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**AGENDA ITEM
Planning & Zoning**

Meeting

10/5/2023

MEETING DATE

TO: Planning and Zoning Board Members

DATE: September 25, 2023

FROM: Lauren Dwyer, Planner

PHONE: 904 209-0693

SUBJECT OR TITLE: SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area

AGENDA TYPE: Business Item, Ex Parte Communication, Order, Report

PRESENTER: David Touring, The Touring Company

BACKGROUND INFORMATION:

A request for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within the Residential-B Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B, specifically located at 540 State Road 13 N.

SUGGESTED MOTION/RECOMMENDATION/ACTION:

APPROVE: Motion to approve SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area based upon eight (8) findings of fact and eleven (11) conditions as provided in the Staff Report.

DENY: Motion to deny SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area based upon seven (7) findings of fact as provided in the Staff Report.



Growth Management Department
Planning Division Report
Application for Special Use Permit
SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area

To: Planning and Zoning Agency

From: Lauren Dwyer, Planner

Date: September 18, 2023

Subject: **SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area**, a request for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within the Residential-B Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B, specifically located at 540 State Road 13 N.

Applicant: David Touring, The Touring Company

Owner: RMR Fruit Cove Plaza, LLC

Hearing Dates: Planning and Zoning Agency – October 5, 2023

Commissioner District: District 1

SUGGESTED MOTION/ACTION

APPROVE: Motion to approve **SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area** based upon eight (8) findings of fact and eleven (11) conditions as provided in the Staff Report.

DENY: Motion to deny **SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area** based upon seven (7) findings of fact as provided in the Staff Report.

MAP SERIES

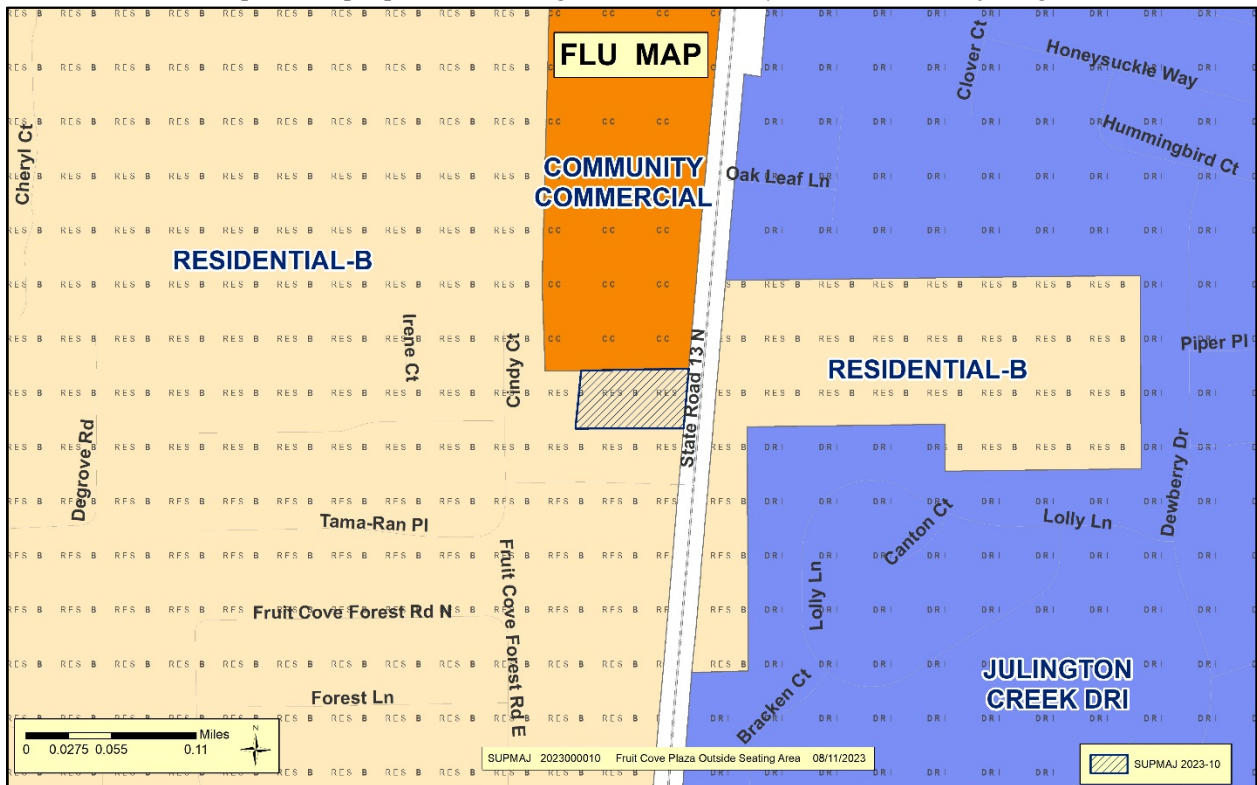
Location: The subject property is located on the west side of State Road 13 North, south of Racetrack Road.



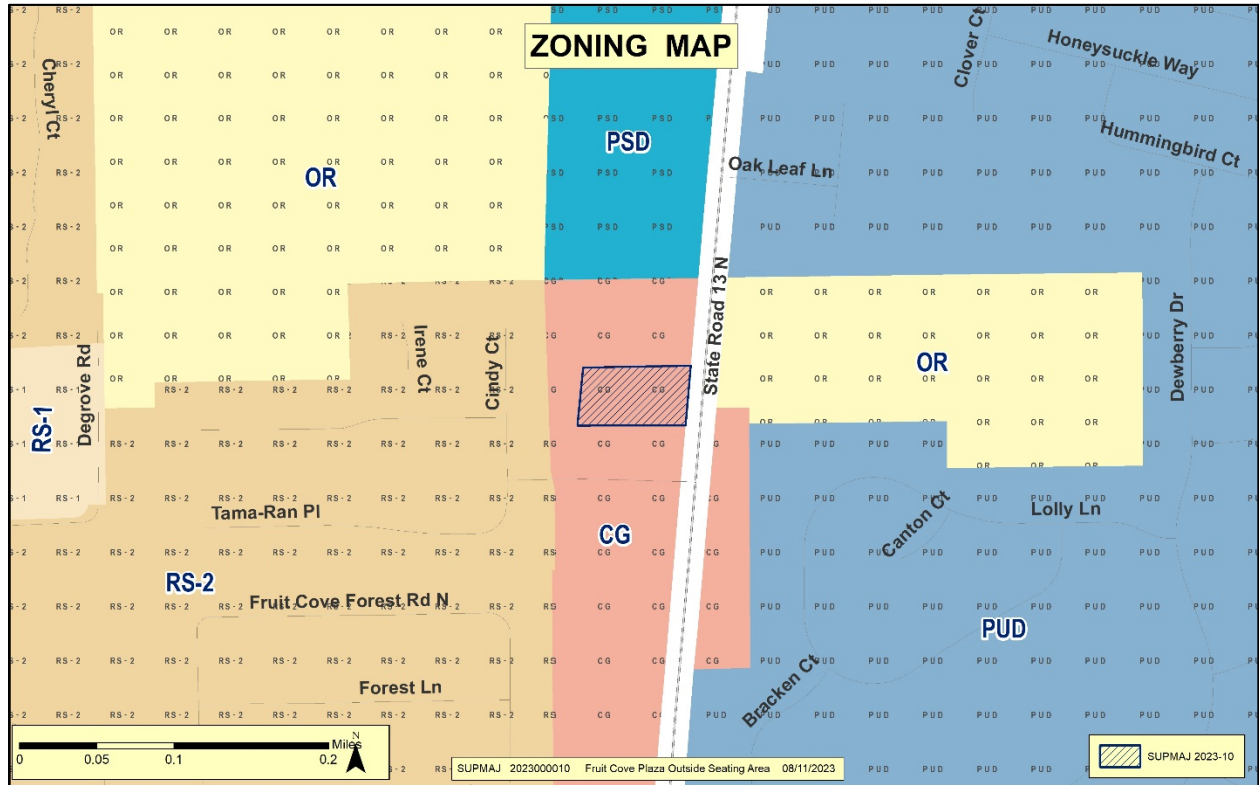
Aerial Imagery: The subject property is located in the Fruit Cove Plaza on State Road 13 North. The surrounding area is developed with various commercial uses to the north and west and residential uses to the east. The property immediately to the south was once used as commercial plant nursery and is currently in review for a business center (COMM 2023-43)



Future Land Use: The subject property and adjacent properties are designated Residential-B (Res-B) on the Future Land Use Map. Other properties are designated Community Commercial and Julington Creek DRI.

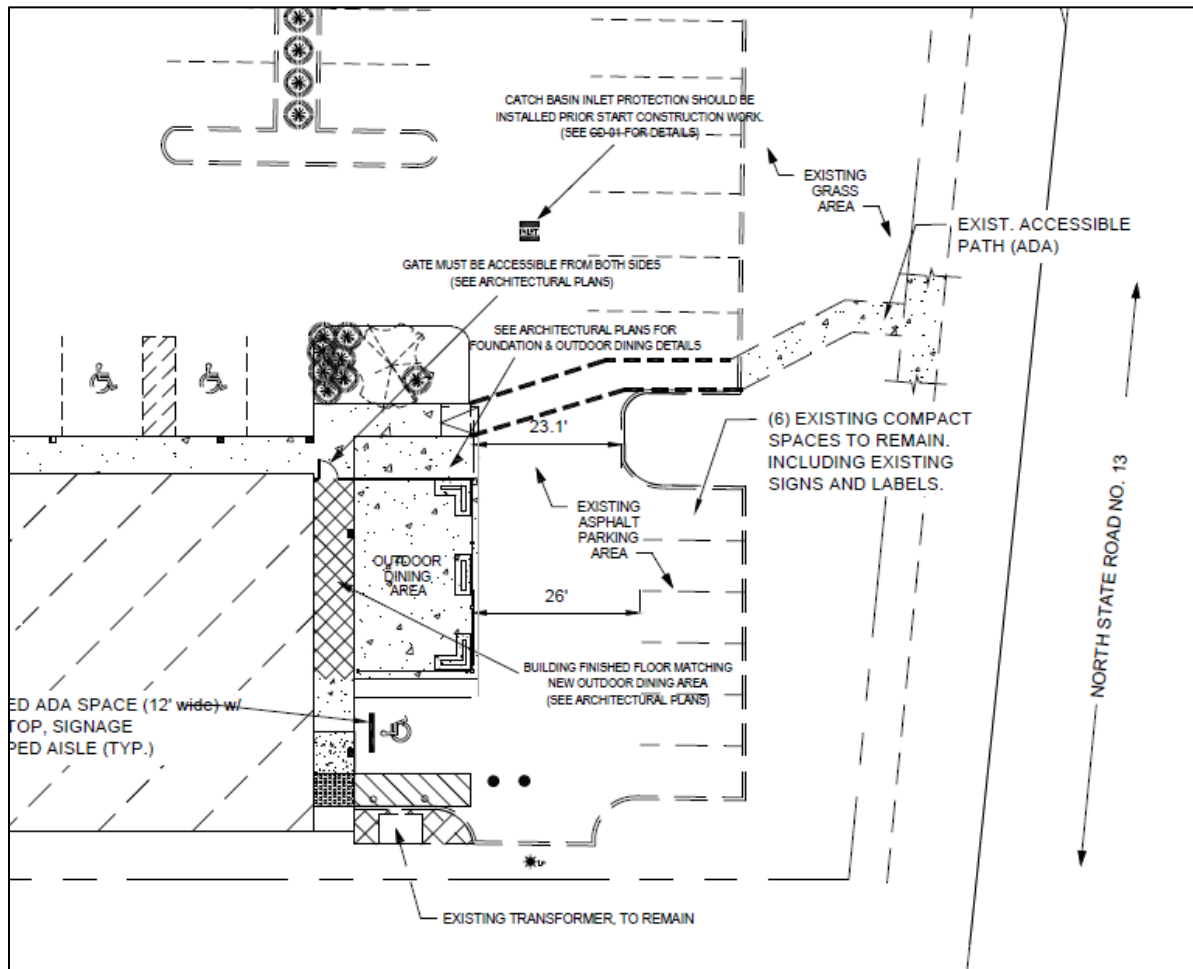


Zoning District: The subject property and adjacent properties are zoned Commercial General (CG). Surrounding properties are zoned Planned Unit Development (PUD), Residential, Single Family (RS-1, RS-2), Planned Special Development (PSD), and Open Rural (OR).



APPLICATION SUMMARY

The applicant is requesting a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within a Residential Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B. The restaurant is open Tuesday- Sunday for dinner, with the latest closing time being 10:00 PM.

Proposed Outdoor Seating Plan:

The above proposed site plan, provided by the applicant, depicts the proposed outdoor seating. The full Site Plan is included in **Attachment 1 Supporting Documents**.

DEPARTMENTAL REVIEW

The Planning and Zoning Division has routed this request to all appropriate reviewing departments. There are no open comments.

Office of the County Attorney Review:

Applicant bears the burden of demonstrating by competent substantial evidence that the request meets the general standards of LDC section 2.03.01 as well as any specific standards required by that special use. The Agency may consider competent substantial evidence that the general or specific standards are not met and is, in fact, adverse to the public interest. Special Uses are uses, if the specific conditions are met, that would be allowable unless there is a determination that the use would adversely affect the public interest. Pursuant to LDC section 2.03.01.F, the Agency may prescribe appropriate conditions to mitigate for any evidenced incompatibility and to assure that potential adverse and negative effects are avoided.

Per LDC 2.03.01.C: A detailed site plan, drawn to scale, shall show the location and dimensions of all existing and proposed structures and other improvements and setbacks of same, signs, and provisions for off-street parking is required. The plan shall become a condition upon which the permits is permitted and any change or addition shall constitute a violation of the special use approval unless such change is submitted to and approved by the Planning and Zoning Agency.

As required by Section 2.03.01.D, the Special Use must be compatible with the adjacent and surrounding land uses. Land uses, as defined in Chapter 163, Part II, Florida Statutes (“Growth Management Act”) include, but are not limited to, permitted Uses, Structures, and activities allowed within the land use category or implementing zoning district. Compatibility means a condition in which land uses or conditions can co-exist in relative proximity to each other in a stable fashion over time such that no Use or condition is unduly negatively impacted directly or indirectly by another Use or condition. The compatibility of land uses is dependent on numerous characteristics which may impact adjacent or surrounding Uses. These include: type of Use, density, intensity, height, general appearance and aesthetics, odors, noise, smoke, dust, vibration, traffic generation, sanitation, litter, drainage, risk of fire, air quality, protection of Listed Species or Essential Habitat, maintenance of public infrastructure, availability of potable water and other necessary public services, and nuisances.

The Special Use Permit shall be governed by the St. Johns County Alcohol Beverage Ordinance (Ord. 90-48), as may be amended. Applicants should note that they are responsible for understanding all current and future amendments to Ord. 90-48, but should make special notice of Ord. 2010-24 which amended the hours which alcohol can be sold. Limitations on when alcohol can be sold does not necessarily limit hours of operation for the Applicant.

The Special Use Permit shall be governed by the St. Johns County Sale or Service to persons under Twenty-One Ordinance (Ord. 2011-46), as may be amended.

Technical Division Review:

All future site engineering, drainage and required infrastructure improvements will be reviewed pursuant to the established Development Review Process to ensure that the development has met all applicable local regulations and permitting requirements. No permits will be issued prior to compliance with all applicable regulations.

Planning and Zoning Division Review:

Bella Vista restaurant is located within Commercial General (CG) zoning, within the Fruit Cove Plaza. According to Table 2.03.01 of the LDC, CG zoning requires a Special Use Permit to allow for Alcohol Sales and Consumption pursuant to the conditions and limitations found in LDC Section 2.03.02. LDC Section 02.04.05.B states that restaurants within a Residential Future Land Use designation may request on-site outdoor seating in conjunction with a Special Use Permit for alcoholic beverages. Provided below is an analysis of the site regarding the applicable regulations found in the St. Johns County Land Development Code (LDC).

Land Development Code Reference and Criteria for Action:

Article XII, Definitions

Special Use: Means a Use that would not be appropriate, generally or without restriction, throughout a zoning division or district but which if controlled as to number, area, location, or in relation to the neighborhood, would promote the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity, or the general welfare. Such Uses may be permissible in a zoning classification or district upon the granting of a Special Use and meeting the requirements of this Code.

LDC, Part 2.03.00 - Allowable and Special Uses (provided in part)

The Special Uses contained in this Part shall be considered and approved, approved with conditions, or denied in accordance with the requirements of this Code Part 9.01.00 for the issuance of Development Permits. The following Special Uses if allowed in a zoning district according to Section 2.02.02 and identified in Section

2.03.01 or allowed in this Part by reference to a zoning district may only be permitted upon demonstration of compliance with all of the requirements of this Part.

LDC, Sec. 2.03.01.A - General Provisions on Special Uses

A Special Use shall be approved by the Planning and Zoning Agency only upon determination that the application and evidence presented establish that:

1. The Special Use can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the St. Johns County Comprehensive Plan or this Code;

Restaurant is a permitted use within the Commercial General (CG) zoning designation; the request to allow for the on-site sale and consumption of beer and wine associated with a Florida 2COP License along with Outdoor Seating is allowed within the CG zoning only upon approval of a Special Use Permit. An approval of the request does not appear to impair the intent of the Comprehensive Plan or the Land Development Code.

2. The Use is compatible with the contiguous and surrounding area and will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent Uses or on community facilities or services; and

The proposed special use is for an existing restaurant to add outdoor seating along with on-site sale and consumption of beer and wine associated with a Florida 2COP License. The subject property is designated Residential-B on the Future Land Use Map and is zoned as Commercial General (CG). The restaurant is located within Fruit Cove Plaza, along with a vape shop, Anytime Fitness, and other commercial businesses. The nearest residential property is approximately 385 feet from the subject property. The proposed outdoor seating area is placed on the opposite side of property from the residences to the west, along State Road 13.

3. If access is provided by a street maintained by the Florida Department of Transportation (FDOT) a copy of the results of a pre-application meeting with FDOT is required unless otherwise deemed not necessary by the County Administrator; and

The business is located directly off of State Road 13 North, within an existing shopping center, with FDOT approved access.

4. The Use, which is listed as a Special Use in the district in which it is proposed to be located, complies with all required regulations and standards of this Article II, unless greater or more stringent regulations are contained or provided in the Comprehensive Plan or elsewhere in this Code for the Special Use.

