FENCING DETAIL NOT TO SCALE

THIS BARRICADE IS TO BE IN PLACE PRIOR TO LAND CLEARING OR CONSTRUCTION ACTIVITIES.

PLANTING NOTES

- 1. The LANDSCAPE CONTRACTOR is responsible for verifying project site conditions and all quantities indicated on these plans before commencing any work. LANDSCAPE CONTRACTOR shall notify the LANDSCAPE ARCHITECT if soil conditions are poorly drained to determine is substitution of materials is necessary.
- 2. Soil tests shall be provided to evaluate various areas of the landscape (especially the parking lot islands) for pH, available nutrients, phosphorus content, bulk density, etc. This will serve to ensure proper plant selection according to prevailing soil conditions, what lime/sulphur applications are needed (if any) and long-term survival of plant material.
- 3. All plant material shall be Florida Grade No. 1 or better nursery grown in accordance to Florida Grades and Standards handbook.
- 4. All plant material shall be container grown or B&B. B&B materials shall be "hardened off" root pruned during field production and shall be dug at least several weeks before planting is performed.
- 5. Plants shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall be free of disease, insects, eggs or larvae and shall have healthy, well developed root systems. They shall be free from physical damage or adverse conditions that would prevent thriving growth.
- 6. All plants shall conform to the varieties indicated in the plant list.
- 7. Substitution of plant materials will not be permitted unless authorized in writing by the LANDSCAPE ARCHITECT. If proof is submitted that any plant specified in not obtainable, a proposal will be considered for use of the nearest equivalent size or variety with corresponding adjustment of contract price.
- 8. Plant material locations and bed outlines shall be staked or flagged on site by the CONTRACTOR and shall be adjusted if required to fit actual as—built conditions on site and approved by the owner or owners representative.
- 9. All proposed tree planting locations shall be staked or flagged before installation by the LANDSCAPE ARCHITECT and approved by the owner or owners representative.
- 10. The CONTRACTOR shall estimate the depth of the planting hole by measuring the distance between the point where the topmost root emerges from the trunk and the bottom of the root ball. The planting hole shall be slightly shallower than this distance. No more than 2 to 3 inches of the root ball needs to be above the soil unless the site is poorly drained. Poorly drained soil requires planting depths even or higher. Planting holes dug too deep are required to have soil added to the bottom and loosely compacted. If planting holes should fill with water as it is dug, position the bottom of the root ball above the water and mound soil to cover the sides of the ball. The hole shall be at least 1.5 times the diameter of the root ball. Wider holes shall be used for compacted soil and wet sites.
- 11. The soil shall be freshly tilled and large clods of soil broken up. The growing medium shall be settled and firm at the time of herbicide application. Herbicides may be mechanically incorporated by mixing into top layer at a depth of 1-3 inches.

- 12. All backfill around plant material shall be worked firmly by slicing a shovel down into the backfill 20 to 30 times around the tree as you add backfill soil. Large clumps shall be broken up. Do not pack the backfill. Only step firmly on backfill soil to stabilize the root ball. The top of the root ball shall remain 1 inch (small trees) to 3 inches (large trees) or approximately 10% above grade. Do not over-pack the loosened soil when wet. Add 10 to 20 gallons of water to the rootball and backfill. Fill in any holes or depressions with backfill soil. Do not attempt to eliminate air pockets by compaction. Water infiltrating the backfill soil will eliminate large air pockets.
- 13. LANDSCAPE CONTRACTOR shall bear final responsibility for proper surface drainage of planted areas. Any discrepancy in the drawings, obstruction on the site, or prior to work done by any other party, which the CONTRACTOR feels precludes establishing proper drainage shall be brought to the attention of the LANDSCAPE ARCHITECT for correction or relief of said responsibility.
- 14. When planting on slopes, set tree so top—most root in the ball on the uphill side is even with the soil. The side of the root ball on the downhill side will be well above the surrounding soil. Soil shall cover the sides of the root ball. Mulch shall cover the edge of the rootball and not
- 15. Planting beds shall be cut or edged to form a uniform clean line between beds and lawn areas.
- 16. After all plant material in a plant bed area has been installed and approved, the areas between plants shall be raked to an even grade to conform to premulching finish grades. All planting beds and plant saucers shall then be uniformly covered with a minimum depth of three (3) inches of #2 grade or better of mini pine bark nuggets with a maximum diameter
- of two (2) inches. Contractor to provide a sample prior to installation. 17. Before fertilization a soil and/or foliar nutrient analysis shall be performed to determine whether phosphorus fertilizer with 30% slow release nitrogen will be required. All planting bed areas shall be fertilized approximately 4-6 weeks after installation.
- 18. Plant material soil shall be "native" soil that was removed from the planting hole. If soil is badly contaminated, good quality soil shall be used as replacement after contaminated soil has been completely removed from planting area.
- 19. After sodding is completed, the entire side areas shall be watered by hand or irrigation system each day for two weeks. After approximately one month of installation, sodded areas shall then be top dressed with a 15-0-15 or impacts. Shrub risers shall be minimum 2.5' from eop and commercial slow—release fertilizer at a rate of 6.67 pounds per 1,000 square all heads minimum 2' from buildings. feet of area in an evenly broad-case pattern.
- 20. The LANDSCAPE CONTRACTOR is responsible for all fine grading preparation for planting. Apply pre-emergent to all beds prior to planting.
- 21. Rough grades will be established by the owners general contractor at approximately 3 inches below curbs, sidewalks, hardscape amenities, mowing strips and abutments. All materials shall be a minumim 30" from buildings or walks. 22. CONTRACTOR shall coordinate construction of planting areas

with installation of irrigation system.

23. Where seeding may be required on the plans, germination rate shall be the maximum percentage required for the variety specified at the rate of application specified.

- 24. Sod areas shall be SPECIFIED Grass. Grass for sodding shall be freshly cut in squares one foot wide by two feet long. Sod shall be healthy, free of insects and weeds, in naturally flourishing conditions. Dry, brown and unfresh sod will be rejected. 25. Sod shall be laid end to end and side to side in a staggered line to form a uniform layer. All uneven edges shall be squarely trimmed to allow close and firm fitting of each piece. 26. After sodding is completed, the entire sod areas shall be watered by hand or irrigation system each day for two weeks. Sodded areas shall then be top dressed with a commercial fertilizer as directed herein at the rate of 12 pounds per 1000 square feet of
 - area in an evenly broad case pattern. 27. The LANDSCAPE CONTRACTOR is responsible for fully maintaining all plant material on site during and before planting, until the work in accepted by the LANDSCAPE ARCHITECT and/or owner.