The applicant is proposing a Special Use that is allowed within the CG Zoning District and the Residential-B Future Land Use Map designation. Based on review of the applicant's provided documents, the site will comply with the Special Use requirements provided in LDC Section 2.03.02, other sections of the LDC, and the Comprehensive Plan. Even with the removal of spaces for the outdoor seating addition, Fruit Cove Plaza has adequate parking, including ADA spaces.

Sec. 2.03.02 Alcoholic Beverages (provided in part)

Alcohol Beverage Establishments may be permitted as a Special Use within districts as defined in Section 2.03.01 and shall be subject to the following conditions and limitations:

A. Nearby Church - Nearby School

Except those beer and wine vendors who sell no alcoholic beverages other than malt beverages and wine and who are licensed in accordance with Section 563.02(1)(a) and/or Section 564.02(1)(a) of the Florida Statutes, as may be amended from time to time, no vendor of alcoholic beverages that is located within

the unincorporated area of St. Johns County shall maintain a place of business within one thousand (1,000) feet of an established school or within one thousand (1,000) feet of an established Church located in the unincorporated or incorporated area of St. Johns County. In the case of a Church, this distance shall be measured from property line to property line, without regard to route of travel, and in the case of a school, to the nearest point of the school grounds in use as part of the school facilities as measured from the property line of the place of business, without regard to route of travel.

Fruit Cove Baptist Church is located within 1,000 feet of the proposed site, across State Road 13 North from the restaurant, however, the restaurant meets Section Sec. 2.03.02.A, as the restaurant will only sell beer and wine and is licensed accordingly.

5. Zoning Special Use Required in Certain Districts

Where the sale of alcoholic beverages for on-site and or off-site consumption is a Special Use within the various zoning districts contained in this Code, a request for such Special Use shall be submitted, reviewed and acted upon in accordance with the provisions of Part 9.03.00 of this Code

According to Table 2.03.01 of the LDC, allowance of alcoholic beverages within the CG zoning requires approval of a Special Use Permit. LDC Part 9.03.00 pertains to Special Use procedures; the applicant has provided an application with supporting documentation, and the project was placed on the agenda for a PZA public hearing; the item was properly noticed as required for public hearings.

Sec. 2.04.05 Sales, Display and Preparation of Products in Commercial Districts

- B. In addition to the provisions of Section 2.04.05.A. above, on-site outdoor seating for restaurants may be allowed on parcels of land zoned commercial and located within Commercial, Mixed Use District, or Town Center Mixed Use District Future Land Use Designations, or within Planned Districts. For requests on parcels of land zoned commercial and located within a Residential Future Land Use Designation, a request for outdoor seating may be evaluated in conjunction with a Special Use Permit for alcoholic beverages.

The subject property is designated Residential-B on the Future Land Use Map and zoned CG. The applicant is requesting outdoor seating in conjunction with the Special Use Permit for the sale of beer and wine for on-site consumption. The outdoor seating addition is placed along State Road 13 away from the residential neighborhood to the west of the plaza. Staff has received a call with a resident voicing concerns over noise.

CORRESPONDENCE/PHONE CALLS

As of the writing of this staff report, Staff has received one phone call requesting the nature of the request and expressed concerns about noise from the outdoor seating area.

ACTION

Staff offers eight (8) findings of fact and eleven (11) conditions to support a motion to approve or seven (7) findings of fact to deny. These findings may be subject to other competent substantial evidence received at the quasi-judicial public hearing.

ATTACHMENTS

1. Application and Supporting Documents
2. Final Draft Orders

SUGGESTED MOTION / FINDINGS / CONDITIONS TO APPROVE REQUEST

Motion to approve **SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area**, a request for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within the Residential-B Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B., subject to the following findings and conditions:

SUGGESTED FINDINGS

1. The Special Use can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the St. Johns County Comprehensive Plan or Land Development Code.
2. The use is compatible with the contiguous and surrounding area and will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent uses or on community facilities or services.
3. The use, which is listed as a Special Use in the Commercial General (CG) Zoning District, complies with all required regulations and standards of Article II of the Land Development Code.
4. The request is in compliance with Section 2.03.01.A, Section 2.03.02, and Article XII of the Land Development Code.
5. The request is not in conflict with the Future Land Use Map designation of Residential-B.
6. The requested Use, although not generally appropriate or without restriction throughout the zoning district, when controlled as to the number, location and relationship to the neighborhood, promotes the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity, or the general welfare of the residents of the area.
7. The requested Use is not in conflict with the development patterns of the area.
8. The applicant, at the public hearing, has stated no objections to the proposed conditions.

SUGGESTED CONDITIONS

1. The Special Use Permit is granted to Bella Vista, doing business at 540 State Road 13 N. and shall be non-transferable to any other location or entity.
2. Approval is for the Use as regulated by the State of Florida Type 2COP license, specifically for on-site sales and consumption.
3. Sales and consumption area shall be limited to the area designated for such on the Site Plan labeled as Exhibit B submitted by the applicant and made a part of this application.
4. The hours of operation for the on-site sale and consumption of beer and wine are as follows:
 - a. Tuesday through Thursday: 4:00 PM- 9:00 PM
 - b. Saturday: 11:00 AM- 10:00 PM
 - c. Sunday: 11:00 AM- 8:00 PM
5. Special Use Permit shall be governed by the St. Johns County Alcohol Beverage Ordinance (Ord. 1990-48) as may be amended.
6. Special Use Permit shall be governed by the St. Johns County Sale or Service to persons under Twenty-One Ordinance (Ord. 2011-46) as may be amended.
7. Applicant agrees that St. Johns County may inspect the site for compliance with the Final Order and all other relevant requirements at the time the Special Use is being exercised.

8. This approval of the Special Use Permit may be revoked by the County Administrator or designee, at his/her sole discretion, upon a determination of violation of the conditions set forth herein or a violation of any Federal, State or Local law or regulation. Appeals of decisions by the County Administrator or designee to revoke the Special Use Permit may be appealed to the Board of County Commissioners.
9. The Special Use Permit is granted under the condition of continual use. A Special Use Permit that, once commenced, remains idle, discontinued or unused for a continuous period of one (1) calendar year shall no longer be valid and all rights granted herein shall become null and void.
10. Approval of the Special Use Permit does not release the project from adherence to all relevant requirements of the St. Johns County Land Development Code, Comprehensive Plan, Florida Building Code, and any other Agency having jurisdiction.
11. The application, supporting documents, conditions and limitations offered within the application and at the public hearing by the applicant (or representative) will be incorporated herein and shall become part of the Final Order, except as may be modified by preceding conditions and limitations.

(Additional conditions may be added as a result of the public hearing)

SUGGESTED MOTION / FINDINGS TO DENY REQUEST

Motion to deny **SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area**, a request for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within the Residential-B Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B, specifically located at 540 State Road 13 N., subject to the following findings:

SUGGESTED FINDINGS

1. The Special Use cannot be granted without substantial detriment to the public good and will substantially impair the intent and purpose of the St. Johns County Comprehensive Plan or Land Development Code.
2. The use is not compatible with the contiguous and surrounding area and will impose an excessive burden or have a substantial negative impact on surrounding or adjacent uses or on community facilities or services.
3. The use, which is listed as a Special Use in the Commercial General (CG) Zoning District, does not comply with all required regulations and standards of Article II of the Land Development Code.
4. The request is not in compliance with Section 2.03.01.A, Section 2.03.02, and Article XII of the Land Development Code.
5. The request is in conflict with the Future Land Use Map designation of Residential-B.
6. The allowance for the on-site sale and consumption of alcoholic beverages, consistent with a State of Florida Type 2COP license in conjunction with a proposed restaurant at this location, does not promote the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity, or the general welfare of the residents of the area.
7. The requested Use is in conflict with the development patterns of the area.

(The Board may choose any or all of the above Findings or may provide additional Findings to support the motion.)

ATTACHMENT 2
Application and
Supporting Documents



St. Johns County Growth Management Department

Application for: Special Use

Date 03-30-2023 Property Tax ID No 0051450000

Project Name Fruit Cove Plaza Outside Seating

Property Owner(s) RMR Fruitcove Plaza LLC Phone Number 386-569-1918

Address 30 Church Street, STE 4 Fax Number

City New Rochelle State NY Zip Code 10801-0000 e-mail matt@rettnerrealty.com

Are there any owners not listed? [X] No [] Yes If yes please provide information on separate sheet.

Applicant/Representative David E. Touring, PE Phone Number 904-614-3302

Address 14286-19 Beach Blvd., Unit 355 Fax Number 904-223-6045

City Jacksonville State FL Zip Code 32250 e-mail DTouring@thetouringco.com

Property Location 540 State Road 13N, St Johns, FL 32259

Major Access SR 13 Size of Property 1.7 Ac Cleared Acres (if applicable) N/A

Zoning Class CG No. of lots (if applicable) N/A Overlay District (if applicable) N/A

Water & Sewer Provider St Johns County Utility Future Land Use Designation CC

Present Use of Property Commercial Center Proposed Bldg. S.F. 551

Project Description (use separate sheet if necessary)

Outdoor seating structure for existing restaurant. Applicant intends to serve beer and wine on the outdoor proposed seating area in accordance with the existing restaurant approvals.

Please list any applications currently under review or recently approved which may assist in the review of this application including the name of the PUD/PRD: NDRCSTPL-2023000060

I understand that reasonable inspections of the subject property may be made as part of the application review process. I understand that any material misrepresentations or errors contained in this application or supporting documents may void an approved application, at the reasonable determination of the County considering the Land Development Code, Comprehensive Plan, and other applicable regulations.

I HEREBY CERTIFY THAT ALL INFORMATION IS CORRECT: Signature of owner or person authorized to represent this application:

Signed By [Handwritten Signature]

Printed or typed name(s) RONALD RETTNER



Owner's Authorization Form

David E. Touring, PE

is hereby authorized TO ACT ON BEHALF OF

RMR Fruitcove Plaza LLC

the owners(s) of those lands described within

the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to St. Johns County, Florida, for an application related to a development Permit or other action pursuant to a: application for:

Special Use Permit

By signing, I affirm that all legal owners(s), as listed on the Recorded Warranty Deed on file with the St. Johns County Clerk of Courts or otherwise stated (Warranty Deed), have been notified of the Special Use Permit Application.

(Identify what document)

I further understand incomplete or false information provided on this form may lead to revocation of permits, termination of development activity.

Signature of Owner

[Handwritten signature of Ronald Rettner]

Print Name

Ronald Rettner

Signature of Owner

Print Name

Telephone Number

(914) 969-0505

STATE OF FLORIDA New York
COUNTY OF Westchester

The foregoing instrument was acknowledged before me by means of [X] physical presence or [] online notarization, this 3rd day of August, 2023, by Ronald Rettner as managing member for RMR Fruitcove Plaza LLC.

MAIA MATTHEWS
Notary Public, State of New York
No. 01MA6286079
Qualified in Westchester County
Commission Expires July 17, 2025

[Handwritten signature of Maia Matthews]
Notary Public, State of Florida
Name: Maia Matthews
My Commission Expires:
My Commission Number is:

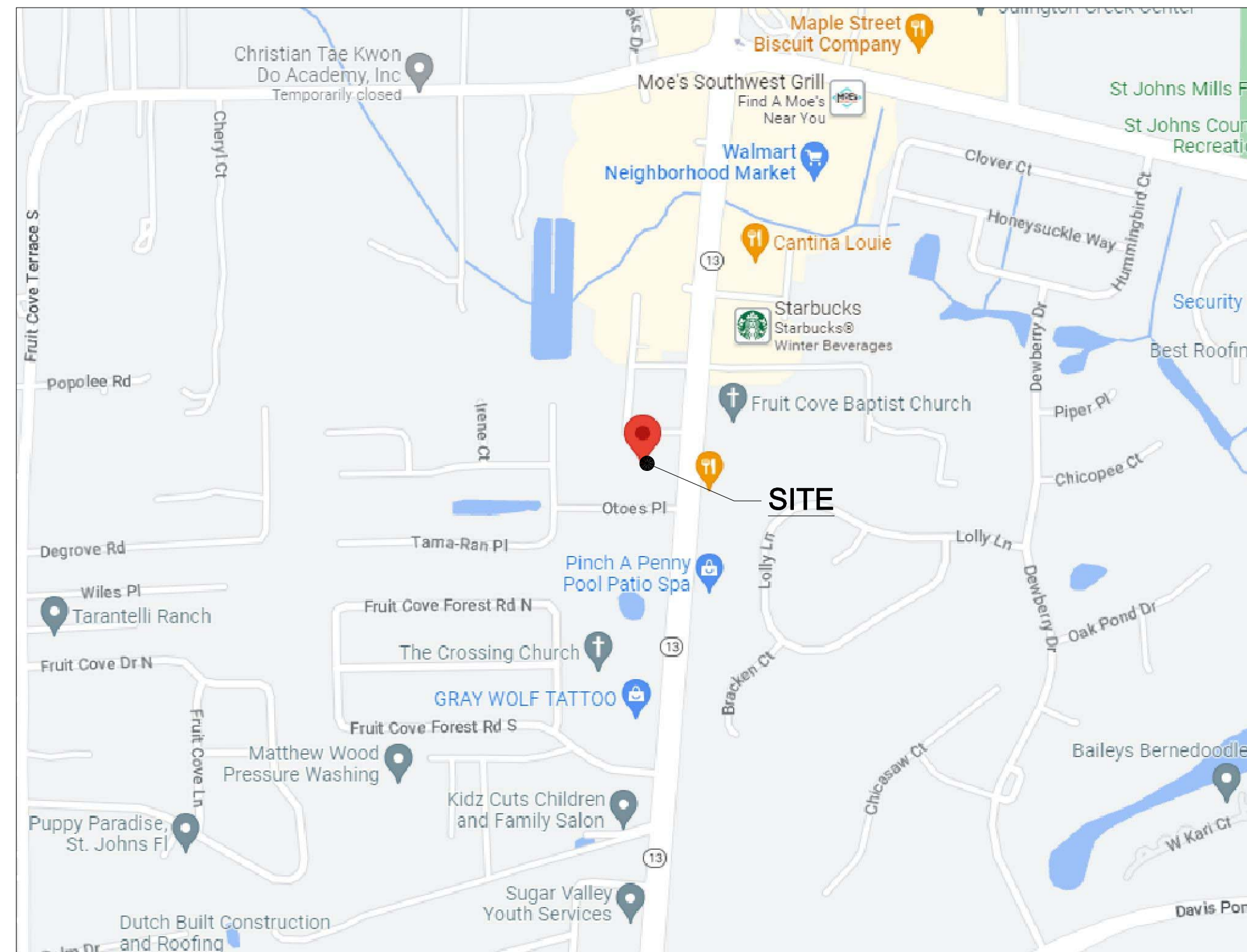
Personally Known [X] OR Produced Identification

Type of Identification Produced
Revised August 30, 2011

FRUIT COVE PLAZA OUTSIDE SEATING AREA

CIVIL ENGINEERING LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	CENTERLINE
---	---	LOT LINE
---	---	FENCE
---	---	BUILDING
---	---	PAVEMENT LINE/SIDEWALK LINE
25.50	(25.50)	SPOT ELEVATIONS
25	25	CONTOURS
6"SA	6"SA	SANITARY SEWER/CLEANOUT
6"FW	6"FW	PROCESS WASTE
ST	ST	STORM SEWER
6"W	6"W	DOMESTIC WATER
6"F	6"F	FIRE MAIN
6"G	6"G	GAS MAIN
6"FM	6"FM	FORCE MAIN
UE	UE	UNDERGROUND ELECTRIC
OHE	OHE	OVERHEAD ELECTRIC
UT	UT	UNDERGROUND TELEPHONE
OT	OT	OVERHEAD TELEPHONE
UD	UD	UNDERDRAIN
FD	FD	FIRE HYDRANT
DCVA	DCVA	DOUBLE CHECK VALVE ASSEMBLY
RPB	RPB	RED. PRESSURE BACKFLOW PREV.
PIV	PIV	POST INDICATOR VALVE
V	V	VALVE
V&B	V&B	VALVE & BOX
M	M	MANHOLE
SR	SR	SPRINKLER RISER
WM	WM	WATER METER
CB	CB	CATCH BASIN
CI	CI	CURB INLET
FE	FE	FLARED END
ME	ME	MITERED END
CF	CF	CONCRETE FLUME
EW	EW	ENDWALLS
CP	CP	CONCRETE POWER POLE
WP	WP	WOOD POWER POLE
LP	LP	LIGHT POLE
T	T	TRANSFORMER
S-1	S-1	DRAINAGE STRUCTURE
SA-1	SA-1	SANITARY SEWER STRUCTURE
SC	SC	SECTION CUT
DR	DR	DETAIL REFERENCE
SF	SF	SILT FENCE
HB	HB	HAYBALE BARRIER
SB	SB	SOIL BORING LOCATION/NUMBER



VICINITY MAP
NTS

540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

SITE DATA

SITE ADDRESS:	540 ROUTE 13, ST. JOHNS COUNTY, FL	NAME OF AGENT:	THE TOURING COMPANY, INC. 14286-19 BEACH BLVD., UNIT 355 JACKSONVILLE, FLORIDA 32250 (904) 614-3302
NAME OF ENGINEER:	THE TOURING COMPANY, INC. 14286-19 BEACH BLVD., UNIT 355 JACKSONVILLE, FLORIDA 32250 (904) 614-3302	TOTAL SITE AREA:	1.83 ACRES
NAME OF SURVEYOR:	REPUBLIC NATIONAL 407 WEKIVA SPRINGS ROAD ST 101 LONGWOOD, FLORIDA 32779 (407)862-4200		

THE FLORIDA PROFESSIONAL ENGINEER NAMED HEREIN SHALL BE RESPONSIBLE FOR THE DRAWINGS LISTED IN THE SHEET INDEX BELOW IN ACCORDANCE WITH RULE 61G15-23-003 F.A.C. THESE SHEETS HAVE BEEN SIGNED AND SEALED USING A DIGITAL SIGNATURE BY DAVID E. TOURING, P.E. LICENSE NUMBER 53503. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC DOCUMENTS.

SHEET INDEX

C-00	COVER SHEET
C-01	GENERAL NOTES
C-02	EXISTING CONDITIONS
C-03	DEMOLITION PLAN
C-04	GEOMETRY AND LAYOUT PLAN
C-05	GRADING PLAN
CD-01	SITE DETAILS PLAN
L-01	LANDSCAPE PLAN

REVISED PERMIT ISSUE - 07-18-2023



GENERAL NOTES

- 1. ALL DISTURBED AREAS SHALL BE SOODED OR SEEDED AND MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL ELEVATIONS OF EXISTING UTILITIES SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION...

EROSION & SEDIMENT CONTROL NOTES

- 1. ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMPs) TO CONTROL EROSION, SEDIMENTATION, AND THE POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.

SITE CLEARING AND GRADING NOTES

THE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS...

- 1. NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING, BARRICADES AND OTHER PROTECTIVE FENCING...

SITE PLAN & SUBDIVISION TESTING

- A. MATERIALS THE INSPECTION AND TESTING OF MATERIALS AND FINISHED ARTICLES ARE TO BE INCORPORATED IN THE WORK SHALL BE MADE BY BUREAUS, LABORATORIES, OR AGENCIES APPROVED BY THE ENGINEER OF RECORD.

SPECIFICATIONS SAMPLING, TESTING, AND LABORATORY METHODS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE AASHTO OR ASTM. WHERE AASHTO OR ASTM SPECIFICATIONS ARE USED, THE REFERENCE SHALL BE CONSTRUED TO BE THE MOST RECENT STANDARD SPECIFICATIONS OR TENTATIVE SPECIFICATIONS OF THE AASHTO OR ASTM IN FORCE ON THE DATE OF THE TEST.

TESTS & CERTIFICATES THE CONTRACTOR SHALL ENGAGE AN APPROVED TESTING LABORATORY TO PROVIDE THE FOLLOWING TESTS AND CERTIFICATIONS SIGNED BY A REGISTERED ENGINEER OF THE STATE OF FLORIDA. ALL TECHNICIANS PERFORMING THE TESTS SHALL BE STATE CERTIFIED FOR THE TESTING PERFORMED.

- SOIL ANALYSIS FOR STRUCTURAL FILL MATERIAL PRIOR TO INSTALLATION.
• PROCTOR DENSITIES, MOISTURE CONTENT, COMPACTED FIELD DENSITIES, AND ATTERBERG LIMITS.
• ANALYSIS OF RECYCLED CONCRETE BASE MATERIAL PRIOR TO INSTALLATION.

WATER CONSTRUCTION NOTES (PRIVATE UTILITIES ONLY)

- 1. LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY POTABLE WATER SYSTEM CONSTRUCTION.

ROADWAY CONSTRUCTION NOTES

- 1. ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SITE PLAN SHALL BE IN CONFORMANCE WITH THE CITY, FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND THE FOOT AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).

- RESIDENTIAL STREETS WITH STATE & COUNTY ROADWAYS OR MAJOR THROUGHFARES WITHIN THE CITY \$5-50 FT.
• ENTRANCES TO COMMERCIAL SITES OFF OF THE CITY \$5 FT.
• INTERSECTIONS INTERIOR IN SUBDIVISIONS \$5 FT.

- 38. SHOULD THE COUNTY OR THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DETERMINE THAT LARGER ROAD ARE WARRANTED WITHIN THEIR RIGHT OF WAY, THE LARGER ROADWAY SHALL BE CONSTRUCTED TO THE RIGHT OF WAY. ALL CONTRACTORS THAT ARE PERFORMING THE CONSTRUCTION OF LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS INCLUDING WATER MAINS, SANITARY SEWER MAINS, RECLAIMED WATER MAINS, STORM WATER PIPES AND INLETS, ROADWAYS, AND PARKING FACILITIES) SHALL BE CERTIFIED WITH THE STATE OF FLORIDA BOARD OF PROFESSIONAL REGULATIONS (BPR) FOR THE TYPE OF WORK THAT THEY PERFORM.

DEVELOPMENT SERVICES DEPARTMENT ROADWAY CONSTRUCTION REQUIREMENTS

- 1. SOIL BORINGS BY A CERTIFIED TESTING LAB ARE REQUIRED WITHIN THE ROAD RIGHT-OF-WAY AT EVERY 200-FOOT INTERVALS AND TO A MINIMUM DEPTH OF 6 FEET. THE LOCATIONS MUST BE STAGGERED FROM THE RIGHT SIDE, LEFT SIDE OR CENTERLINE. AT THE DISCRETION OF THE TESTING LAB.

SANITARY SEWER NOTES (PRIVATE UTILITIES ONLY)

- 1. THE LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY SANITARY SEWER CONSTRUCTION.

TESTING REQUIREMENTS

- 22. THE CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY AT HIS OWN EXPENSE TO INSURE THAT COMPACTION OF ALL FILL MATERIAL IS COMPLETELY PROPER. TESTS SHALL BE DONE ONE FOOT ABOVE THE PIPE AND THEN AT ONE FOOT VERTICAL INTERVALS UNTIL FINAL GRADE IS REACHED.

AS-BUILT DRAWING REQUIREMENTS

IN ORDER TO ENSURE THAT NEW SUBDIVISIONS AND SITE PLANS ARE CONSTRUCTED SUBSTANTIALLY IN ACCORDANCE WITH CITY REGULATIONS AND THE APPROVED DRAWINGS, THE FOLLOWING INFORMATION (WHERE APPLICABLE) IS REQUIRED ON ALL AS-BUILT DRAWINGS.

- 1. PAVEMENT AND CURB WIDTHS SHALL BE VERIFIED AND DIMENSIONED FOR EACH STREET AT EACH BLOCK. (FOR SUBDIVISIONS) AND AS APPROPRIATE TO CONFIRM PAVING LIMITS (ON SITE PLANS).

ADDITIONAL NOTES

- 1. THE NOTES ON THIS PAGE ARE GENERAL CONSTRUCTION NOTES ONLY AND DO NOT CONTAIN ALL CITY/COUNTY STANDARD CONSTRUCTION NOTES FOR WHICH THIS PROJECT IS LOCATED. REVIEW ALL PLANS FOR ANY ADDITIONAL CITY/COUNTY STANDARD CONSTRUCTION NOTES.

STORM DRAINAGE CONSTRUCTION NOTES

- 1. ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND THE FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).

POTABLE WATER/SANITARY SEWER MAINS SEPARATION NOTES (PRIVATE LINES ONLY)

- 1. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.

NOTE:

FOR ALL UTILITIES WITHIN A PUBLIC R.O.W., SEE ST JOHN'S COUNTY UTILITY GENERAL NOTES, SHEET GN-1.



Table with 10 columns: NO., DATE, BY, REV., DESCRIPTION. Contains revision history entries.

FRUIT COVE PLAZA OUTSIDE SEATING AREA 540 ROUTE 1/3, ST. JOHNS COUNTY, FLORIDA

GENERAL NOTES

JOB NO. 23-0020

DRAWN BY: APAZ

CHECKED BY: DT

SCALE: N.T.S.

C-01 SHEET NO.

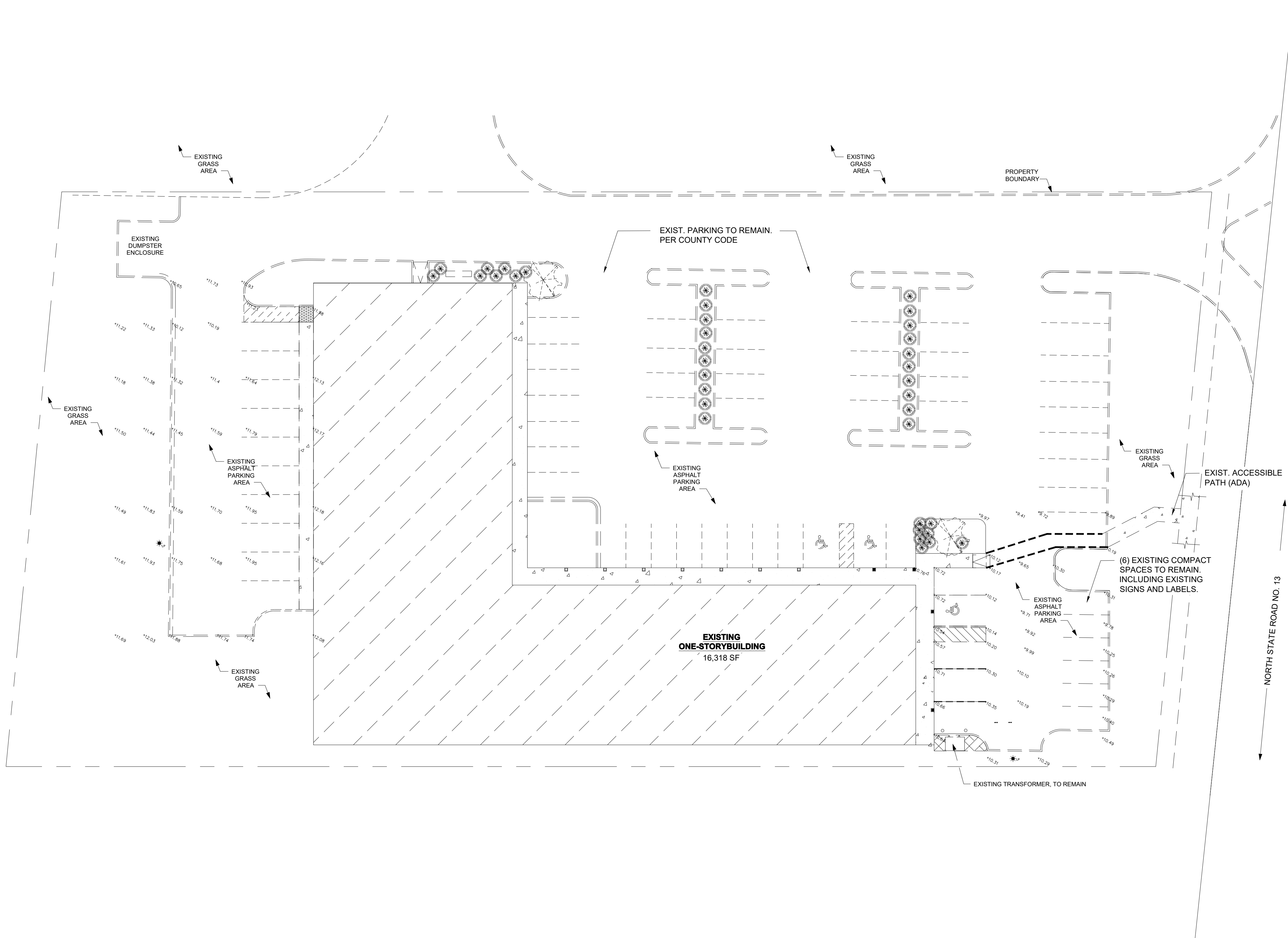
BY: DAVID TOURING, PE

LAST SAVED: 7/18/2023 3:16 PM

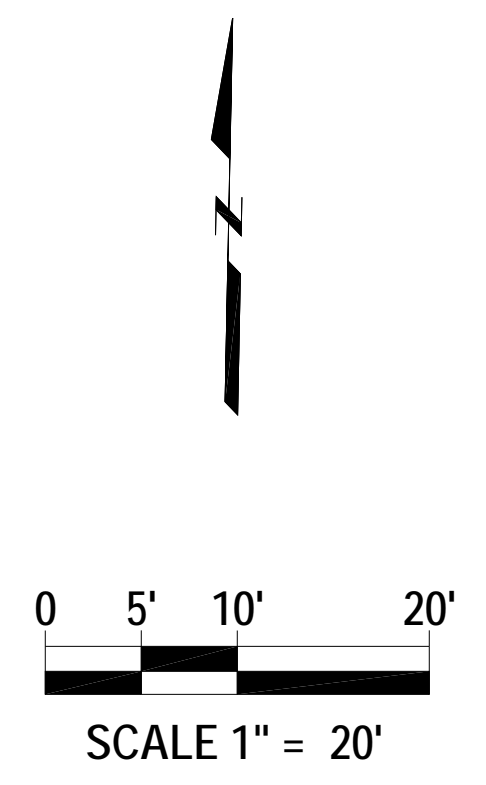
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FILE LOCATION: Z:\Active\JAA_Fruit Cove Plaza_23-0020\DWG\JAA_Fruit Cove Plaza_23-0020.dwg LAST SAVED: 7/18/2023 3:16 PM LAST PLOTTED: 7/19/2023 3:20 PM BY: DAVID TOURING, P.E.



NOTE:
EXISTENT SITEPLAN CONDITIONS WAS MADE BASED ON SURVEY PERFORMED BY REPUBLIC NATIONAL LAND SURVEYORS, 407 WEKIVA SPRINGS ROAD SUITE 101, LONGWOOD, FLORIDA (407) 862-4200, DATED JULY 2014.



THE TOURING COMPANY, INC.
CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
CERTIFICATE OF AUTHORITY
NO. 28328

14388-50 BEACH BLVD., UNIT 355
JACKSONVILLE, FLORIDA 32250
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DAVID E. TOURING, P.E.
LICENSE #636303

REV.	DATE	BY	DESCRIPTION

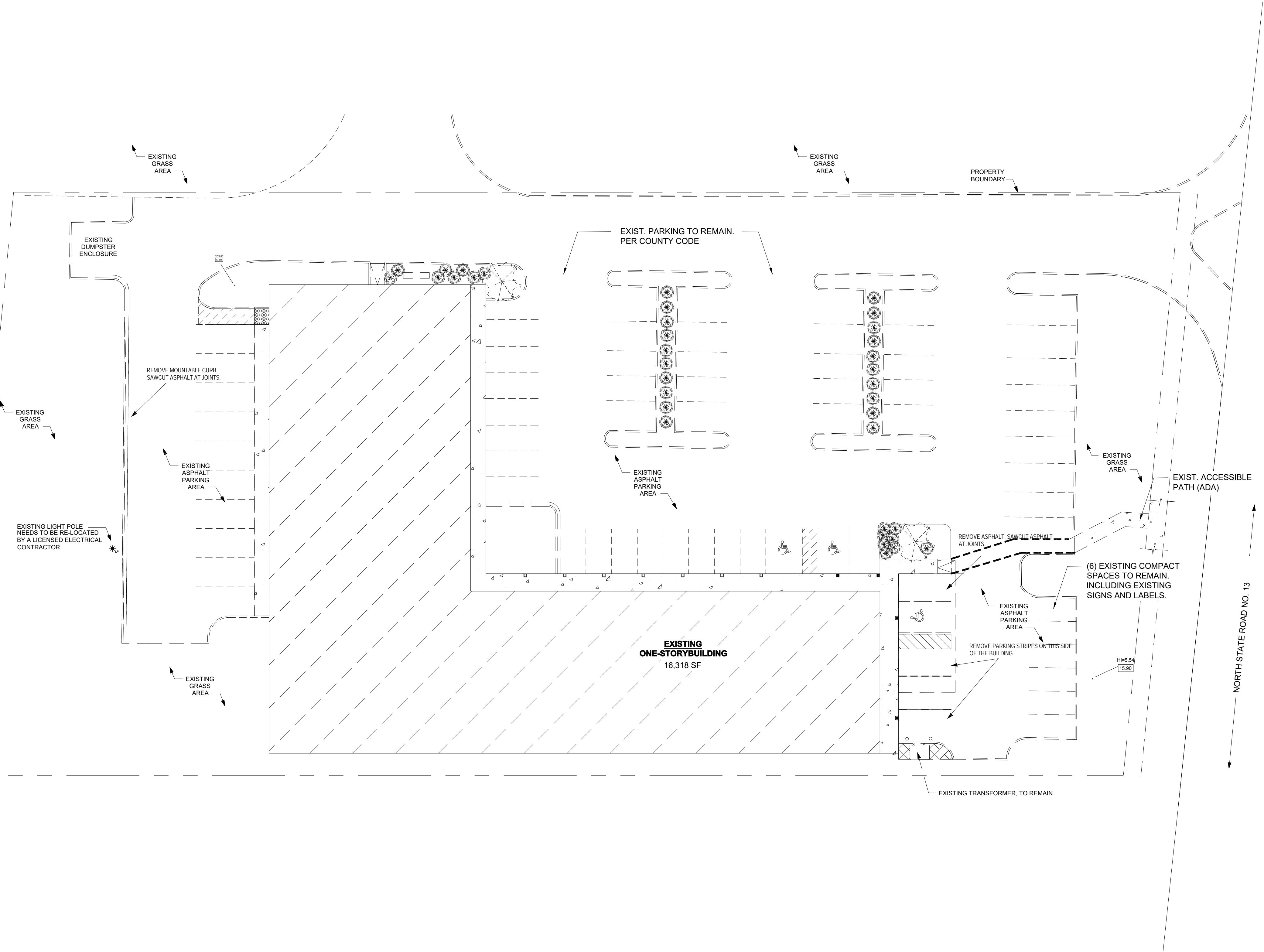
FRUIT COVE PLAZA
OUTSIDE SEATING AREA
540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

EXISTING CONDITIONS

JOB NO. 23-0020
DRAWN BY: APAZ
CHECKED BY: DT
SCALE: 1" = 20'

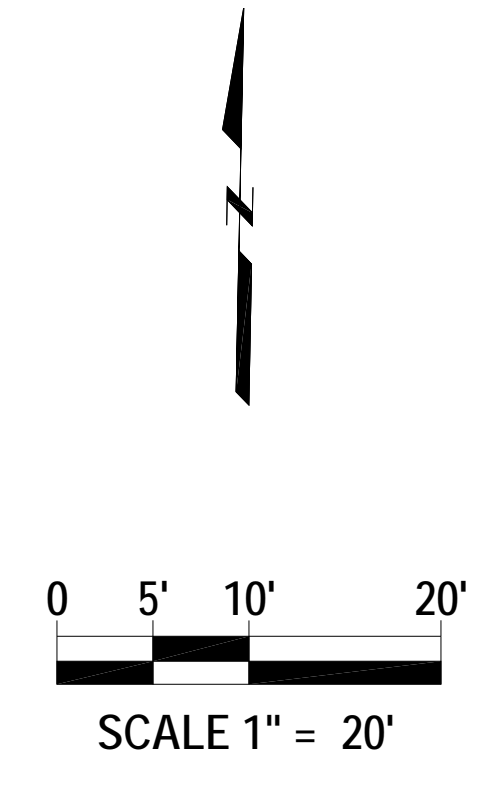
C-02
SHEET NO.

FILE LOCATION: z:\active\jaa_Fruit Cove Plaza_23-0020\DWG\jaa_Fruit Cove Plaza_23-0020.dwg LAST SAVED: 7/18/2023 3:16 PM LAST PLOTTED: 7/19/2023 3:21 PM BY: DAVID TOURING, P.E.