NOTE: ALL TREES SHALL HAVE GATORBAGS

INSTALLED AT TIME OF PLANTING

48 HOURS BEFORE YOU DIG CALL SUNSHINE

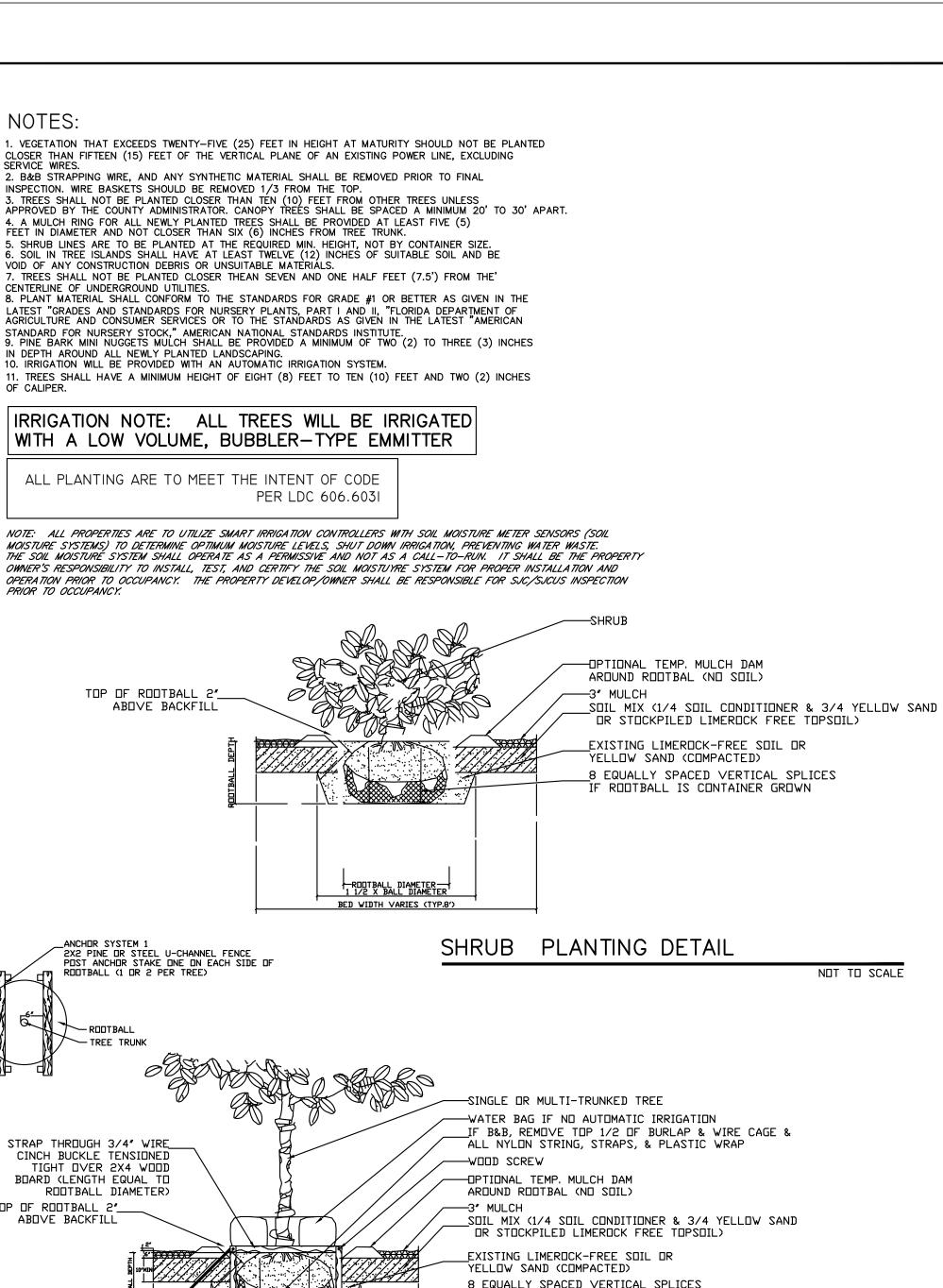
ANCHOR SYSTEM 2 3/4' WIDE POLYESTER STRAP WITH TOGGLE ANCHOR

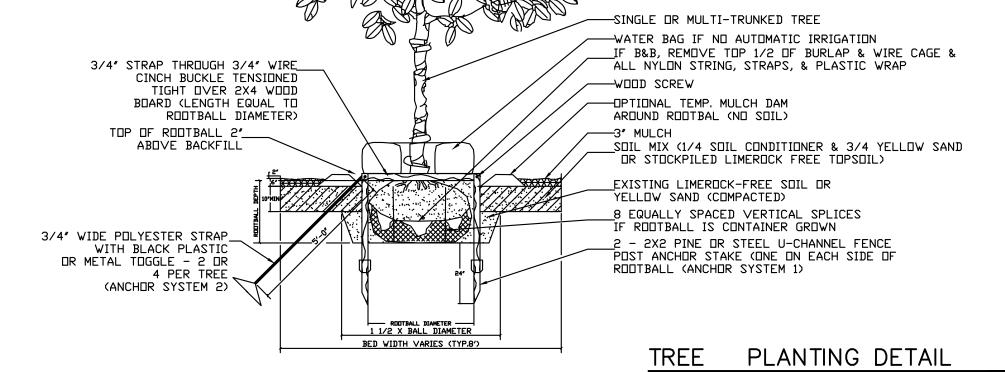
TENSION STRAPPING OVER 2X4 BOARD (1 OR 2 PER TREE)

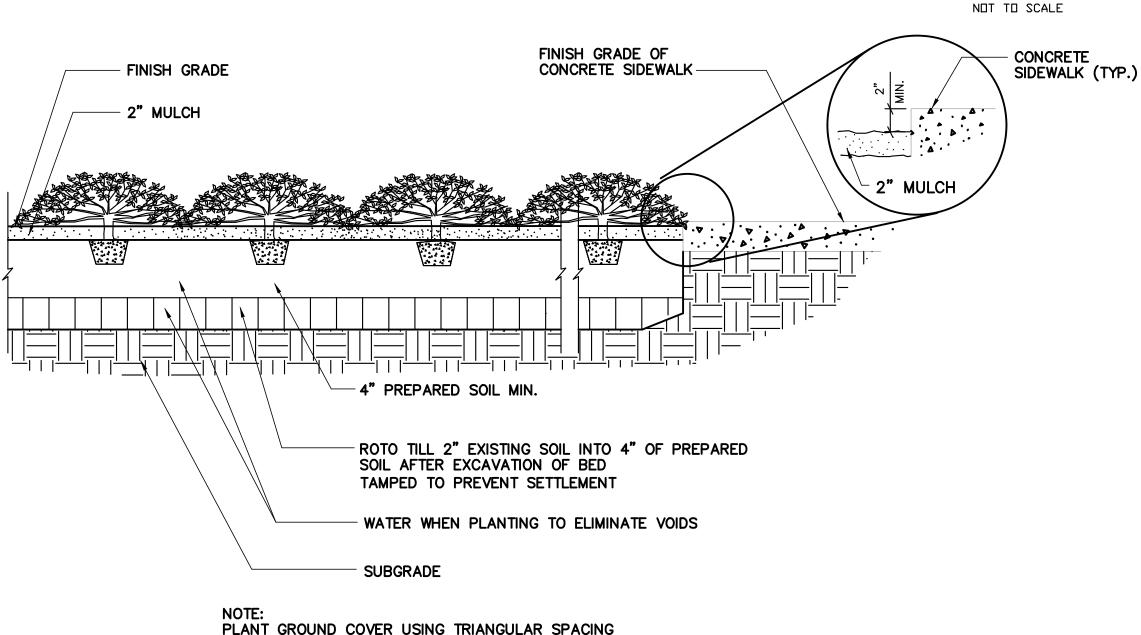
ROOTBAL

IT'S THE LAW IN FLORIDA

- The LANDSCAPE CONTRACTOR is responsible for removing tree stakes after tree is established.
- 28. All plants shall be guaranteed by the LANDSCAPE CONTRACTOR to be healthy plants and in flourishing condition of active growth for ninety (90) days from final inspection and acceptance. All trees shall be guaranteed an additional one year from final inspection and acceptance.
- 29. The LANDSCAPE ARCHITECT, owner or owners representative shall have the right to reject any and all work which in his opinion does not meet with the requirements of the specifications at any stage of the project operation
- 30. In general, the work shall proceed as rapidly as the site becomes available. Keep all areas of work clean, neat, and orderly
- at all times. 31. There will be special care to all existing trees to be retained on site to avoid construction damage.
- 32. An automatic irrigation system is to be provided and a shop drawing of the layout and design must be submitted to the governmental agency, for review
- and approval, prior to installation 33. Irrigation system shall be fully automatic, providing 100% coverage to all planting areas, with all pop up heads in lawn area.
- 34. Irrigation station shall be set where there will be no mixing of shrub and lawn areas, fixed spray heads with gear driven heads
- 35. A double check backflow prevention (or approved equal); equal to a DCA-100; to be mounted in a rectangular valve box (12"x 10") on the service side of the meter and immediately adjacent to the
- water meter. 36. After the landscape plan is approved by the governmental agency any subsequent changes must be resubmitted for review and approval.
- 37. Shade trees shall be planted minimum 4' from EOP and 15' from OHE. 38. Do not plant trees below Normal Water Line (NWL) see civil drawings. Sod all 4:1 or greater slopes. Seed all other disturbed areas.



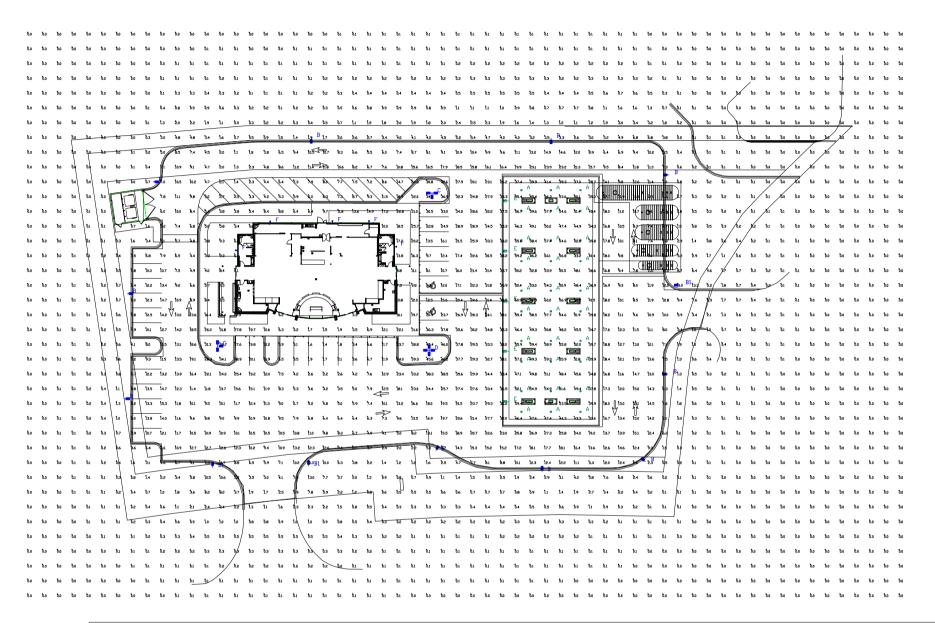




GROUND COVER PLANTING DETAIL

0 AN 201 #1 RE STO \triangleleft LANDSCAPE DETAILS PLAN 02.07.2022 © JANET O. WHITMILL,R.L.A.,INC. Copyright, Janet O. Whitmill,R.L.A. All rights reserved. No part of this work may be used, reproduced, distributed, displayed or otherwise communicated in any form or by any means without the prior written consent of Janet O. Whitmill 11322 JOB NO. JOW DRAWN: JOW CHECKED: 1:20 SCALE: $_{-}$ \angle DRAWING NO

三









Luminaire Sche	dule								
Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	30	A	SINGLE	CRUS-SC-HO-50 MTD @ 15'	1.000	1.000	1.000	19071	125
	10	В	SINGLE	SLM-LED-36L-SIL-FT-50-70CRI-IL-SINGLE-20'-6" MT HGT	1.000	1.000	1.000	23720	286
-	3	B1	SINGLE	SLM-LED-36L-SIL-FT-50-70CRI	1.000	1.000	1.000	37808	286
-	2	С	3 @ 90 DEGREE	SLM-LED-36L-SIL-FT-50-70CRI-T90-20'-6" MT HGT	1.000	1.000	1.000	113424	858
-	1	D	4 @ 90 DEGREES	SLM-LED-36L-SIL-FT-50-70CRI-Q90-20'-6" MT HGT	1.000	1.000	1.000	151232	1144
	5	E	SINGLE	SLM-LED-30L-SIL-FT-50-70CRI MTD ON CANOPY @ 18'	1.000	1.000	1.000	31922	232
4	5	F	SINGLE	XVM-3-LED-06L-50 MTD @ 10'	1.000	1.000	1.000	6011	44.7
Colculation Sum	201011				-				

~	J	Г		STINGLE			X W M – 3 – L	.ED-00F-30	MID & 10			
Calculation Summ	ary											
Label			CalcType		Units	Avg		Max	Min	Avg/Min	Max/Min	1
ALL CALC POINTS	:		Illuminance		Fc	6.29)	60.9	0.0	N.A.	N.A.	1
CANDPY			Illuminance		Fc	48.8	8	60.9	28.7	1.70	2.12]
INSIDE CURB			Illuminance		Fc	13.73	3	38.5	1.1	12.48	35.00]

PHOTOMETRIC EVALUATION NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer analyon architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved nethods. Actual performance of any nanufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include abstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nonenclature noted does not include nounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.





Owner's Authorization Form

Prosser	Inc.	is hereby authorized TO ACT ON BEHALF OF
Gate Petro	oleum	the owners(s) of those lands described within
	St. Johns County,	attached deed or other such proof of ownership as Florida, for an application related to a development Other
By signing, I affirm that all legal owners	s(s), as listed on the Re	corded Warranty Deed on file with the St. Johns County Clerk of Courts
or otherwise stated (), have been n	otified of the
(Identify what docu	ment)	
I further understand incomplete or fals development actifity.	e information provide	d on this form may lead to revocation of permits, termination of
Signature of Owner	Mulh	
Print Name	Mizhae	2 L JUNK
Signature of Owner		
Print Name		·
Telephone Number		
STATE OF FLORIDA COUNTY OF DUVAL		
The foregoing instrument was acknown day of JANUAR	wledged before me	by means of physical presence or □ online notarization, this 22 by MICHAEL L. JUNIC as
VICE PRESIDENT		ROLEUM COMPANY.
Personally KnownOR Produced Type of Identification Produced Revised August 30, 2011	Notary Pu Name: My Comm My Comm	blio, State of Florida blission Expires: hission Number is: Communication of the content of



Availability Letter

Bryce Crenshaw 2/11/2022

Prosser, Inc 13901 Sutton Park Drive South Suite 200 Jacksonville, Florida 32224

Project Name: Gate A1A Raze and Rebuild

Availability #: 2022-0481

Attn: Bryce Crenshaw

Thank you for your inquiry regarding the availability of Electric, Reclaim, Sewer, Water. The above referenced number in this letter will be the number JEA uses to track your project. Please reference this number when making inquiries and submitting related documents. This availability letter will expire two years from the date above.

Point of Connection:

A summary of connection points for requested services are identified on the following page. JEA recognizes Connection Point #1 as the primary point of connection (POC); however, a secondary, conditional POC will be listed if available. JEA assumes no responsibility for the inaccuracy of any service connection portrayed on a JEA utility system record drawing. JEA requires field verification in the form of a Level A SUE of all POCs prior to any plan approval to ensure connection availability. Please note the Special Conditions stated in each section contain pertinent information and additional requirements as well as further instructions. In the event the point of connection is located within a JEA easement located on private property not owned by applicant, applicant shall be responsible to obtain a temporary construction easement (TCE) from the third party owner providing applicant with the right to construct the utilities. **The TCE will need to be provided by JEA prior to setting up a preconstruction meeting.**

Main Extensions and/or Offsite Improvements:

For all utilities located in the public Right of Way or JEA easement, the new WS&R utilities shall be dedicated to JEA upon completion and final inspection, unless otherwise noted. It shall be the applicant's responsibility to engage the services of a professional engineer, licensed in the State of Florida. All WS&R construction shall conform to current JEA Water, Sewer & Reuse Design Guidelines which may be found at:

https://www.jea.com/engineering_and_construction/water_and_wastewater_development/reference_materials/

Reservation of Capacity:

This availability response does not represent JEA's commitment for or reservation of WS&R capacity. In accordance with JEA's policies and procedures, commitment to serve is made only upon JEA's approval of your application for service and receipt of your payment of all applicable fees.

A detailed overview of the process can be found at JEA.com. This document along with other important forms and submittal processes can be found at

https://www.jea.com/water and wastewater development

Sincerely,

Roderick Jackson jackrc@jea.com (904) 386-1871

Availability Number: 2022-0481

Request Received On: 2/1/2022

Availability Response: 2/11/2022

Prepared by: Roderick Jackson

Expiration Date: 02/11/2024

Project Information

Name: Gate A1A Raze and Rebuild

Address: 619 A1A N, Jacksonville, FL 32082

County: St. Johns County

Type: Electric, Reclaim, Sewer, Water

Requested Flow: 1625

Parcel Number: 061519 0150, 061519 0180

Location: Includes both existing Gate Station and BB&T along A1A

Current Gate C-Store and neighboring BB&T will be demolished to allow for building of a new Description:

Gate C-Store.

Potable Water Connection

Water Treatment Grid:

Ex 1.5-inch service can be used if in good condition and not in conflict with proposed Connection Point #1:

Connection Point #2: Ex 8-inch water main within the A1A N ROW

Connection point not reviewed for site fire protection requirements. Private fire protection

Water Special Conditions: analysis is required. For the estimate cost of a new connection request a special estimate under step 2 after obtaining approved plans through JEA development review via step 2 in Sages.