DEMOLITION NOTES

1. CONTRACTOR SHALL CALL "SUNSHINE 1-800-432-4770" 48 HOURS PRIOR TO ANY EARTHWORK AS REQUIRED BY FLORIDA STATE LAW.
2. NO DEMOLITION SHALL TAKE PLACE UNTIL EROSION CONTROL MEASURES HAVE BEEN TAKEN AND ARE IN PLACE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND MAINTAIN THE SILT FENCE AND OTHER EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PROCESS.
3. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS AND DEPTHS OF ALL EXISTING OVERHEAD & UNDER GROUND UTILITIES PRIOR TO DEMOLITION, CLEARING & GRUBBING OR ANY EARTHWORK.
4. CONTRACTOR TO CONTACT AND COORDINATE WITH THE CITY OF JACKSONVILLE /JEA /FDOT FOR THE REMOVAL OR RELOCATION OF ALL OVERHEAD UTILITY LINES, SUPPORT POLES & GUY WIRES PRIOR TO ANY DEMOLITION.
5. CONTRACTOR TO ENSURE ELECTRICAL POWER IS DISCONNECTED AT THE MAIN TRANSFORMER LOCATION PRIOR TO ANY DEMOLITION WORK.
6. DURING THE DEMOLITION, THE CONTRACTOR IS TO ENSURE THAT NO TREES ARE REMOVED OR OTHERWISE DISTURBED IF THEY ARE SHOWN TO REMAIN ON THE PLANS (SEE LANDSCAPE SHEETS FOR TREE DEMOLITION PLAN , IF APPLICABLE).
7. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL HAZARDOUS MATERIALS DISCOVERED ON-SITE SHALL BE HAULED AWAY AND DISPOSED OF IN COMPLIANCE WITH FLORIDA STATE LAWS & STANDARDS.



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LICENSE #639503

REV.	DATE	BY	DESCRIPTION

FRUIT COVE PLAZA
OUTSIDE SEATING AREA

540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

DEMOLITION PLAN

JOB NO. 23-0020

DRAWN BY: APAZ

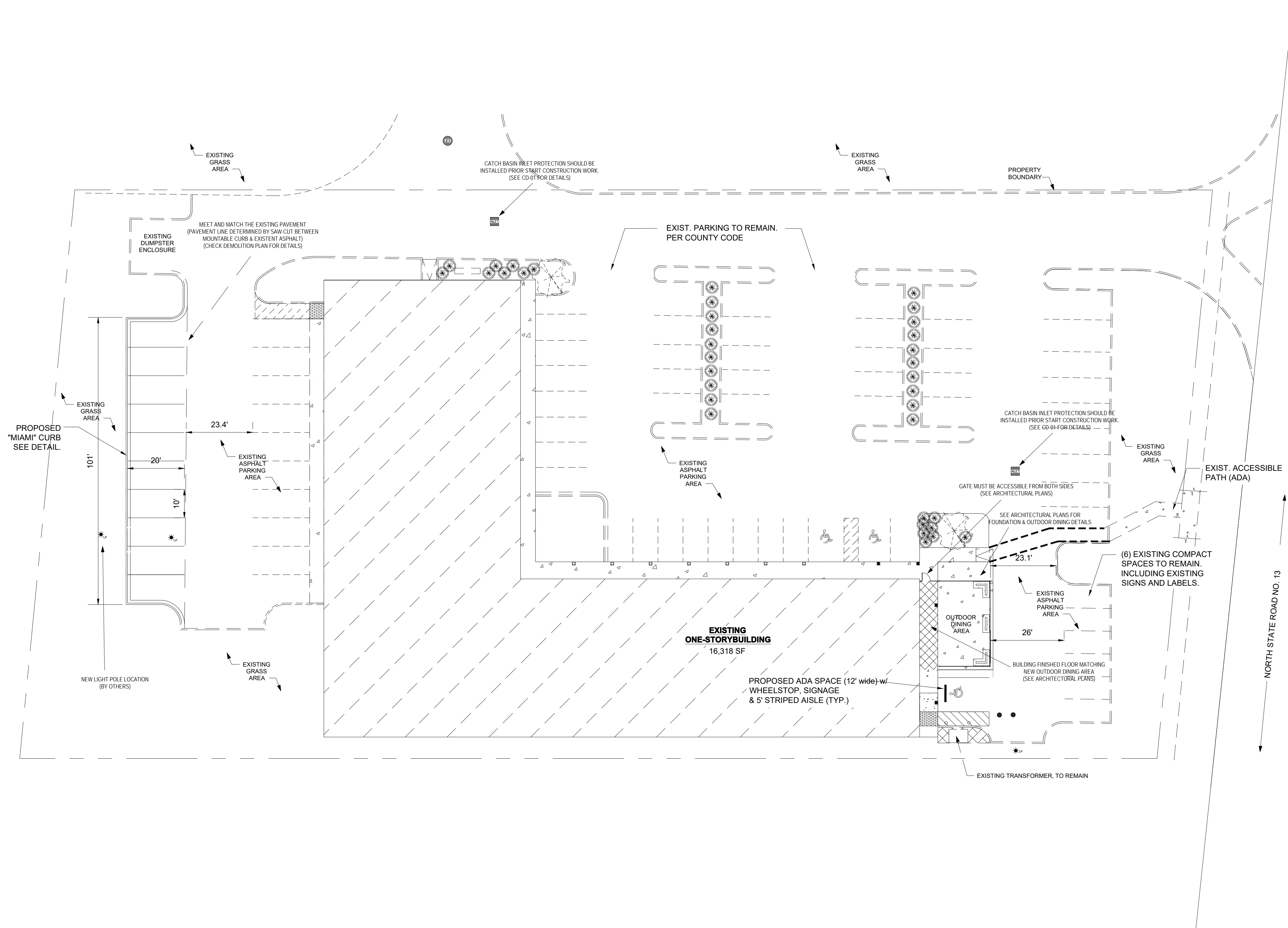
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SCALE: 1" = 20'

C-03

SHEET NO.

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PARKING AND BUILDING SUMMARY:

RESTAURANT ADDITION
 ADDITIONAL SEATING - 32 SEATS

PARKING REQUIREMENTS:

RESTAURANTS - ONE SPACE FOR EACH 4 PATRON SEATS (including indoor and outdoor patron seating)

SPACES REMOVED = 2
 TOTAL REQUIRED = 8 + 2 = 10
 TOTAL ADDITIONAL PROVIDED = 10 SPACES

DAVID TOURING, P.E.

REV.	DATE	BY	DESCRIPTION

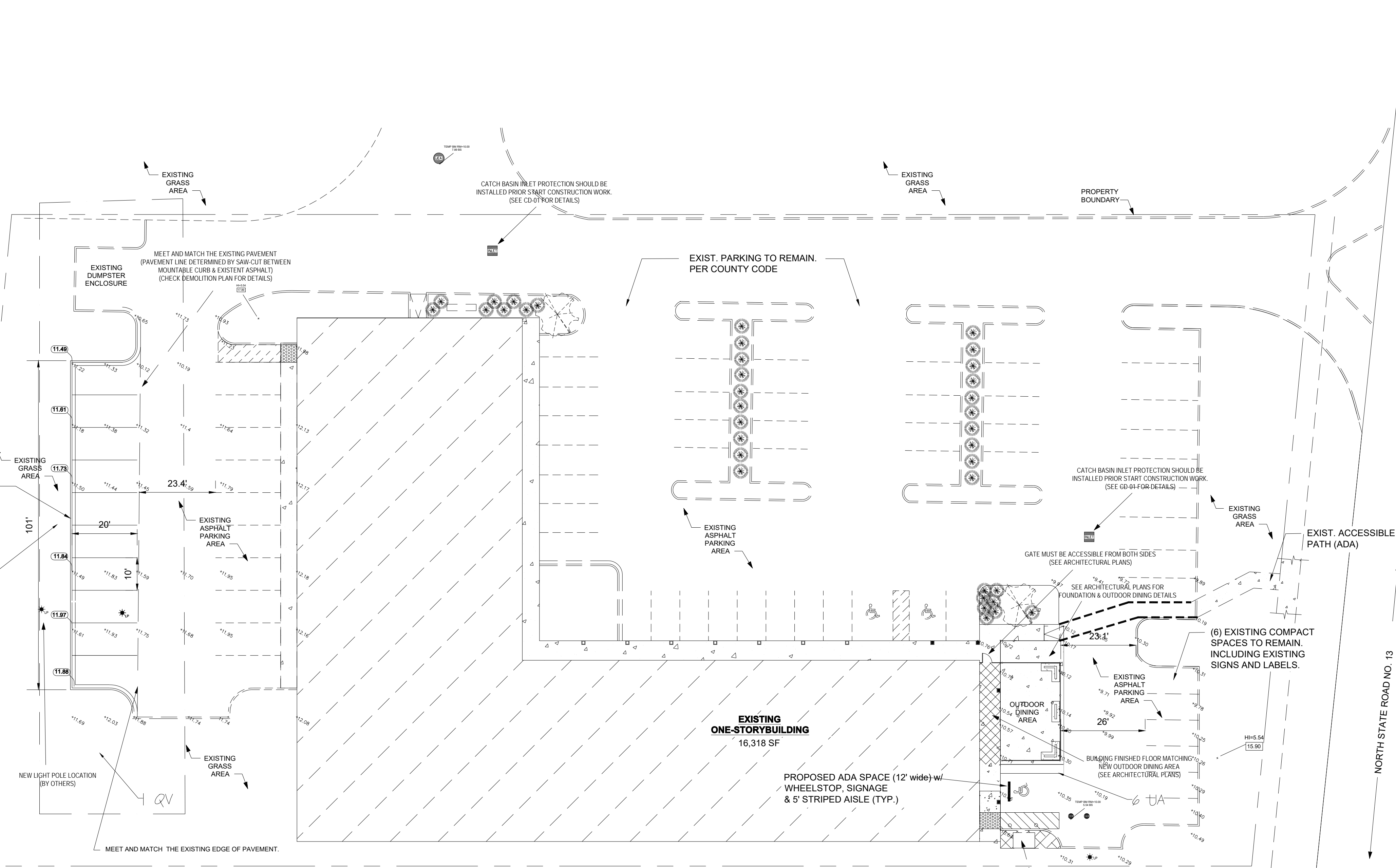
FRUIT COVE PLAZA
OUTSIDE SEATING AREA
 540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

SITE GEOMETRY & LAYOUT PLAN

JOB NO.	23-0020
DRAWN BY:	APAZ
CHECKED BY:	DT
SCALE:	1" = 20'

C-04
 SHEET NO.

FILE LOCATION: z:\Active\JAA_Fruit Cove Plaza_23-0020\DWG\JAA_Fruit Cove Plaza_23-0020.dwg LAST SAVED: 7/18/2023 3:16 PM LAST PLOTTED: 7/19/2023 3:21 PM BY: DAVID TOURING, PE.



GRADING NOTES:

1. PROPOSED SPOT ELEVATIONS ARE FOR FINISHED GRADE AND NEEDS TO MEET AND MATCH THE EXISTING EDGE OF PAVEMENT NEW SPOT ELEVATIONS TO BE SLOPED TO EXISTING PAVEMENT.
2. PAVEMENT GRADES ARE CUTTER LINE GRADES AS INDICATED. TOP OF CURB IS PLUS 6" WHERE APPLICABLE.
3. ANY CONSTRUCTION IN CITY OR COUNTY RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE COUNTY DAILY FROM 7:30 A.M. TO 8:30 A.M. WHEN WORKING IN THE RIGHT OF WAY.
4. THE SIDEWALK MUST MAINTAIN A MAXIMUM SIDE SLOPE OF 2% THROUGH THE ENTRANCE.
5. SEE FEMA F.I.R.M. PANEL NO. 125027-12109C-0082H FOR SPECIAL INFORMATION REGARDING SPECIAL FLOOD HAZARD LOCATIONS, BASE FLOOD ELEVATIONS AND FLOOD ZONE BOUNDARIES AND LOCATIONS.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
4. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
5. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
6. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
7. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
8. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
9. THE SITESWORK CONTRACTOR WILL BE REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES INTO THE PROJECT AT THE EARLIEST PRACTICAL TIME DURING CONSTRUCTION. THE EROSION CONTROL MEASURE DETAILED HEREIN SHALL BE CONTINUED UNTIL THE PERMANENT DRAINAGE FACILITIES HAVE BEEN CONSTRUCTED AND UNTIL ALL DISTURBED AREAS HAVE BEEN REESTABLISHED SO AS TO ESTABLISH AN EFFECTIVE EROSION DETERRENT. ALL COLLECTED SEDIMENT REMOVED FROM IMPOUNDMENT AREAS SHALL BE EVENLY DISTRIBUTED AND PERMANENTLY ESTABLISHED.
10. TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND STATE REQUIREMENTS.
11. SITESWORK CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT IN DETENTION PONDS AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
12. ALL DISTURBED AREAS OUTSIDE OF EXISTING AND PROPOSED PAVEMENT SHALL RECEIVE TEMPORARY AND PERMANENT SEEDING IN ACCORDANCE WITH LOCAL REGULATIONS.

DAVID E. TOURING, P.E.

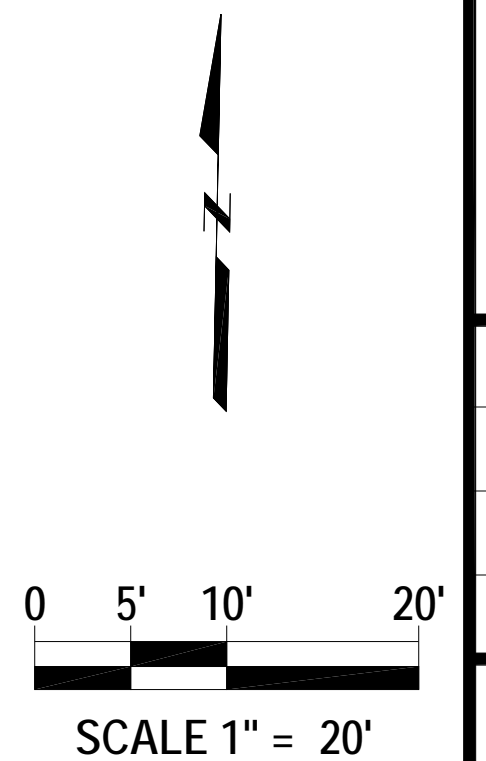
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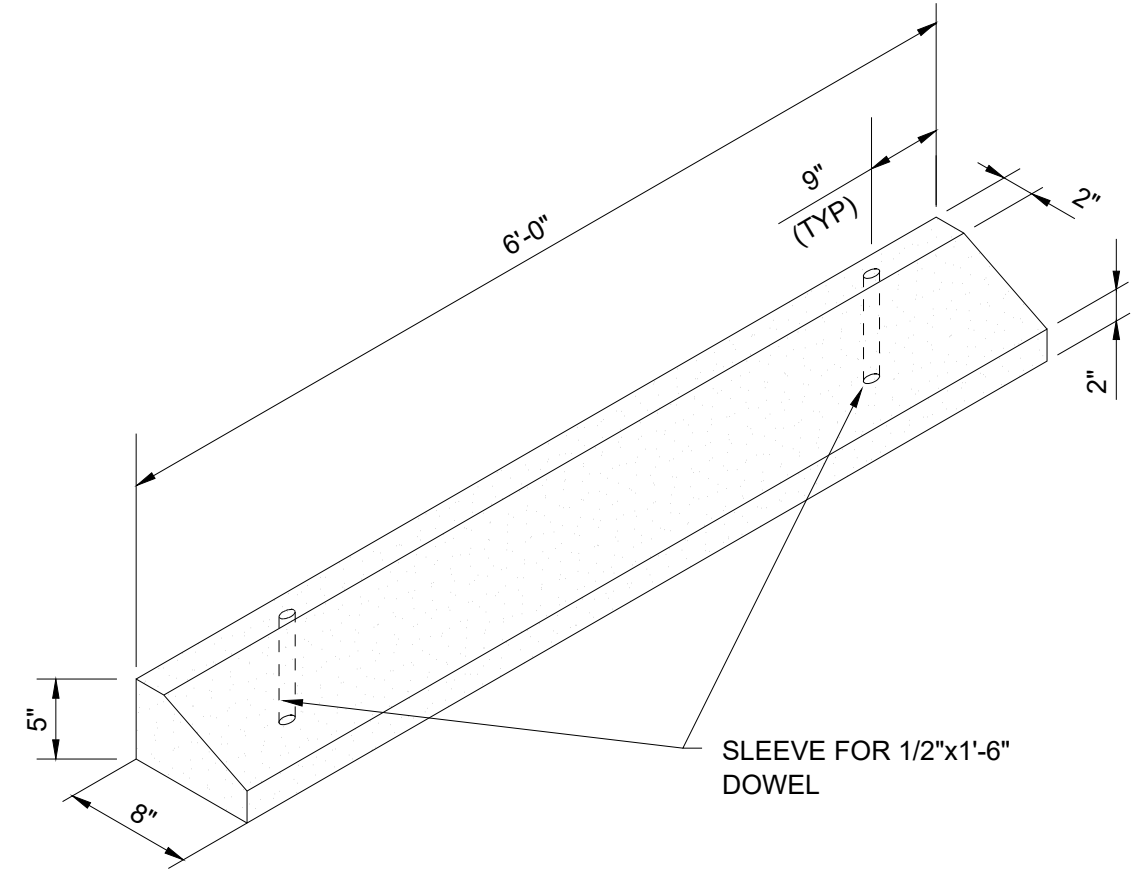
FRUIT COVE PLAZA
OUTSIDE SEATING AREA
 540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

GRADING PLAN

JOB NO. 23-0020
 DRAWN BY: APAZ
 CHECKED BY: DT
 SCALE: 1" = 20'

C-05
 SHEET NO.