Sewer Connection

Sewer Grid:

Connection Point #1: Ex service can be used if in good condition and not in conflict with proposed construction.

Connection Point #2:

Ex 10-inch gravity sewer within and easement at the rear of the property // Ex 8-inch and 10-

inch sewer force main within the A1A N ROW

Connection to the proposed POC is contingent upon inspection and acceptance of the mains by

JEA. If gravity flow cannot be achieved, then Connection to the JEA-owned sewer system for your project will require the design and construction of an onsite, privately owned and maintained pump station, and a JEA dedicated force main (min. 4" dia.). If needed, a development meeting can be scheduled prior to submitting a plan set. Request development meeting through the JEA Sages program by entering your availability number and accessing the project portal. Development Meeting, and Plan Submittal requests can be made within Step 2 of the project

Sewer Special Conditions: portal. Connection to the JEA-owned sewer system for your project will require the design and construction of an onsite, privately owned and maintained pump station, and a JEA dedicated force main (min. 4" dia.). Request a force main connection pressure letter through the JEA Sages program by entering your availability number and accessing the project portal. If needed, a development meeting can be scheduled prior to submitting a plan set. Request development meeting through the JEA Sages program by entering your availability number and accessing the project portal. Force main connection pressure letter and development meeting requests can be made within Step 2 of the project portal.

Reclaimed Water Connection

Reclaim Grid:

Connection Point #1:

Connection Point #2:

Reclaim Special Conditions: JEA does not anticipate having reclaim water in this area in the foreseeable future.

Electric Availability:

Electric Special Conditions:

The subject property does not lie within the geographic area legally served by JEA. The subject property does not lie within JEA's electric service territory.

General Conditions:

Request As-Built drawings and/or GIS maps by going to Step 1 in Sages. Request a Development Meeting with the water/wastewater team by going to Step 2 in Sages. If you need representative from the electric or real estate team please indicate that on your application. Don't forget to upload your utility layout with your application. Submit your plans for water/waste water review by Step 2 in Sages. If you are going to have JEA make the tap(s) for your new services you need to have a Special Estimate Determination for the cost of the taps prior to submitting your new service application. To request a Special Estimate Determination access Step 2 in Sages. After your plans are approved, you can submit your permit applications by access Step 3 in Sages, select Permit Determination. If your project requires the submittal of Deeds, Easements, Plats, Temporary Construction Easements and/or Hold Harmless Agreements, you can submit them by accessing Step 3 in Sages. After your plans, permits and shop drawings have been approved, as applicable, you can request a Pre-Construction Meeting by accessing Step 4 in Sages. Any required inspections you need for your project can be requested by

Subsequent steps you need to take to get service: accessing Step 4 in Sages. Project As-Builts can be submitted by accessing Step 4 in Sages. After your as-builts are approved you can submit your Permit COC applications by accessing Step 4 in Sages. After your permits are cleared, you can submit your project Acceptance Package by accessing Step 5 in Sages. After your project has been accepted you can submit your Commercial New Service Application by accessing Step 2 in Sages. If indicated on your availability letter, request your water flow test (Sages Step 2) and/or sewer locate (Sages Step 1). After you receive the results of these, if applicable, submit your plans (Sages Step 2). After your plans are approved, request a Special Estimate Determination (Sages Step 2) for the cost of your taps. After you have received the Special Estimate Determination, apply for your new services by accessing Step 2 in Sages.





EXTERIOR SIGN PACKAGE619 A1A N., PONTE VEDRA BEACH, FL 32082
REVISED 02.28.23



5300 Shad Road, Jacksonville, FL. 32257 harbingersign.com 904.268.4681

SALES ASSOC: Mike Lev PROJECT MGR: Ryan Richardson DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr

DATE	REV.	DESCRIPTION	INITIALS
03.10.22	00	Original	bw
05.31.22	R1	Update monument sign to max of 32.0 sqft	bw
11.09.22	R2	Update to Add Sweet Freez & scrollers to package	bw
02.22.23	R3	Update Gate Wall sign, show color options of signage	bw
02.27.23	R4	Update code check in each title block	BW
02.28.23	R5	Update elevation panel size	BW

SQUARE FOOTAGE FORMULA

ZONING

CALCULATIONS:

ALLOWED TOTAL PROPOSED TOTAL

CUSTOMER APPROVAL:

Approved

Approved as Noted

Not Approved

Customer Signature:

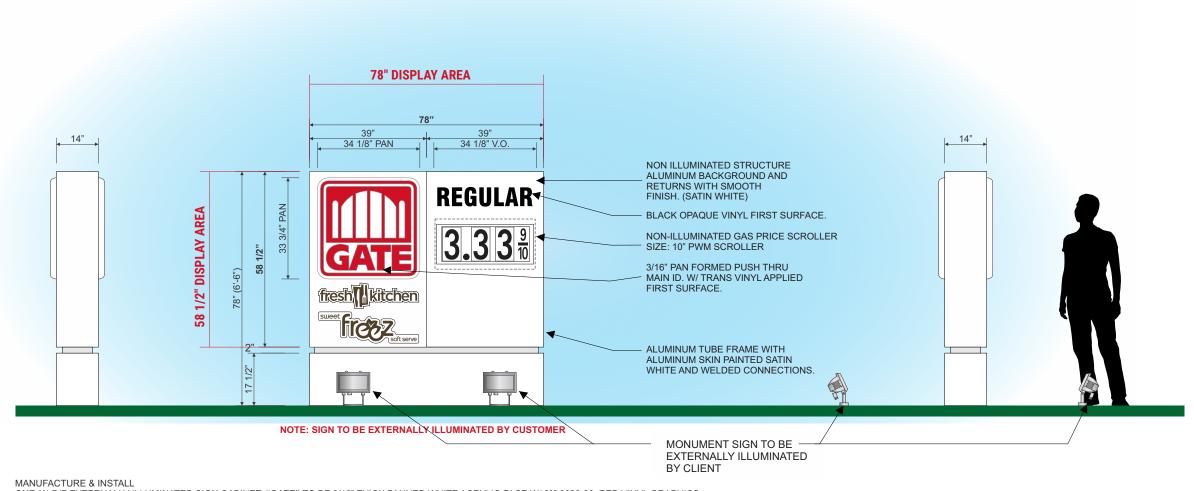
Date:

Customer Notes:



Complies with UL 48 CSA C22.2 No.207

SPECIFICATIONS THE FLORIDA BUILDING CODE SEVENTH EDITION (2020). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION). THE AMERICAN WELDING SOCIATY (AWS DI.1-15. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



ONE (1) D/F EXTERNALLY ILLUMINATED SIGN CABINET. "GATE" TO BE 3/16" THICK PANNED WHITE ACRYLIC FACE W/ 3M 3630-33, RED VINYL GRAPHICS

APPLIÉD FIRST SURFACE. GAS PRICE ALUMINUM FACE TO BE PAINTED WHITE, ILLUMINATED W/ WHITE LEDS.

LED ILLUMINATED, MODULAR GAS PRICES. ROUTED AND BACKED ALUMINUM FACES WITH 3M™ VINYL GRAPHICS FUEL PRODUCT. DIGITS TO BE RED / GREEN .

"REGULAR": COPY TO BE BLACK OPAQUE VINYL FIRST SURFACE, STATIC PRICE 3/16" FLAT WHITE ACRYLIC W 12 3/4" FONT KIT

"ETHANOL-FREE": COPY TO BE BLUE OPAQUE VINYL FIRST SURFACE

"FRESH KITCHEN": 3/16" WHITE ACRYLIC FACES W/ TRANSLUCENT 3M DURANODIC BRONZE 3630-69

"SWEET FREEZ" 3/16" WHITE ACRYLIC FACES W/ TRANSLUCENT 3M DURANODIC BRONZE 3630-69

NOTE: PRIMARY POWER TO BE PROVIDED BY CUSTOMER WITHIN 5 FEET OF SIGN LOCATION. NOTE: GAS PRICE TO BE CLOSEST TO ROAD.

NOTE: BOTTOM TENANT SPACE TO BE DETERMINED BY CUSTOMER.