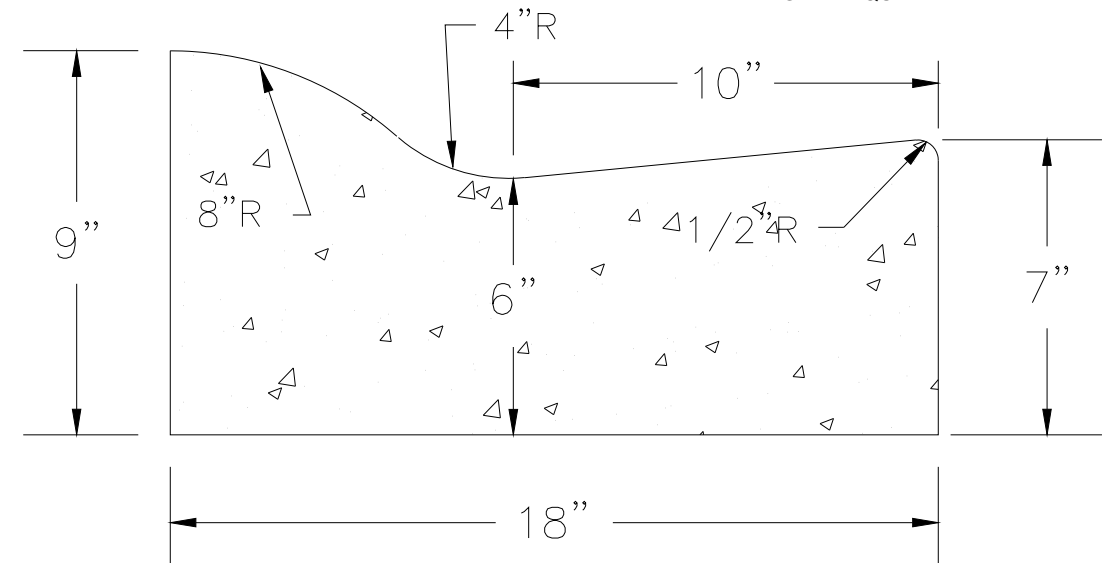




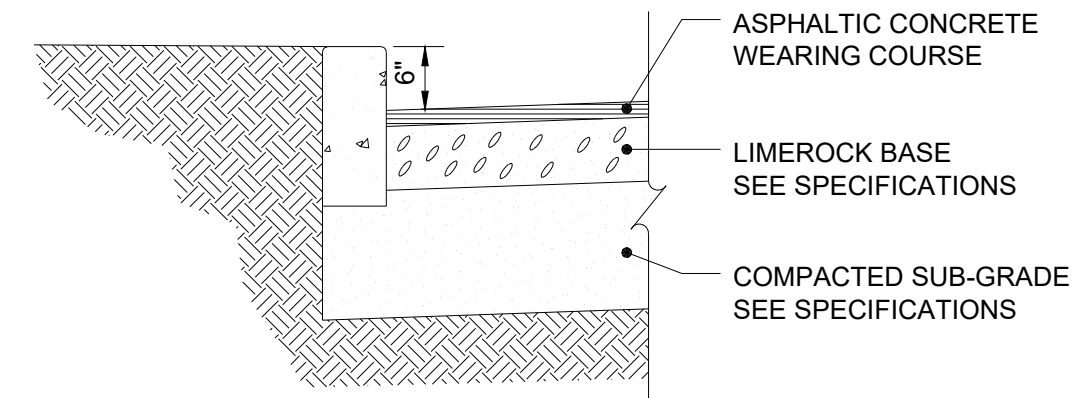
1 WHEELSTOP DETAIL
N.T.S.

NOTES:

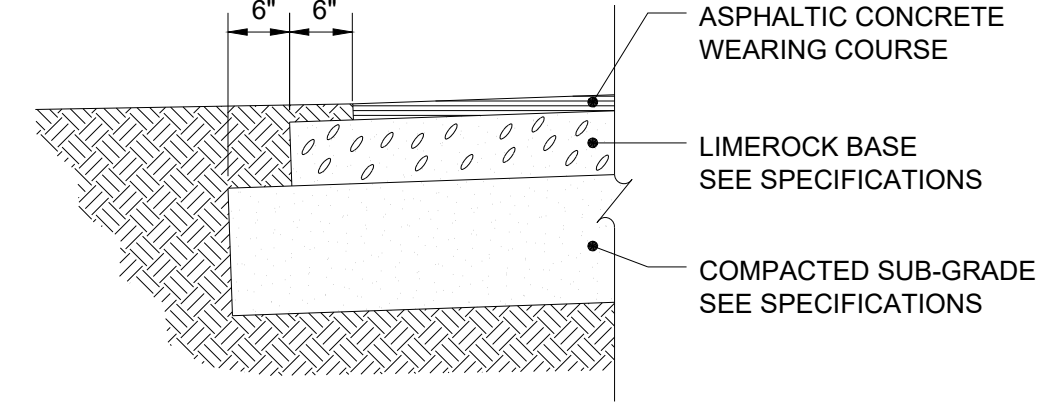
1. WHEN USED ON HIGH SIDE OF PAVEMENT THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6". UNLESS OTHERWISE SHOWN ON THE PLANS.
2. SEE SPECIFICATIONS FOR CONCRETE TYPE AND STRENGTH REQUIREMENTS.



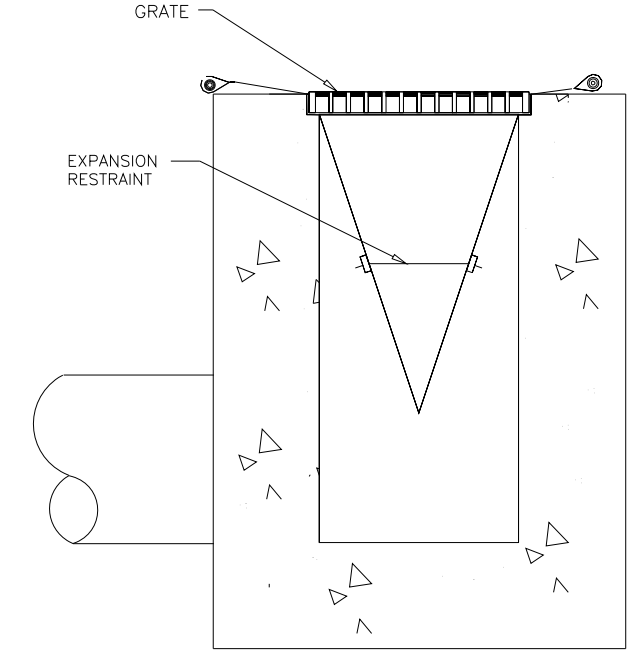
2 MOUNTABLE (MIAMI) CURB
N.T.S.



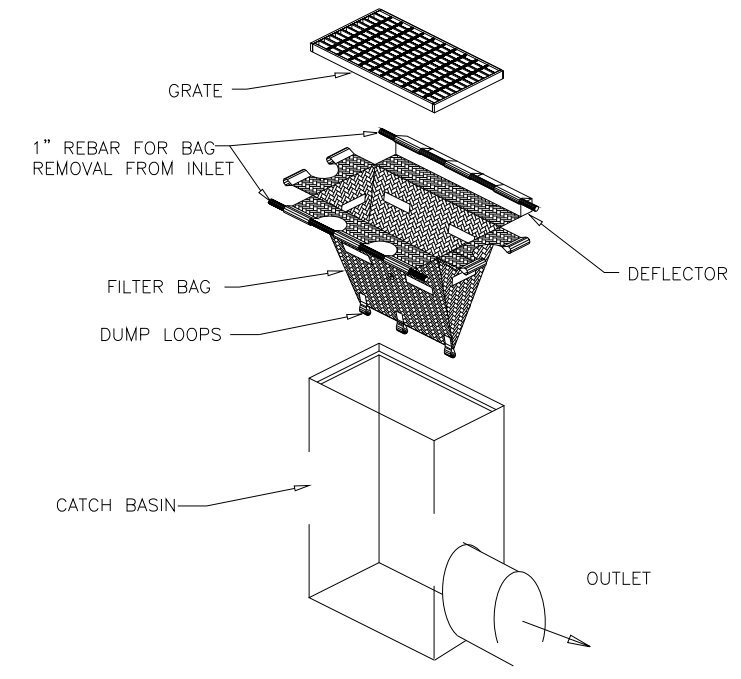
HEADER CURB OR CURB AND GUTTER



NO CURBING



SECTION



INSTALLATION

NOTES

1. INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
2. FILTER TYPES SHALL BE APPROVED BY THE INSPECTOR PRIOR TO INSTALLATION.
3. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
4. FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE.
5. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
6. FILTER BAGS SHALL NOT BE ALLOWED IN EXISTING TOWN OR NCDOT ROADS.

PAVEMENT STRUCTURE THICKNESS TABLE

TYPE	SUB-GRADE	BASE	WEARING COURSE
AUTO PAVEMENT	12"	6"	1 1/2"
TRUCK PAVEMENT	12"	8"	2"
R/W PAVEMENT	12"	6"	1 1/2"

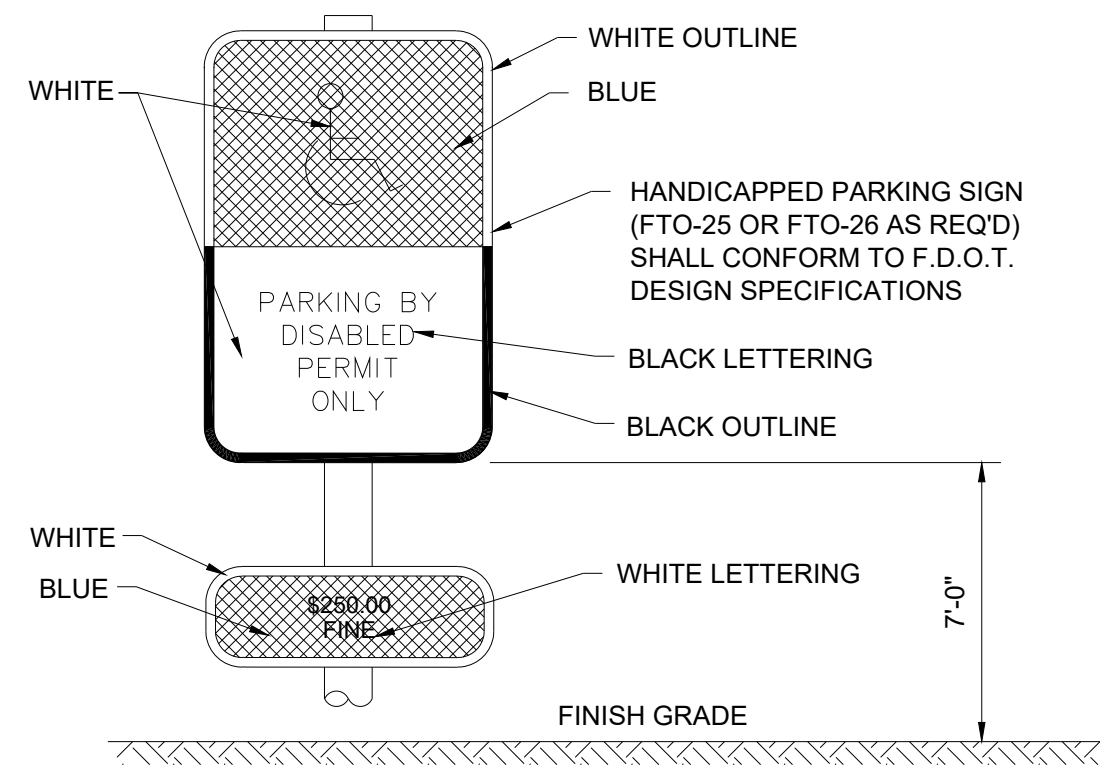
4 ASPHALT PAVEMENT
N.T.S.

6 CATCH BASIN
INLET PROTECTION
N.T.S.

NOTES:

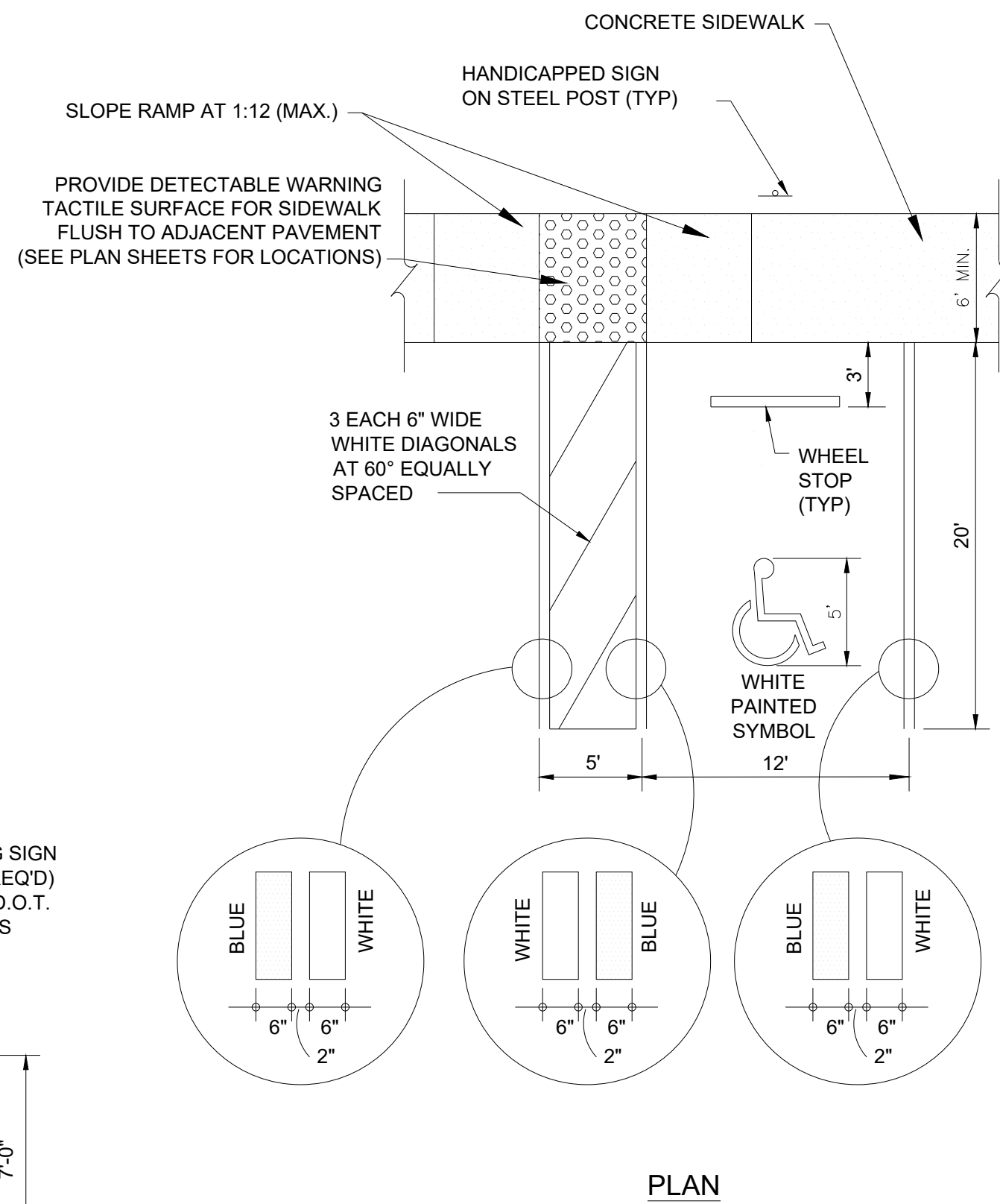
1. MEASURE THE 12" AND 5" WIDTHS FROM THE CENTERLINE OF EACH SIDE 4" WIDE BLUE STRIPE
2. LEFT SIDE ACCESS AISLE SHOWN, RIGHT SIDE ACCESS AISLE IS TYPICAL TO OPPOSITE SIDE OF PARKING SPACE.
3. ALL DETECTABLE WARNING SURFACES REQUIRED BY THE CODE SHALL BE COVERED BY THE REQUIREMENTS OF AMERICAN NATIONAL STANDARDS INSTITUTE A117.1-1986.

(1) DETECTABLE WARNING TEXTURES ON WALKING SURFACES SHALL CONSIST OF EXPOSED AGGREGATE CONCRETE, CUSHIONED SURFACES MADE OF RUBBER OR PLASTIC, RAISED STRIPS. TEXTURES SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACES. RAISED STRIPS OR GROOVES SHALL COMPLY WITH THE CURRENT ISSUE OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.

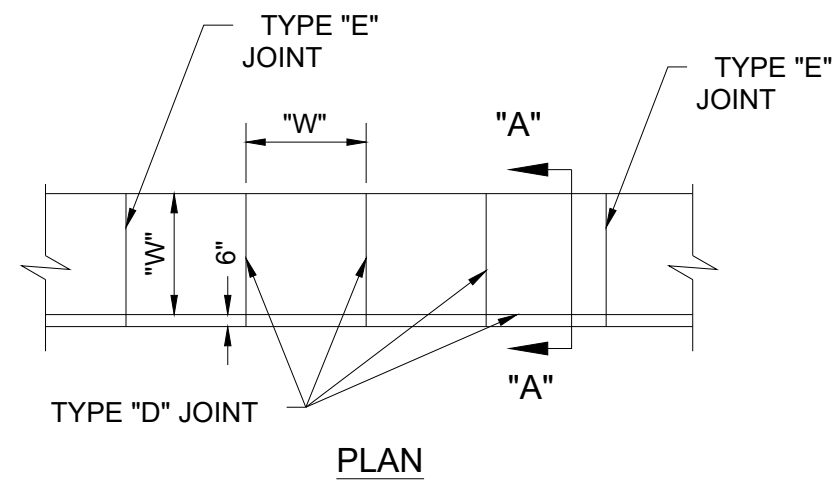


SIGN DETAIL

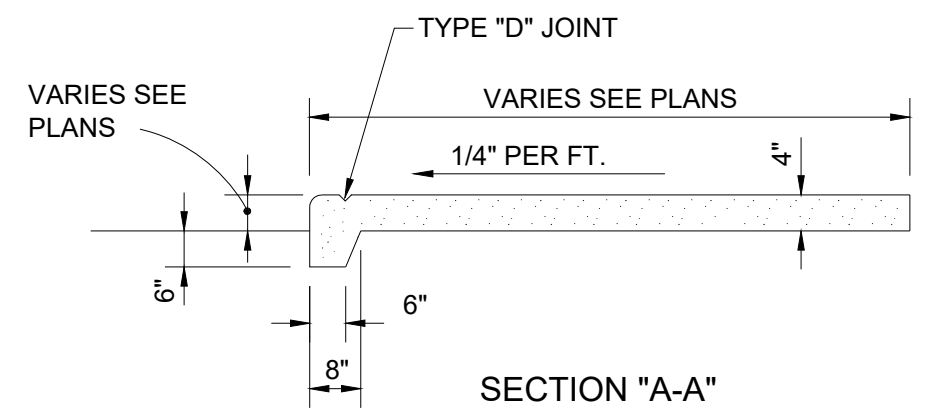
3 A.D.A. PARKING SPACE
N.T.S.