1

Front Elevation and End View - Gate Main ID / Gas Price Face

3/8" = 1'-0"

Total Sqft: 31.7



5300 Shad Road, Jacksonville, FL. 32257 harbingersign.com 904.268.4681



619 A1A N., Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev PROJECT MGR: Ryan Richardson DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr
PATH: F:\Customers\F:\Gate Petroleum\ART

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02.27.23	R4	Update code check in each title block	BW
02.28.23	R5	Update elevation panel size	BW

SQUARE FOOTAGE FORMULA

ZONIN

32 SQFT 8' OVERALL HEIGHT

CALCULATIONS:

ALLOWED TOTAL 32.0 SqFt
PROPOSED TOTAL 31.7 SqFt

CUSTOMER APPROVAL:

Approved

Approved as Noted

Not Approved

Customer Signature:

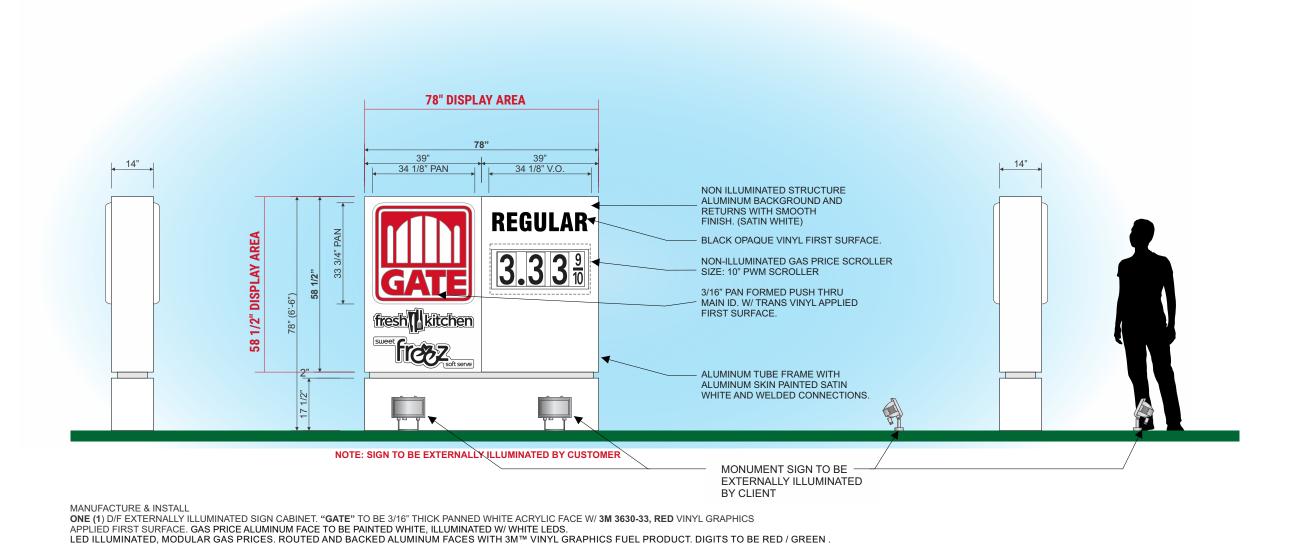
Date:

Customer Notes:



Complies with UL 48 CSA C22.2 No.207

SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION) THE AMERICAN WELDING SOCIATY (AWS D1.1-15. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CLIRENT POITION)



"FRESH KITCHEN": 3/16" WHITE ACRYLIC FACES W/ TRANSLUCENT 3M BLACK 3630-22 "SWEET FREEZ" 3/16" WHITE ACRYLIC FACES W/ TRANSLUCENT 3M BLACK 3630-22

NOTE: PRIMARY POWER TO BE PROVIDED BY CUSTOMER WITHIN 5 FEET OF SIGN LOCATION. NOTE: GAS PRICE TO BE CLOSEST TO ROAD. NOTE: BOTTOM TENANT SPACE TO BE DETERMINED BY CUSTOMER.

"REGULAR": COPY TO BE BLACK OPAQUE VINYL FIRST SURFACE, STATIC PRICE 3/16" FLAT WHITE ACRYLIC W 12 3/4" FONT KIT

1

Front Elevation and End View - Gate Main ID / Gas Price Face

"ETHANOL-FREE": COPY TO BE BLUE OPAQUE VINYL FIRST SURFACE

3/8" = 1'-0"



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619 A1A N., Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev PROJECT MGR: Ryan Richardson DESIGNER: Brandon Winebarger

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SQUARE FOOTAGE FORMULA

ZONI

32 SQFT 8' OVERALL HEIGHT

CALCULATIONS:

ALLOWED TOTAL 32.0 SqFt
PROPOSED TOTAL 31.7 SqFt

CUSTOMER APPROVAL:

Approved

Approved as Noted

Not Approved

Customer Signature:

Date:

Total Sqft: 31.7

Customer Notes:



Complies with UL 48 CSA C22.2 No.207

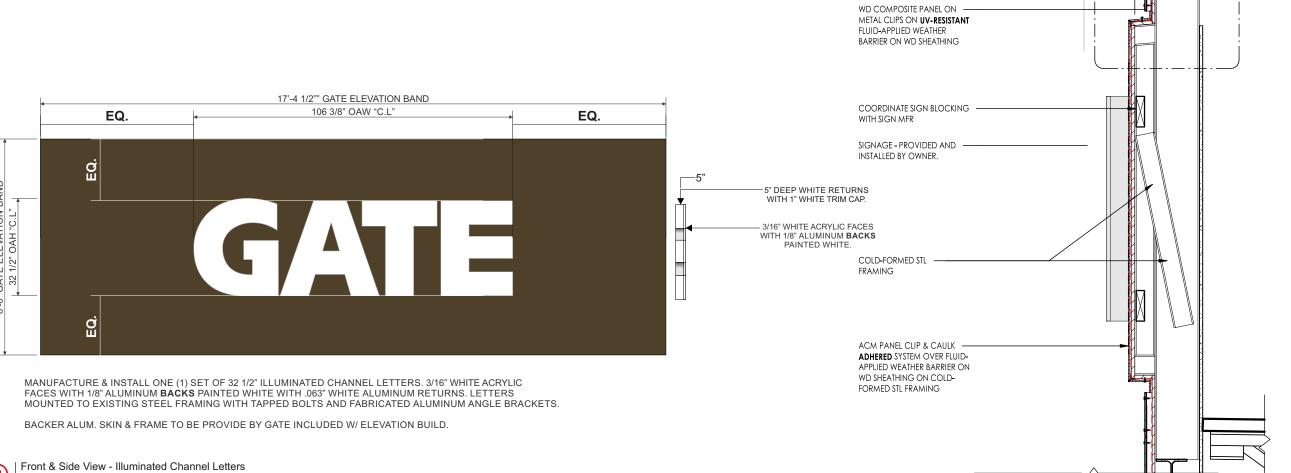
SPECIFICATIONS THE FLORIDA BUILDING CODE SEVENTH EDITION (2020). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION). THE AMERICAN WELDING SOCIATY (AWS D1-1-15. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

NOTE: SIDE DETAIL OF ELEVATION IS CONCEPTUAL ONLY, NOT SPECIFIC TO THIS SITE

FACE OF ACM WRAPPED

COLUMN BEYOND

VARIES-



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619 A1A N., Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev PROJECT MGR: Ryan Richardson DESIGNER: Brandon Winebarger

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SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA MAX 24 SQFT EACH

CALCULATIONS:

ALLOWED TOTAL 24.0 SqFt PROPOSED TOTAL 24.0 SqFt CUSTOMER APPROVAL:

Approved

Approved as Noted

Not Approved

Customer Signature:

Date:

Customer Notes:



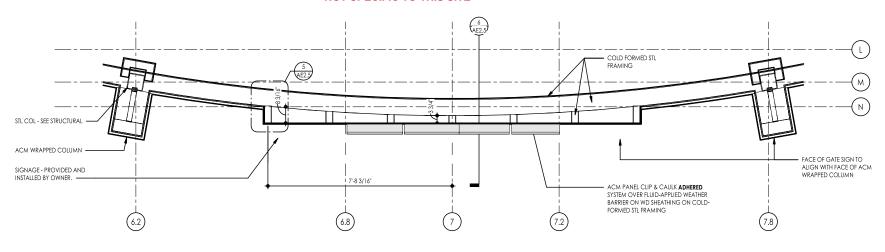
Complies with UL 48 CSA C22.2 No.207

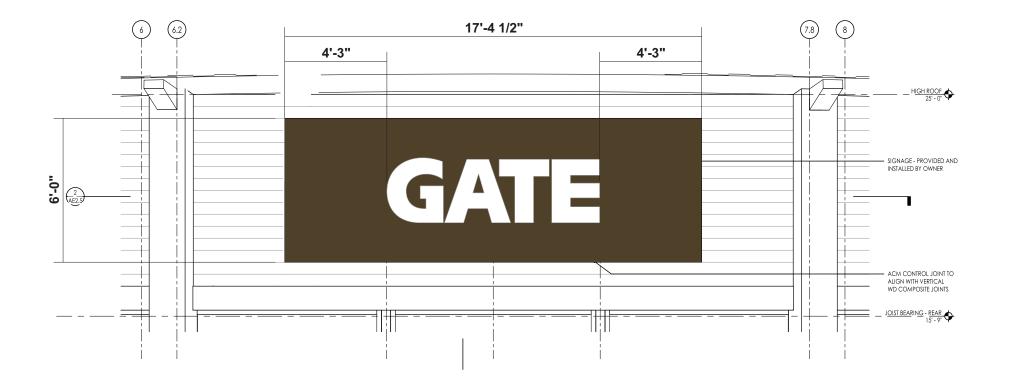
PAGE 4

3/8" = 1'-0"

Display Square Footage: 24.0

NOTE: SIDE DETAIL OF ELEVATION IS CONCEPTUAL ONLY, NOT SPECIFIC TO THIS SITE





| Front & Top View - Illuminated Channel Letters 2 | Front & 10p 1/4" = 1'-0"

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619 A1A N., Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev PROJECT MGR: Ryan Richardson DESIGNER: Brandon Winebarger

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SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA MAX 24 SQFT EACH

CALCULATIONS:

ALLOWED TOTAL 24.0 SqFt PROPOSED TOTAL 24.0 SqFt

CUSTOMER APPROVAL:

Approved

Approved as Noted

Not Approved

Customer Signature:

Date:

Customer Notes:



Complies with UL 48 CSA C22.2 No.207









5300 Shad Road, Jacksonville, FL. 32257 harbingersign.com 904.268.4681



619 A1A N., Ponte Vedra Beach, FL 32082

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SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA MAX 24 SQFT EACH

CALCULATIONS:

ALLOWED TOTAL 24.0 SqFt PROPOSED TOTAL 23.8 SqFt

CUSTOMER APPROVAL:

Approved

Approved as Noted

Not Approved

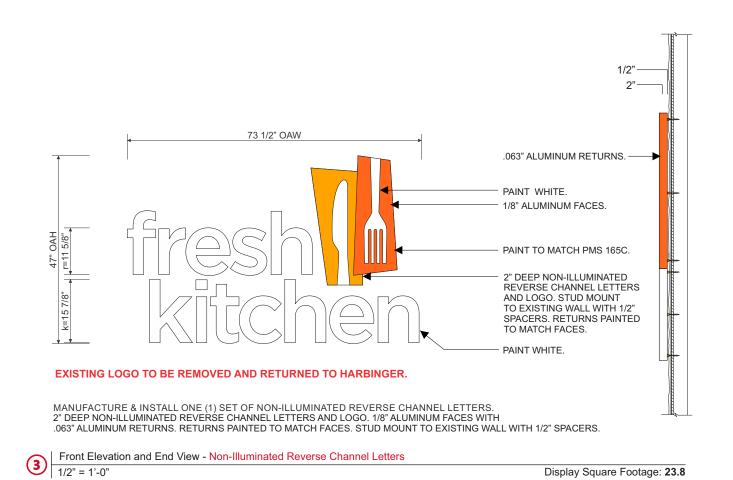
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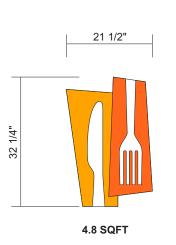
Customer Notes:



Complies with UL 48 CSA C22.2 No.207

PAGE 6





15% OF SIGN WITH COLORS







5300 Shad Road, Jacksonville, FL. 32257 harbingersign.com 904.268.4681



619 A1A N., Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev PROJECT MGR: Ryan Richardson DESIGNER: Brandon Winebarger

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SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA MAX 24 SQFT EACH

CALCULATIONS:

ALLOWED TOTAL 24.0 SqFt
PROPOSED TOTAL 23.8 SqFt

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature:

Date

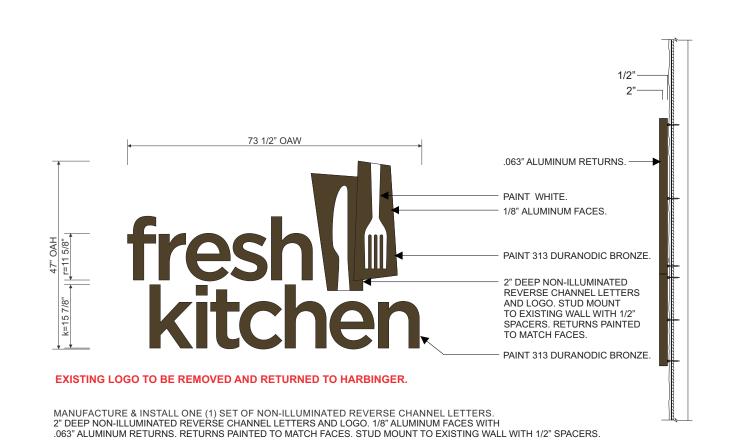
Customer Notes:



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Display Square Footage: 23.8

Front Elevation and End View - Non-Illuminated Reverse Channel Letters

1/2" = 1'-0"

1/2" = 1'-0"



P3 — MEDIUM BRONZE



P2 — 313 DURANODIC BRONZE



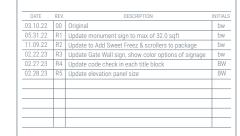
5300 Shad Road, Jacksonville, FL. 32257 harbingersign.com 904.268.4681



619 A1A N., Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev PROJECT MGR: Ryan Richardson DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr PATH: F:\Customers\F:\Gate Petroleum\ART



SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA MAX 24 SQFT EACH

CALCULATIONS:

ALLOWED TOTAL 24.0 SqFt PROPOSED TOTAL 23.8 SqFt

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature:

Customer Notes:



Complies with UL 48 CSA C22.2 No.207

PAGE 8



Display Square Footage: 23.8

1/2" = 1'-0"







5300 Shad Road, Jacksonville, FL. 32257 harbingersign.com 904.268.4681



619 A1A N., Ponte Vedra Beach, FL 32082

SALES ASSOC: Mike Lev PROJECT MGR: Ryan Richardson DESIGNER: Brandon Winebarger

FILE: GATE_#1201_C-Store_R5.cdr PATH: F:\Customers\F:\Gate Petroleum\ART

DATE	REV.	DESCRIPTION	INITIALS
03.10.22	00	Original	bw
05.31.22	R1	Update monument sign to max of 32.0 sqft	bw
11.09.22	R2	Update to Add Sweet Freez & scrollers to package	bw
02.22.23	R3	Update Gate Wall sign, show color options of signage	bw
02.27.23	R4	Update code check in each title block	BW
02.28.23	R5	Update elevation panel size	BW

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA MAX 24 SQFT EACH

CALCULATIONS:

ALLOWED TOTAL 24.0 SqFt
PROPOSED TOTAL 23.8 SqFt

CUSTOMER APPROVAL:

- Approved
- Approved as Noted
- Not Approved

Customer Signature:

Date

Customer Notes:



Complies with UL 48 CSA C22.2 No.207

SPECIFICATIONS: THE FLORIDA BUILDING CODE SEVENTH EDITION (2020). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION). THE AMERICAN WELDING SOCIATY (AWS D1.1-15. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

PAGE 9



Display Square Footage: 23.8









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			-
	-		-

SQUARE FOOTAGE FORMULA

ZONING:

PER PONTE VEDRA MAX 24 SQFT EACH

CALCULATIONS:

ALLOWED TOTAL 24.0 SqFt
PROPOSED TOTAL 23.5 SqFt

CUSTOMER APPROVAL:

Approved

Approved as Noted

Not Approved

Customer Signature:

Date

Customer Notes:

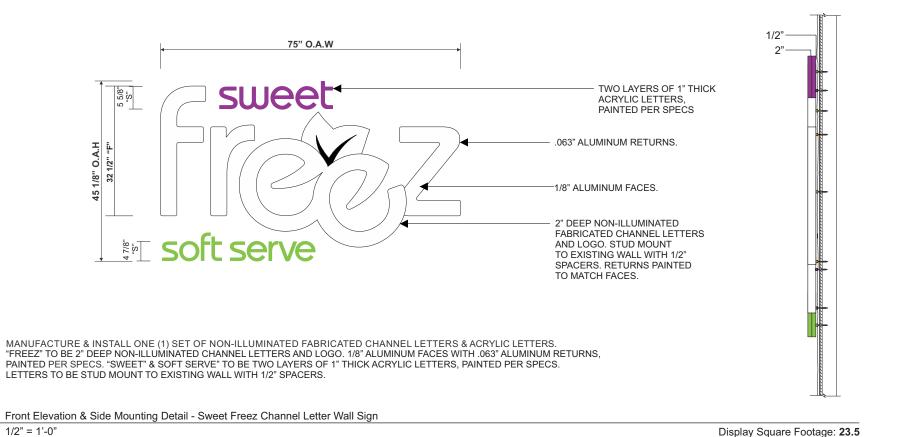


Complies with UL 48 CSA C22.2 No.207

IN CONFORMS TO THE FOLLOWING PRIDA BUILDING CODE SEVENTH EF

SPECIFICATIONS: THE FLORIDA BUILDING CUDE SEVENTH A ELITION (2020). THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (MANUAL OF STEEL CONSTRUCTION, 9TH EDITION), THE AMERICAN WELDING SOCIATY (AWS DI.1-15. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14). THE SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).

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15% OF SIGN WITH COLORS

1/2" = 1'-0"





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Approved as Noted

Not Approved

Customer Signature:

Date

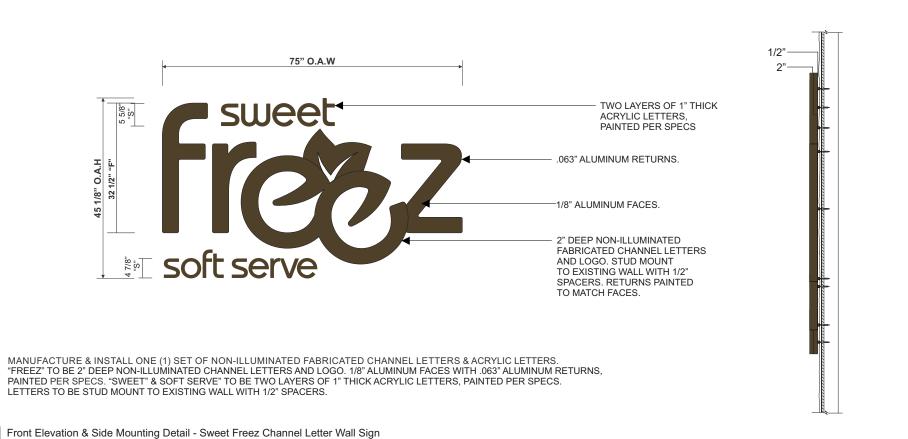
Customer Notes:



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Display Square Footage: 23.5



P3 — MEDIUM BRONZE



Display Square Footage: 23.5

P2 — 313 DURANODIC BRONZE

5300 Shad Road, Jacksonville, FL. 32257



619 A1A N., Ponte Vedra Beach, FL 32082

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SQUARE FOOTAGE FORMULA

ZONING:

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CALCULATIONS:

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CUSTOMER APPROVAL:

Approved

Approved as Noted

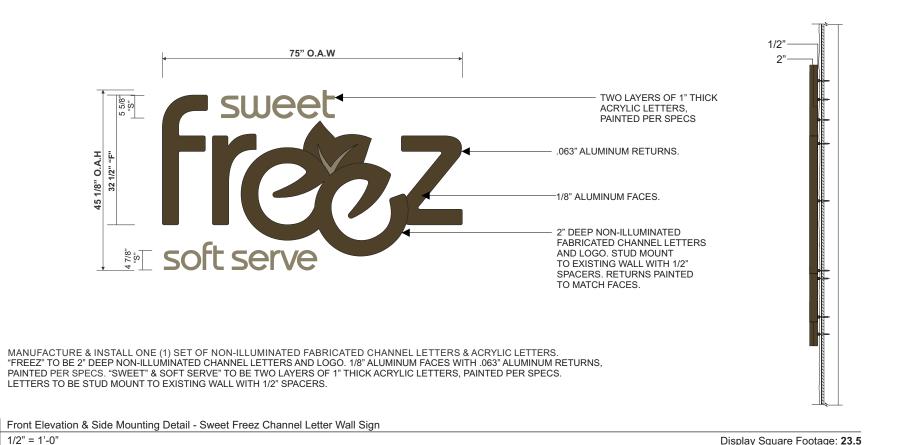
Not Approved

Customer Signature:

Customer Notes:



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1/2" = 1'-0"



Display Square Footage: 23.5





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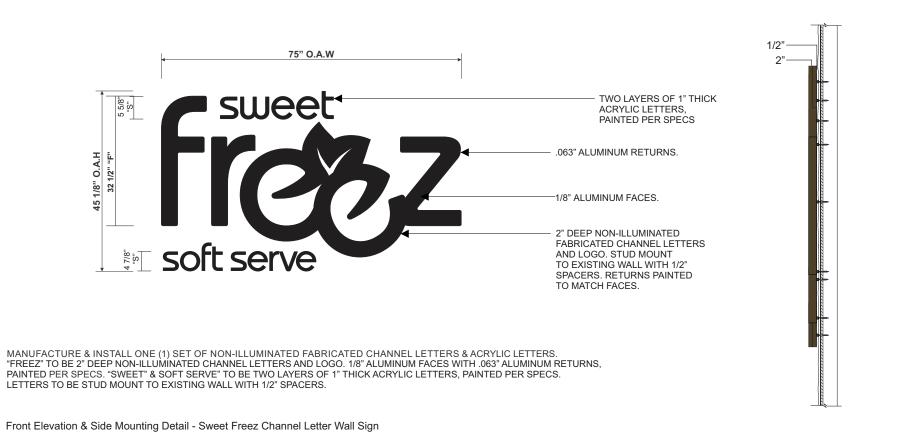
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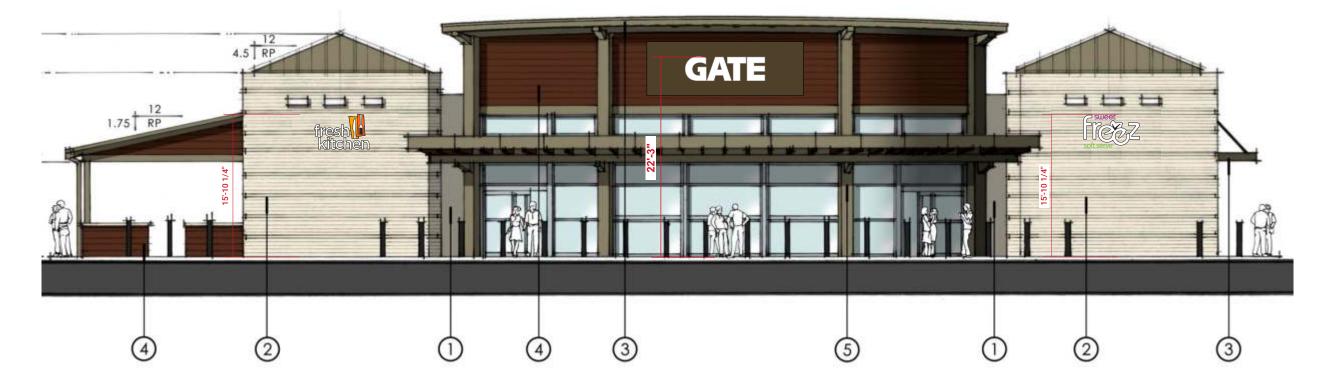
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| East Elevation - Exterior Signage