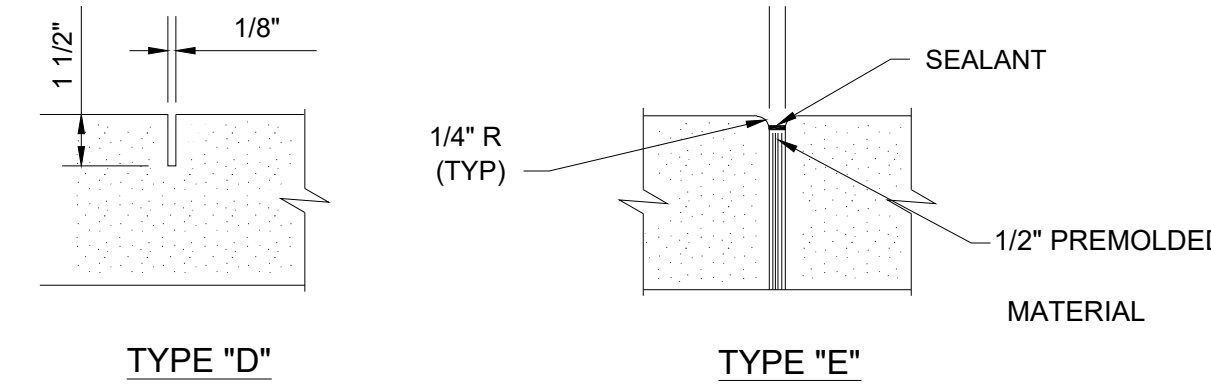
PLAN



PLAN



SECTION "A-A"



TYPE "D"

TYPE "E"

TABLE OF SIDEWALK JOINTS

TYPE	LOCATION
"D"	TRANSVERSE JOINT AT INTERVALS EQUAL TO THE SIDEWALK WIDTH EXCEPT EVERY FOURTH JOINT WHICH IS A TYPE "E" JOINT.
"E"	EVERY FOURTH TRANSVERSE JOINT, P.C AND P.T. OF CURVES, ABRUPT CHANGES IN DIRECTION AND WHERE NEW SIDEWALK ABUTS EXISTING SIDEWALK OR OTHER EXIST. CONCRETE SURFACE STRUCTURES.

NOTE: TYPE "D" JOINT MAY BE EITHER TOOLED IN WET CONCRETE OR SAWCUT WITHIN 18 HOURS OF PLACEMENT OF CONCRETE.

5 SIDEWALK
CONSTRUCTION DETAIL
N.T.S.

LANDSCAPE CALCULATIONS

REQUIRED LANDSCAPE, INTERIOR VUA
NEW VUA: 200 SF
REQUIRED: 20 SF
PROVIDED: 22+ SF
TREES: 1 TREE
SHRUBS: 121 FT @ 25% = 26 SF
26 SF @ 3 SF/SHRUB = 9 SHRUBS
TREES: 1 TREE

MITIGATION CALCULATIONS

TOTAL TREES TO BE REMOVED = 0
TREES TO BE REPLACED AT II
TOTAL TREES (INCHES) TO BE PROVIDED = 0

TOTALS:

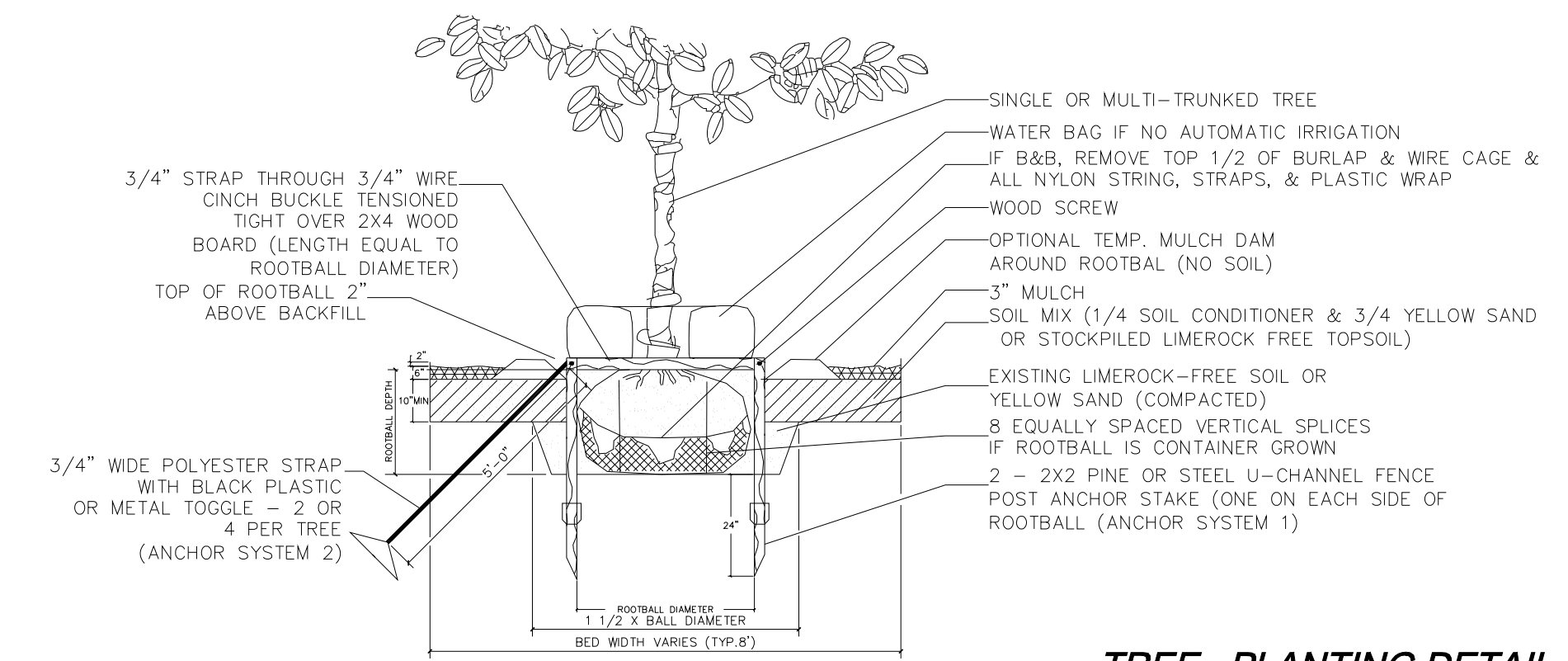
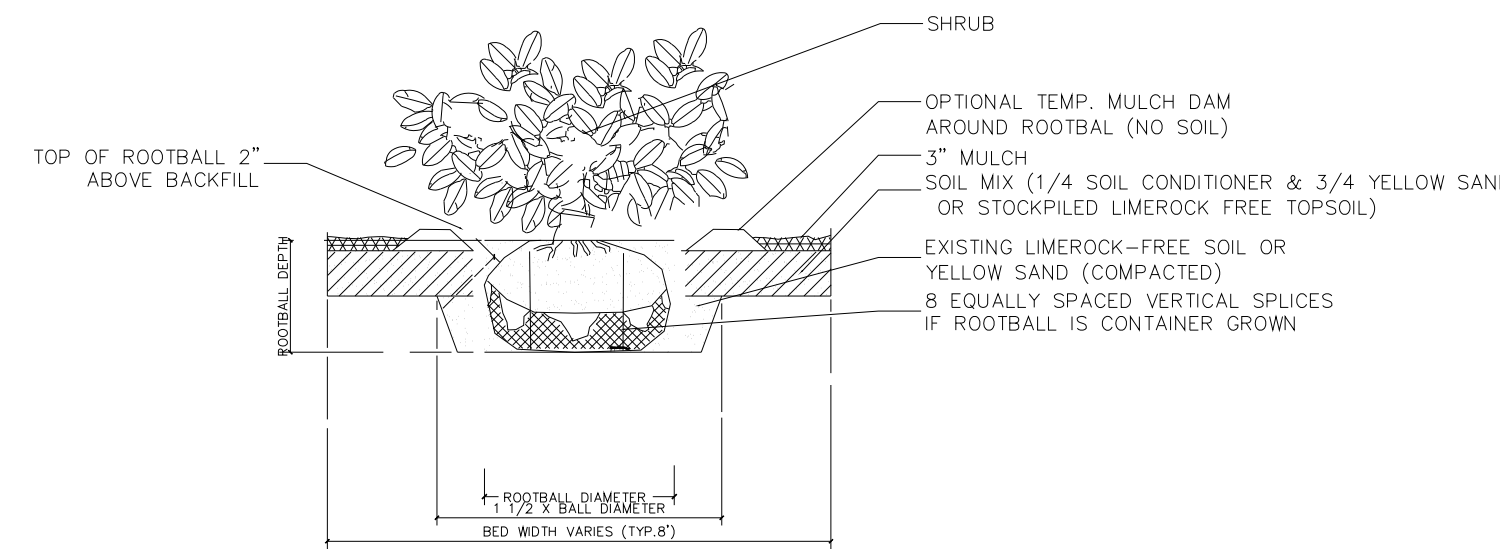
TOTAL TREES REQUIRED: 21 TREES (66 INCHES)
TOTAL TREES PROVIDED: 21 TREES (66 INCHES)
TOTAL SHRUBS REQUIRED: 35 SHRUBS
TOTAL SHRUBS PROVIDED: 35 SHRUBS

SHRUB CREDITS
27 SHRUBS TO REMAIN

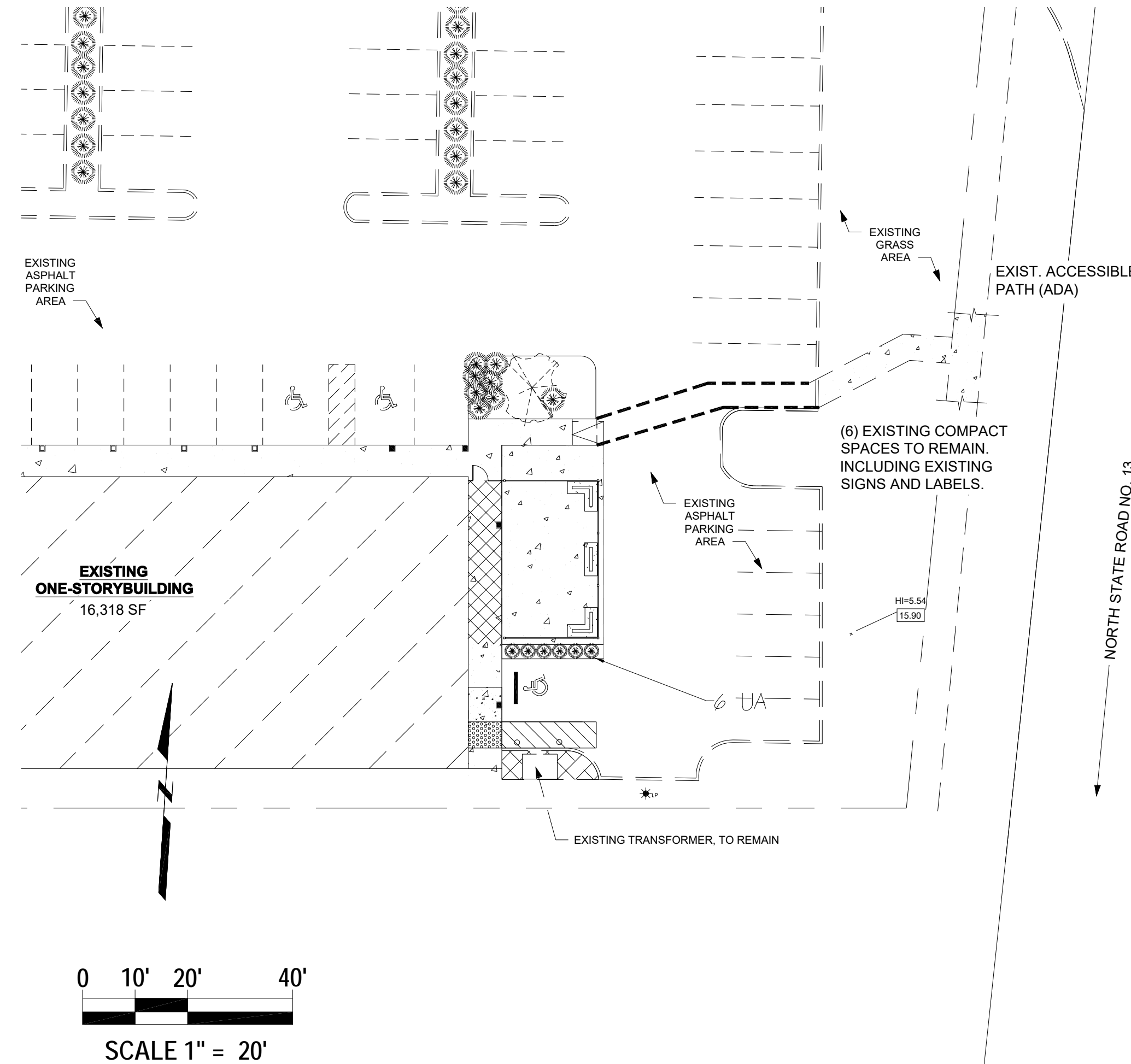
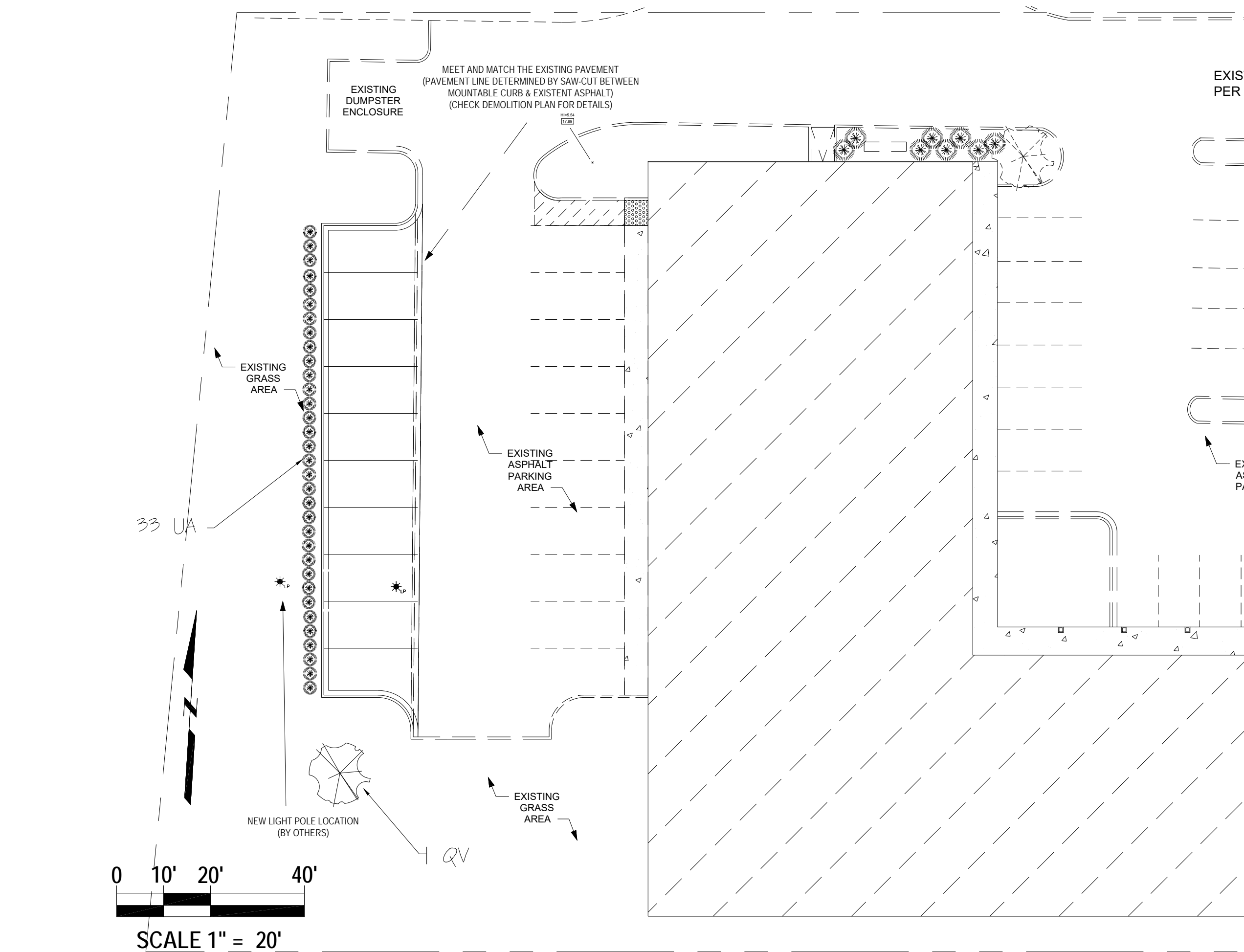
PLANT LIST

QTY	SYM	DESCRIPTION	SIZE	SPACING	* NOTES	INCHES
1	QV	QUERCUS VIRGINIANA "CATHEDRAL LIVE OAK"	14'-16' x 7'-9', 4" CAL., 6' CT., MATCHED	AS SHOWN	N, FYN, FF, WW	48
23	UA	DWARF WALTER'S VIBURNUM / VIRBURNUM OBOVATUM	18" ht. x 18" SPD. MINIMUL FULL 4 DENSE	3' OC.	N, FYN, FF, WW	8

*PLANT LIST LEGEND: N-NATIVE, FYN- FLORIDA YARDS & NEIGHBORHOODS 2006, FF- FLORIDA FRIENDLY, WW- WATER WISE 2008, OHE - JEA OVERHEAD ELECTRIC (ACCEPTABLE PLANT LIST)



NOTE:
IRRIGATION PROVIDED BY EXISTING SYSTEM.
NO ADDITIONAL IRRIGATION IS PROPOSED.



LANDSCAPE AND IRRIGATION PLAN

LANDSCAPE AND IRRIGATION PLAN

FILE LOCATION: Z:\Active\JAA_Fruit Cove Plaza_23\020\DWG\JAA_Fruit Cove Plaza_23_020.dwg LAST SAVED: 7/18/2023 3:16 PM LAST PLOTTED: 7/19/2023 3:21 PM BY: DAVID TOURING, PE

THE TOURING COMPANY, INC.
CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
CERTIFICATE OF
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14296-B BEACH BLVD., UNIT 305
JACKSONVILLE, FLORIDA 32250
(P) 904.614.3302 (F) 904.223.3045

FRUIT COVE PLAZA
OUTSIDE SEATING AREA
640 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

LANDSCAPE AND IRRIGATION PLAN

JOB NO. 23-0020
DRAWN BY: APAZ
CHECKED BY: DET
SCALE: AS SHOWN

LI-01
SHEET NO.



4 DINING VIEW
A002 12" = 1'-0"



3 CANOPY VIEW
A002 12" = 1'-0"



1 FRONT VIEW
A002 12" = 1'-0"



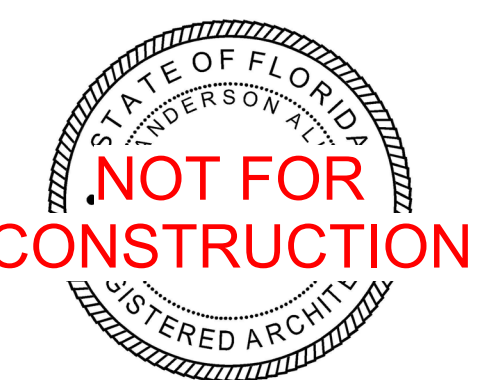
JAA ARCHITECTURE INC.
2716 ST. JOHN'S AVE.
JACKSONVILLE FL. 32205
P: (904) 379-5108
E: JOHN@JAAARCHITECTURE.COM
LIC. AR92748

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NEW OUTDOOR SEATING AREA
BELLA VISTA
540 STATE ROAD 13 NORTH
FRUIT COVE, FLORIDA 32259

REVISIONS

#	DATE	DESCRIPTION



DATE: 3.1.2023
SHEET: PERSPECTIVE RENDERING

A002

ATTACHMENT 2
Final Draft Orders



ORDER
ST. JOHNS COUNTY, FLORIDA
PLANNING AND ZONING AGENCY

RE: Bella Vista
540 State Road 13 N
Suite 10
St. Johns, FL 32259

FILE NUMBER: SUPMAJ 2023-10

LEGAL: Exhibit A

SITE PLAN: Exhibit B

PARCEL ID: 005145-0000

DATE OF HEARING: October 5, 2023

ORDER GRANTING SPECIAL USE APPROVAL

The above referenced application for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within a Residential Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B, specifically located at 540 State Road 13 N., came before the Planning & Zoning Agency for public hearing on October 5, 2023.

FINDINGS OF FACT

Having considered the application, along with supporting documents; the Staff report prepared by staff; statements by the applicant; and all evidence presented during public hearing, the Agency finds as follows:

1. The Special Use can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the St. Johns County Comprehensive Plan or Land Development Code.
2. The Use is compatible with the contiguous and surrounding area and will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent uses or on community facilities or services.

3. The use, which is listed as a Special Use in the Commercial General (CG) zoning district complies with all required regulations and standards of Article II of the Land Development Code.
4. The request is in compliance with Section 2.03.01.A, Section 2.03.02, and Article XII of the Land Development Code.
5. The request is not in conflict with the Future Land Use Map designation of Residential-B.
6. The requested Use, although not generally appropriate or without restriction throughout the zoning district, when controlled as to the number, location and relationship to the neighborhood, promotes the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity, or the general welfare of the residents of the area.
7. The requested Use is not in conflict with the development patterns of the area.
8. The applicant, at the public hearing, has stated no objections to the proposed conditions.

NOW THEREFORE, based on the said Findings of Fact, the Agency hereby grants Special Use Permit to allow for the on-site sale and consumption of beer and wine under the regulation of the State of Florida Type 2COP license pursuant to Section 2.03.02 of the Land Development Code, specifically located at 540 State Road 13 N came before the Planning & Zoning Agency for public hearing on October 5, 2023, subject to the following conditions:

1. The Special Use Permit is granted to Bella Vista, doing business at 540 State Road 13 N. and shall be non-transferable to any other location or entity.
2. Approval is for the Use as regulated by the State of Florida Type 2COP license, specifically for on-site sales and consumption.
3. Sales and consumption area shall be limited to the area designated for such on the Site Plan labeled as **Exhibit B** submitted by the applicant and made a part of this application.
4. The hours of operation for the on-site sale and consumption of beer and wine are as follows:
 - a. Tuesday through Thursday: 4:00 PM- 9:00 PM
 - b. Saturday: 11:00 AM- 10:00 PM
 - c. Sunday: 11:00 AM- 8:00 PM
5. Special Use Permit shall be governed by the St. Johns County Alcohol Beverage Ordinance (Ord. 1990-48) as may be amended.
6. Special Use Permit shall be governed by the St. Johns County Sale or Service to persons under Twenty-One Ordinance (Ord. 2011-46) as may be amended.
7. Applicant agrees that St. Johns County may inspect the site for compliance with the Final Order and all other relevant requirements at the time the Special Use is being exercised.
8. This approval of the Special Use Permit may be revoked by the County Administrator or designee, at his/her sole discretion, upon a determination of violation of the conditions set forth herein or

a violation of any Federal, State or Local law or regulation. Appeals of decisions by the County Administrator or designee to revoke the Special Use Permit may be appealed to the Board of County Commissioners.

9. The Special Use Permit is granted under the condition of continual use. A Special Use Permit that, once commenced, remains idle, discontinued or unused for a continuous period of one (1) calendar year shall no longer be valid and all rights granted herein shall become null and void.
10. Approval of the Special Use Permit does not release the project from adherence to all relevant requirements of the St. Johns County Land Development Code, Comprehensive Plan, Florida Building Code, and any other Agency having jurisdiction.
11. The application, supporting documents, conditions and limitations offered within the application and at the public hearing by the applicant (or representative) will be incorporated herein and shall become part of the Final Order, except as may be modified by preceding conditions and limitations.

This decision may be appealed to the St. Johns County Board of County Commissioners within thirty (30) days of the signing of this Order, pursuant to Section 9.07.03 of the Land Development Code.

Deed Restrictions, if any, are not affected by the actions of the Agency or this Order.

All applicable state or federal permits must be obtained before commencement of the development. Issuance of a development permit or development order by a county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

DATED THIS _____ DAY OF _____, 2023.

PLANNING AND ZONING AGENCY OF ST. JOHNS COUNTY FLORIDA

Chair/Vice-Chair

The undersigned Clerk to the Planning and Zoning Agency of St. Johns County, Florida certifies that the above Order of the Planning and Zoning Agency is a true and correct rendition of the Order adopted by said Agency as the same appears in the record of the Planning and Zoning Agency minutes.

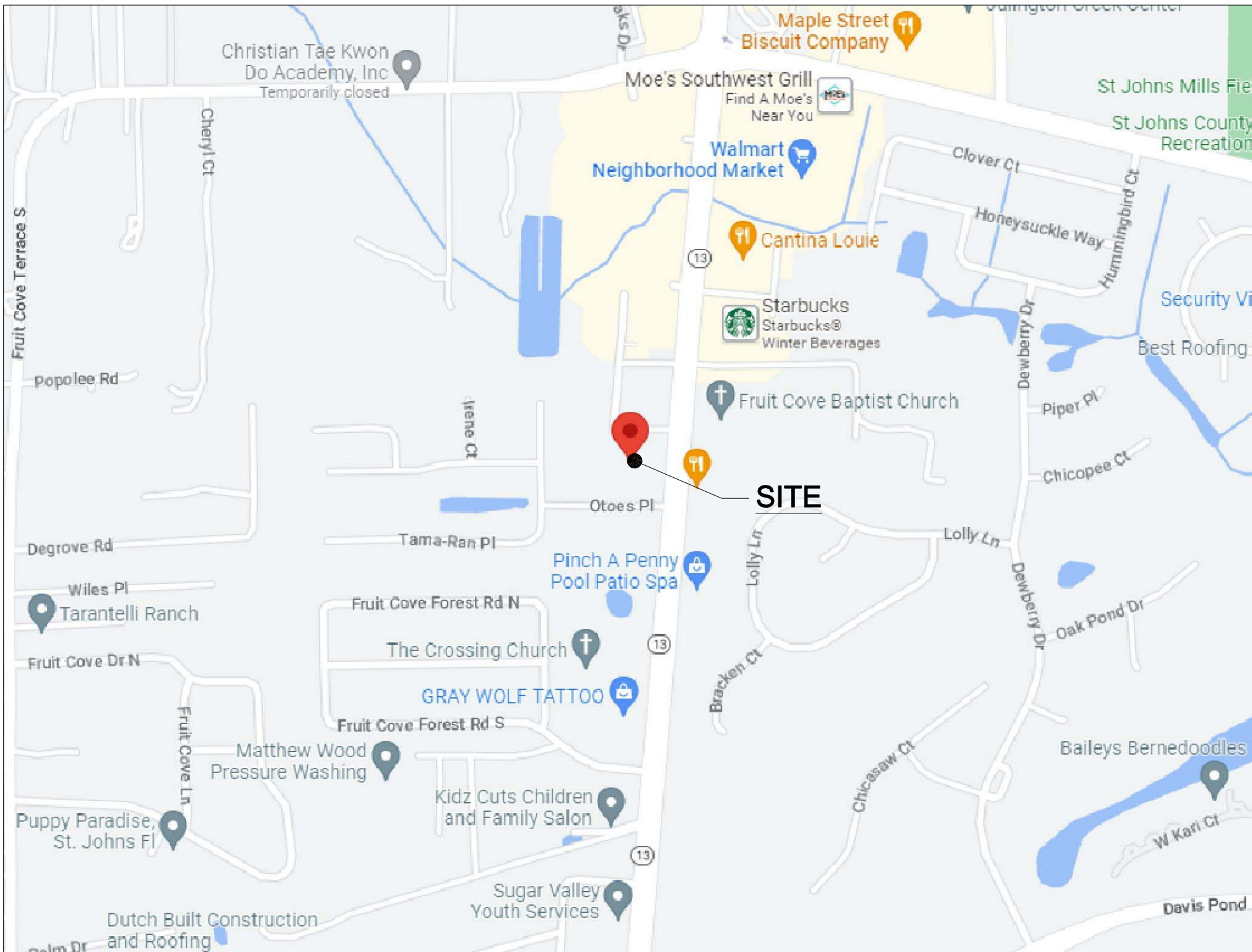
Clerk
Growth Management Department

Date Filed

FRUIT COVE PLAZA OUTSIDE SEATING AREA

CIVIL ENGINEERING LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	CENTERLINE
---	---	LOT LINE
---	---	FENCE
---	---	BUILDING
---	---	PAVEMENT LINE/SIDEWALK LINE
25.50	(25.50)	SPOT ELEVATIONS
25	25	CONTOURS
6"SA	6"SA	SANITARY SEWER/CLEANOUT
6"FW	6"FW	PROCESS WASTE
ST	ST	STORM SEWER
6"W	6"W	DOMESTIC WATER
6"F	6"F	FIRE MAIN
6"G	6"G	GAS MAIN
6"FM	6"FM	FORCE MAIN
UE	UE	UNDERGROUND ELECTRIC
OHE	OHE	OVERHEAD ELECTRIC
UT	UT	UNDERGROUND TELEPHONE
OT	OT	OVERHEAD TELEPHONE
UD	UD	UNDERDRAIN
FD	FD	FIRE HYDRANT
DCVA	DCVA	DOUBLE CHECK VALVE ASSEMBLY
RPB	RPB	RED. PRESSURE BACKFLOW PREV.
PIV	PIV	POST INDICATOR VALVE
V	V	VALVE
V&B	V&B	VALVE & BOX
M	M	MANHOLE
SR	SR	SPRINKLER RISER
WM	WM	WATER METER
CB	CB	CATCH BASIN
CI	CI	CURB INLET
FE	FE	FLARED END
ME	ME	MITERED END
CF	CF	CONCRETE FLUME
EW	EW	ENDWALLS
CP	CP	CONCRETE POWER POLE
WP	WP	WOOD POWER POLE
LP	LP	LIGHT POLE
T	T	TRANSFORMER
S-1	S-1	DRAINAGE STRUCTURE
SA-1	SA-1	SANITARY SEWER STRUCTURE
SC	SC	SECTION CUT
DR	DR	DETAIL REFERENCE
SF	SF	SILT FENCE
HB	HB	HAYBALE BARRIER
SB	SB	SOIL BORING LOCATION/NUMBER



VICINITY MAP
NTS

540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

SITE DATA

SITE ADDRESS:	540 ROUTE 13, ST. JOHNS COUNTY, FL	NAME OF AGENT:	THE TOURING COMPANY, INC. 14286-19 BEACH BLVD., UNIT 355 JACKSONVILLE, FLORIDA 32250 (904) 614-3302
NAME OF ENGINEER:	THE TOURING COMPANY, INC. 14286-19 BEACH BLVD., UNIT 355 JACKSONVILLE, FLORIDA 32250 (904) 614-3302	TOTAL SITE AREA:	1.83 ACRES
NAME OF SURVEYOR:	REPUBLIC NATIONAL 407 WEKIVA SPRINGS ROAD ST 101 LONGWOOD, FLORIDA 32779 (407)862-4200		

THE FLORIDA PROFESSIONAL ENGINEER NAMED HEREIN SHALL BE RESPONSIBLE FOR THE DRAWINGS LISTED IN THE SHEET INDEX BELOW IN ACCORDANCE WITH RULE 61G15-23-003 F.A.C. THESE SHEETS HAVE BEEN SIGNED AND SEALED USING A DIGITAL SIGNATURE BY DAVID E. TOURING, P.E. LICENSE NUMBER 53503. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC DOCUMENTS.

SHEET INDEX

C-00	COVER SHEET
C-01	GENERAL NOTES
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C-04	GEOMETRY AND LAYOUT PLAN
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CD-01	SITE DETAILS PLAN
L-01	LANDSCAPE PLAN

REVISED PERMIT ISSUE - 07-18-2023

DAVID E. TOURING,
P.E.

LICENSE #53503

FRUIT COVE PLAZA OUTSIDE SEATING AREA

THE TOURING COMPANY, INC.
CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
CERTIFICATE OF
AUTHORITY
NO. 28328

14286-19 BEACH BLVD., UNIT 355
JACKSONVILLE, FLORIDA 32250
(P) 904.614.3302 (F) 904.223.6045

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GENERAL NOTES

- 1. ALL DISTURBED AREAS SHALL BE SODDED OR SEEDED AND MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL ELEVATIONS OF EXISTING UTILITIES SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION...

EROSION & SEDIMENT CONTROL NOTES

- 1. ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMPs) TO CONTROL EROSION, SEDIMENTATION, AND THE POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.

SITE CLEARING AND GRADING NOTES

THE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS...

- 1. NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING, BARRICADES AND OTHER PROTECTIVE FENCING...

SITE PLAN & SUBDIVISION TESTING

- A. MATERIALS - THE INSPECTION AND TESTING OF MATERIALS AND FINISHED ARTICLES ARE TO BE INCORPORATED IN THE WORK SHALL BE MADE BY BUREAUS, LABORATORIES, OR AGENCIES APPROVED BY THE ENGINEER OF RECORD.

SPECIFICATIONS - SAMPLING, TESTING, AND LABORATORY METHODS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE AASHTO OR ASTM. WHERE AASHTO OR ASTM SPECIFICATIONS ARE USED, THE REFERENCE SHALL BE CONSTRUED TO BE THE MOST RECENT STANDARD SPECIFICATIONS OR TENTATIVE SPECIFICATIONS OF THE AASHTO OR ASTM IN FORCE ON THE DATE OF THE TEST.

TESTS & CERTIFICATES - THE CONTRACTOR SHALL ENGAGE AN APPROVED TESTING LABORATORY TO PROVIDE THE FOLLOWING TESTS AND CERTIFICATIONS SIGNED BY A REGISTERED ENGINEER OF THE STATE OF FLORIDA. ALL TECHNICIANS PERFORMING THE TESTS SHALL BE STATE CERTIFIED FOR THE TESTING PERFORMED.

- SOIL ANALYSIS FOR STRUCTURAL FILL MATERIAL PRIOR TO INSTALLATION.
• PROCTOR DENSITIES, MOISTURE CONTENT, COMPACTED FIELD DENSITIES, AND ATTERBERG LIMITS.
• ANALYSIS OF RECYCLED CONCRETE BASE MATERIAL PRIOR TO INSTALLATION.

WATER CONSTRUCTION NOTES (PRIVATE UTILITIES ONLY)

- 1. LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY POTABLE WATER SYSTEM CONSTRUCTION.

ROADWAY CONSTRUCTION NOTES

- 1. ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SITE PLAN SHALL BE IN CONFORMANCE WITH THE CITY, FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND THE FOOT AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).

- RESIDENTIAL STREETS WITH STATE & COUNTY ROADWAYS OR MAJOR THROUGHFARES WITHIN THE CITY \$5-50 FT.
• ENTRANCES TO COMMERCIAL SITES OFF OF THE CITY \$5 FT.
• INTERSECTIONS INTERIOR IN SUBDIVISIONS \$5 FT.

- 38. SHOULD THE COUNTY OR THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DETERMINE THAT LARGER RADII ARE WARRANTED WITHIN THEIR RIGHT-OF-WAY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE LARGER RADII.

DEVELOPMENT SERVICES DEPARTMENT ROADWAY CONSTRUCTION REQUIREMENTS

- 1. SOIL BORINGS BY A CERTIFIED TESTING LAB ARE REQUIRED WITHIN THE ROAD RIGHT-OF-WAY AT EVERY 200-FOOT INTERVALS AND TO A MINIMUM DEPTH OF 6 FEET. THE LOCATIONS MUST BE STAGGERED FROM THE RIGHT SIDE, LEFT SIDE OR CENTERLINE. AT THE DISCRETION OF THE TESTING LAB.

SANITARY SEWER NOTES (PRIVATE UTILITIES ONLY)

- 1. THE LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY SANITARY SEWER CONSTRUCTION.

TESTING REQUIREMENTS

- 22. THE CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY AT HIS OWN EXPENSE TO INSURE THAT COMPACTION OF ALL FILL MATERIAL IS COMPLETED PROPERLY. TESTS SHALL BE DONE ONE FOOT ABOVE THE PIPE AND THEN AT ONE FOOT VERTICAL INTERVALS UNTIL FINAL GRADE IS REACHED.