3/32" = 1'

sign of the future
5300 Shad Road, Jacksonville, FL. 32257

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619 A1A N., Ponte Vedra Beach, FL 32082

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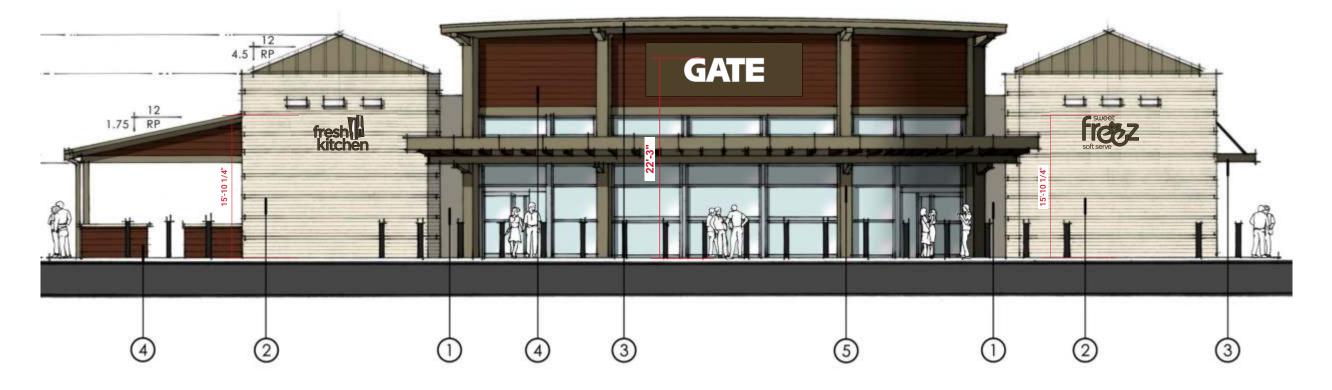
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harbinger.
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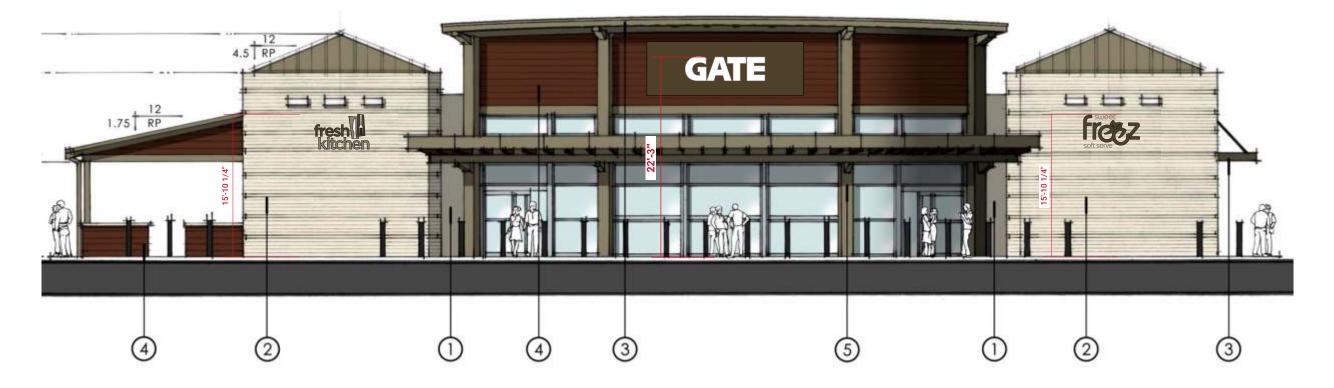
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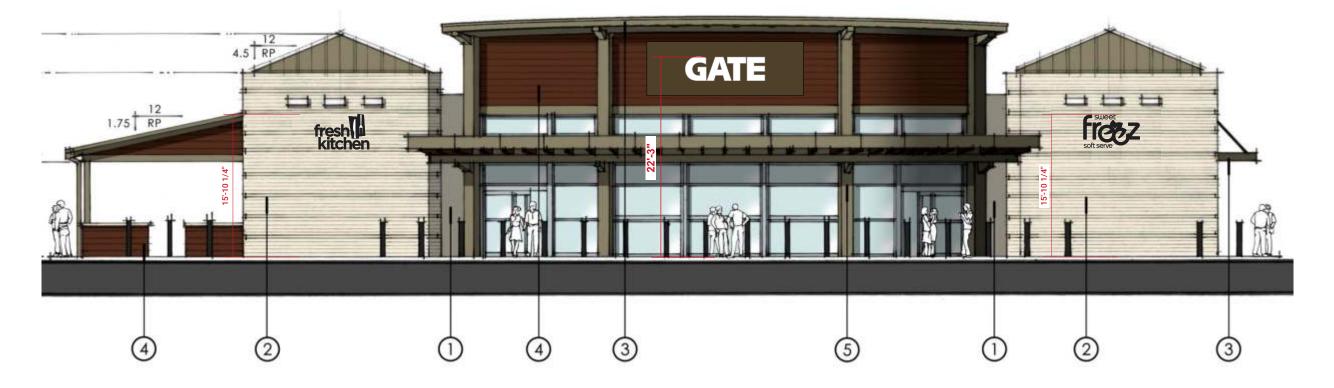
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1 Monument Sign
2 GATE Remote Channel Letters
3 Fresh Kitchen Wall Sign
4 Sweet Freez Wall Sign





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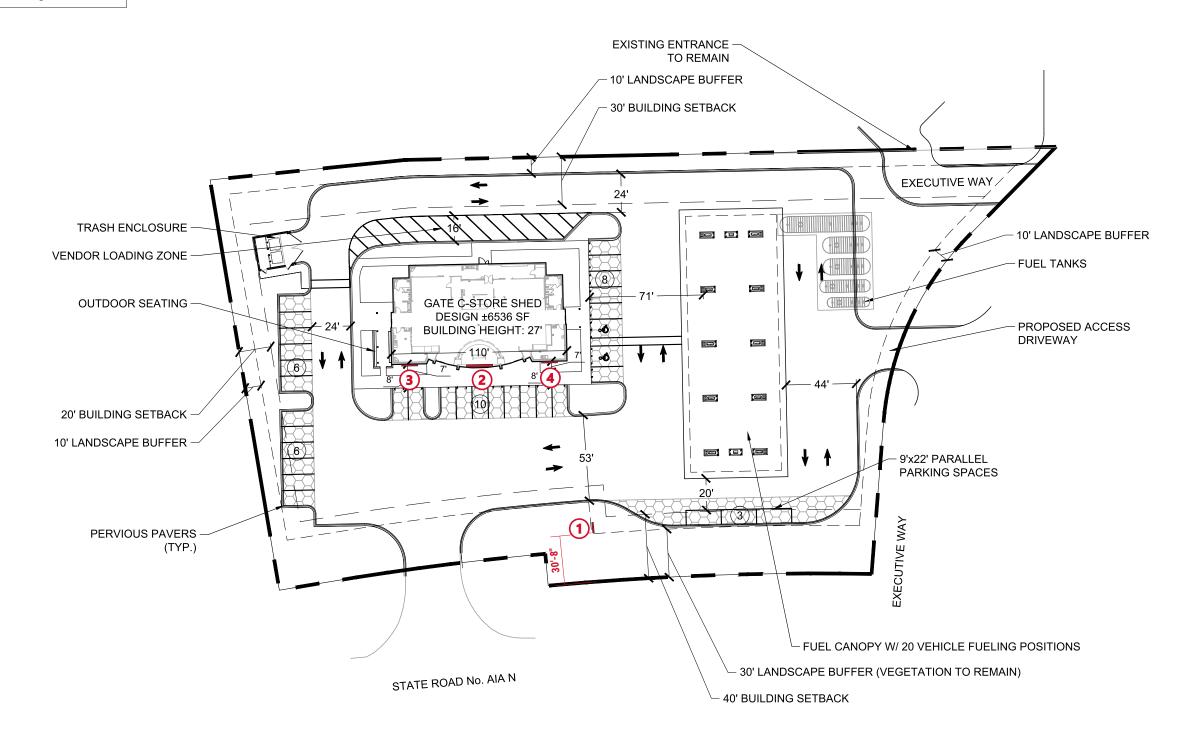
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Site Plan

1" = 60'-0"