AS-BUILT DRAWING REQUIREMENTS

IN ORDER TO ENSURE THAT NEW SUBDIVISIONS AND SITE PLANS ARE CONSTRUCTED SUBSTANTIALLY IN ACCORDANCE WITH CITY REGULATIONS AND THE APPROVED DRAWINGS, THE FOLLOWING INFORMATION (WHERE APPLICABLE) IS REQUIRED ON ALL AS-BUILT DRAWINGS.

- 1. PAVEMENT AND CURB WIDTHS SHALL BE VERIFIED AND DIMENSIONED FOR EACH STREET AT EACH BLOCK. (FOR SUBDIVISIONS) AND AS APPROPRIATE TO CONFIRM PAVING LIMITS (ON SITE PLANS).

ADDITIONAL NOTES

- 1. THE NOTES ON THIS PAGE ARE GENERAL CONSTRUCTION NOTES ONLY AND DO NOT CONTAIN ALL CITY/COUNTY STANDARD CONSTRUCTION NOTES FOR WHICH THIS PROJECT IS LOCATED. REVIEW ALL PLANS FOR ANY ADDITIONAL CITY/COUNTY STANDARD CONSTRUCTION NOTES.

STORM DRAINAGE CONSTRUCTION NOTES

- 1. ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND THE FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).

POTABLE WATER/SANITARY SEWER MAINS SEPARATION NOTES (PRIVATE LINES ONLY)

- 1. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.

NOTE:

FOR ALL UTILITIES WITHIN A PUBLIC R.O.W., SEE ST JOHNS COUNTY UTILITY GENERAL NOTES, SHEET GN-1.

BY: DAVID TOURING, PE

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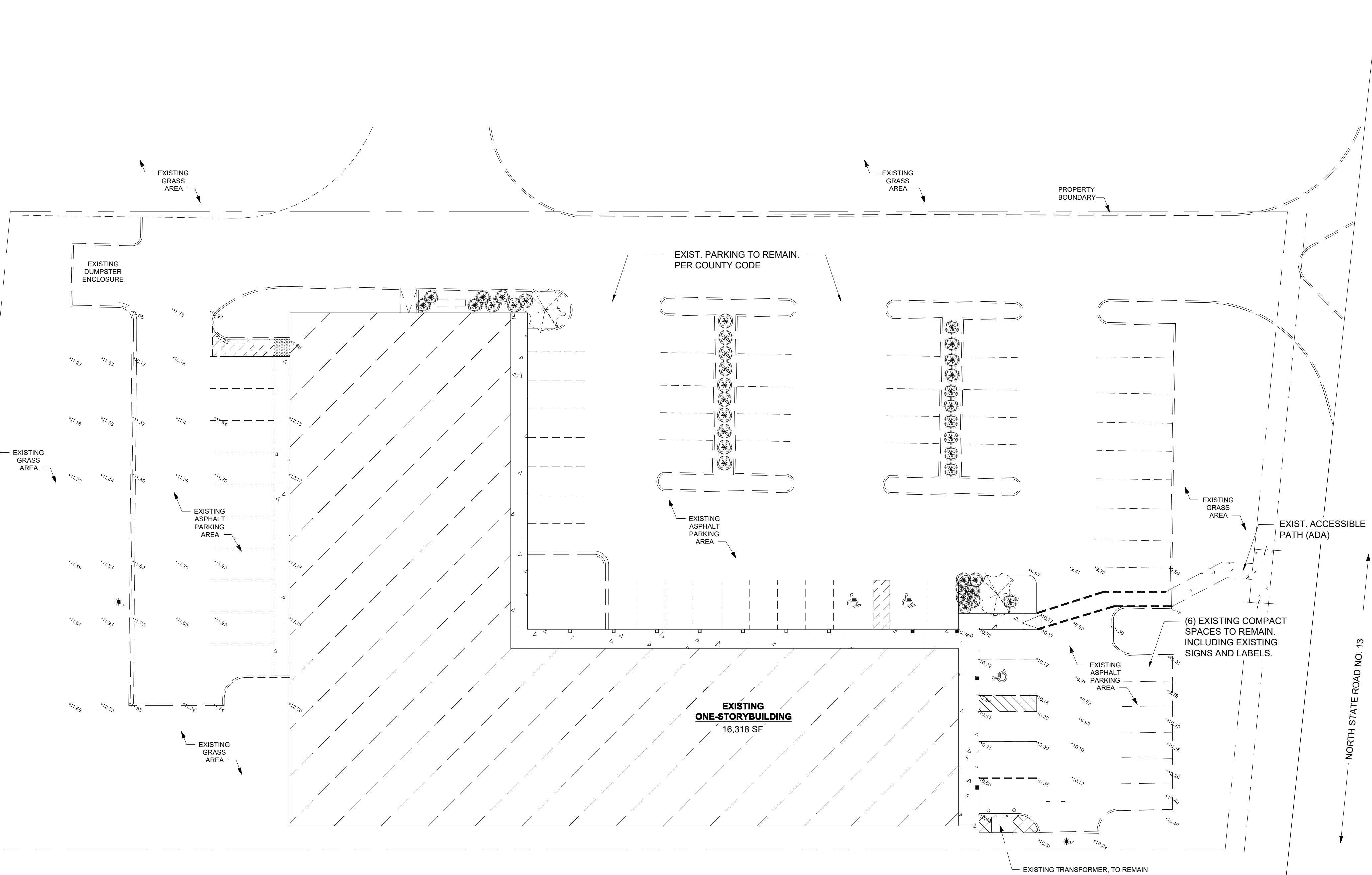
FRUIT COVE PLAZA OUTSIDE SEATING AREA 540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

JOB NO. 23-0020
DRAWN BY: APAZ
CHECKED BY: DT
SCALE: N.T.S.

GENERAL NOTES

C-01 SHEET NO.

THE TOURING COMPANY, INC. CIVIL AND MARINE CONSULTING. STATE OF FLORIDA CERTIFICATE OF AUTHORITY NO. 28328



NOTE: EXISTENT SITEPLAN CONDITIONS WAS MADE BASED ON SURVEY PERFORMED BY REPUBLIC NATIONAL LAND SURVEYORS, 407 WEKIVA SPRINGS ROAD SUITE 101, LONGWOOD, FLORIDA (407) 862-4200, DATED JULY 2014.

0 5' 10' 20'

SCALE 1" = 20'

THE TOURING COMPANY, INC.
CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
CERTIFICATE OF
AUTHORITY
NO. 28328

14388-50 BEACH BLVD., UNIT 355
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DAVID TOURING, P.E.
LICENSE #639503

REV.	DATE	BY	DESCRIPTION

FRUIT COVE PLAZA

OUTSIDE SEATING AREA

540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

EXISTING CONDITIONS

JOB NO. 23-0020

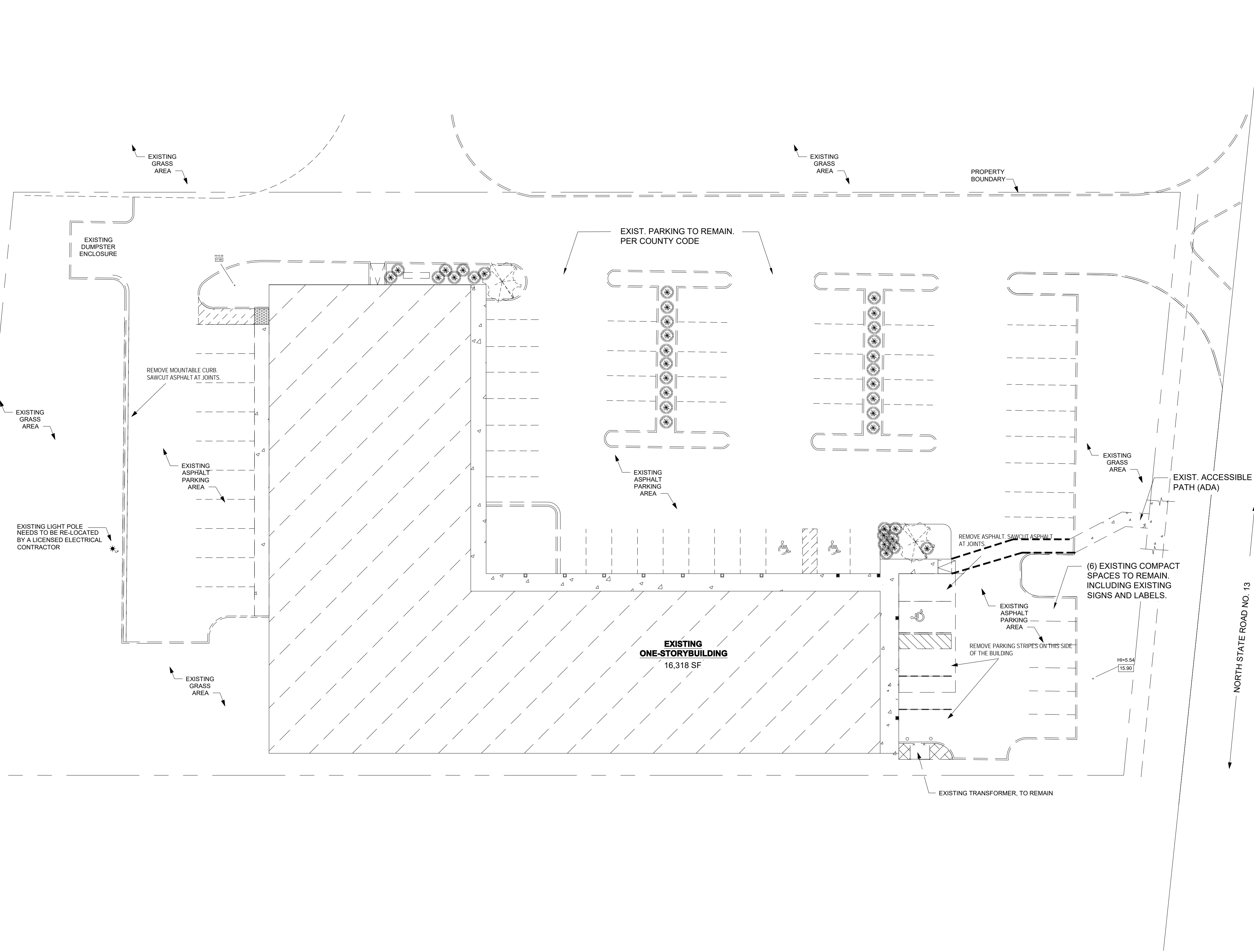
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C-02
SHEET NO.

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DEMOLITION NOTES

1. CONTRACTOR SHALL CALL "SUNSHINE 1-800-432-4770" 48 HOURS PRIOR TO ANY EARTHWORK AS REQUIRED BY FLORIDA STATE LAW .
2. NO DEMOLITION SHALL TAKE PLACE UNTIL EROSION CONTROL MEASURES HAVE BEEN TAKEN AND ARE IN PLACE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND MAINTAIN THE SILT FENCE AND OTHER EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PROCESS.
3. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS AND DEPTHS OF ALL EXISTING OVERHEAD & UNDER GROUND UTILITIES PRIOR TO DEMOLITION, CLEARING & GRUBBING OR ANY EARTHWORK.
4. CONTRACTOR TO CONTACT AND COORDINATE WITH THE CITY OF JACKSONVILLE /JEA /FDOT FOR THE REMOVAL OR RELOCATION OF ALL OVERHEAD UTILITY LINES, SUPPORT POLES & GUY WIRES PRIOR TO ANY DEMOLITION.
5. CONTRACTOR TO ENSURE ELECTRICAL POWER IS DISCONNECTED AT THE MAIN TRANSFORMER LOCATION PRIOR TO ANY DEMOLITION WORK.
6. DURING THE DEMOLITION, THE CONTRACTOR IS TO ENSURE THAT NO TREES ARE REMOVED OR OTHERWISE DISTURBED IF THEY ARE SHOWN TO REMAIN ON THE PLANS (SEE LANDSCAPE SHEETS FOR TREE DEMOLITION PLAN , IF APPLICABLE).
7. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL HAZARDOUS MATERIALS DISCOVERED ON-SITE SHALL BE HAULED AWAY AND DISPOSED OF IN COMPLIANCE WITH FLORIDA STATE LAWS & STANDARDS.

THE TOURING COMPANY, INC.
 CIVIL AND MARINE CONSULTING
 STATE OF FLORIDA
 CERTIFICATE OF AUTHORITY
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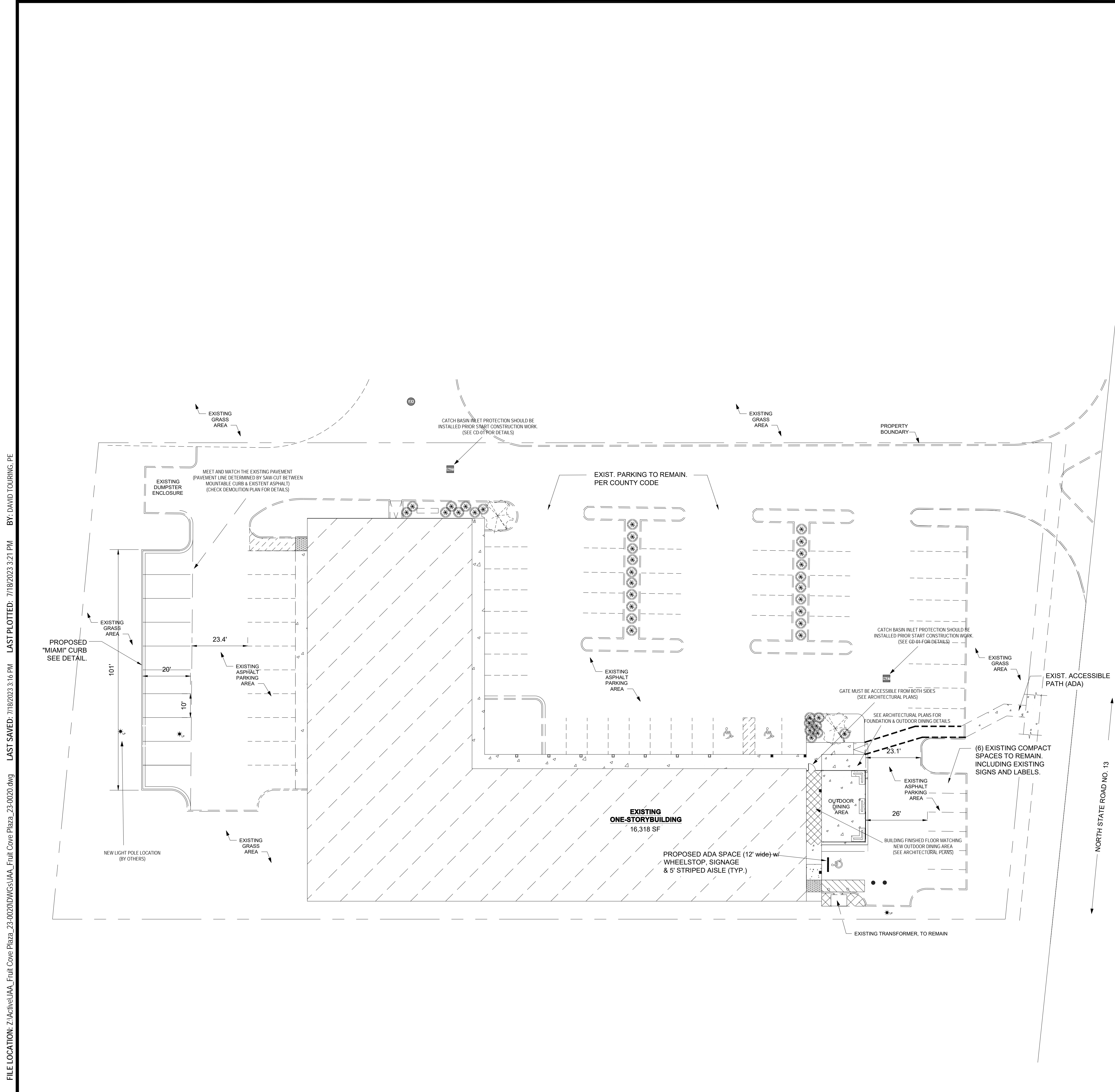
REV.	DATE	BY	DESCRIPTION

FRUIT COVE PLAZA
OUTSIDE SEATING AREA
 540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

DEMOLITION PLAN

JOB NO. 23-0020
 DRAWN BY: APAZ
 CHECKED BY: DT
 SCALE: 1" = 20'

C-03
 SHEET NO.

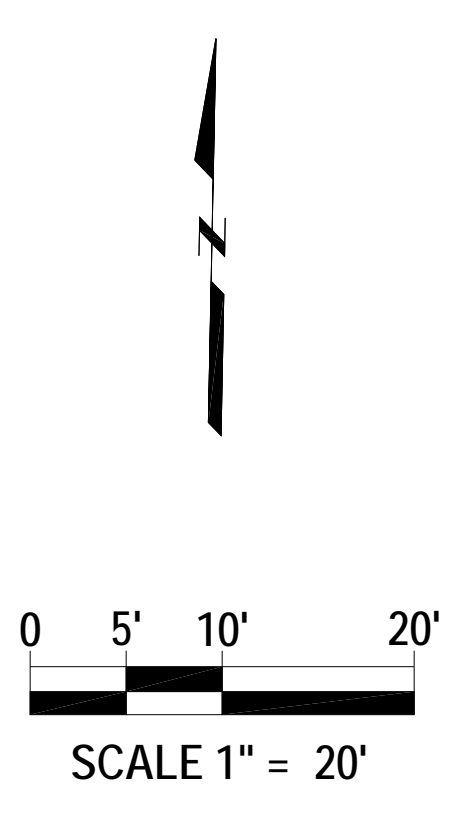


PARKING AND BUILDING SUMMARY:
 RESTAURANT ADDITION
 ADDITIONAL SEATING - 32 SEATS

PARKING REQUIREMENTS:
 RESTAURANTS - ONE SPACE FOR EACH 4 PATRON SEATS (including indoor and outdoor patron seating)

SPACES REMOVED = 2
 TOTAL REQUIRED = 8 + 2 = 10
 TOTAL ADDITIONAL PROVIDED = 10 SPACES

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 CIVIL AND MARINE CONSULTING
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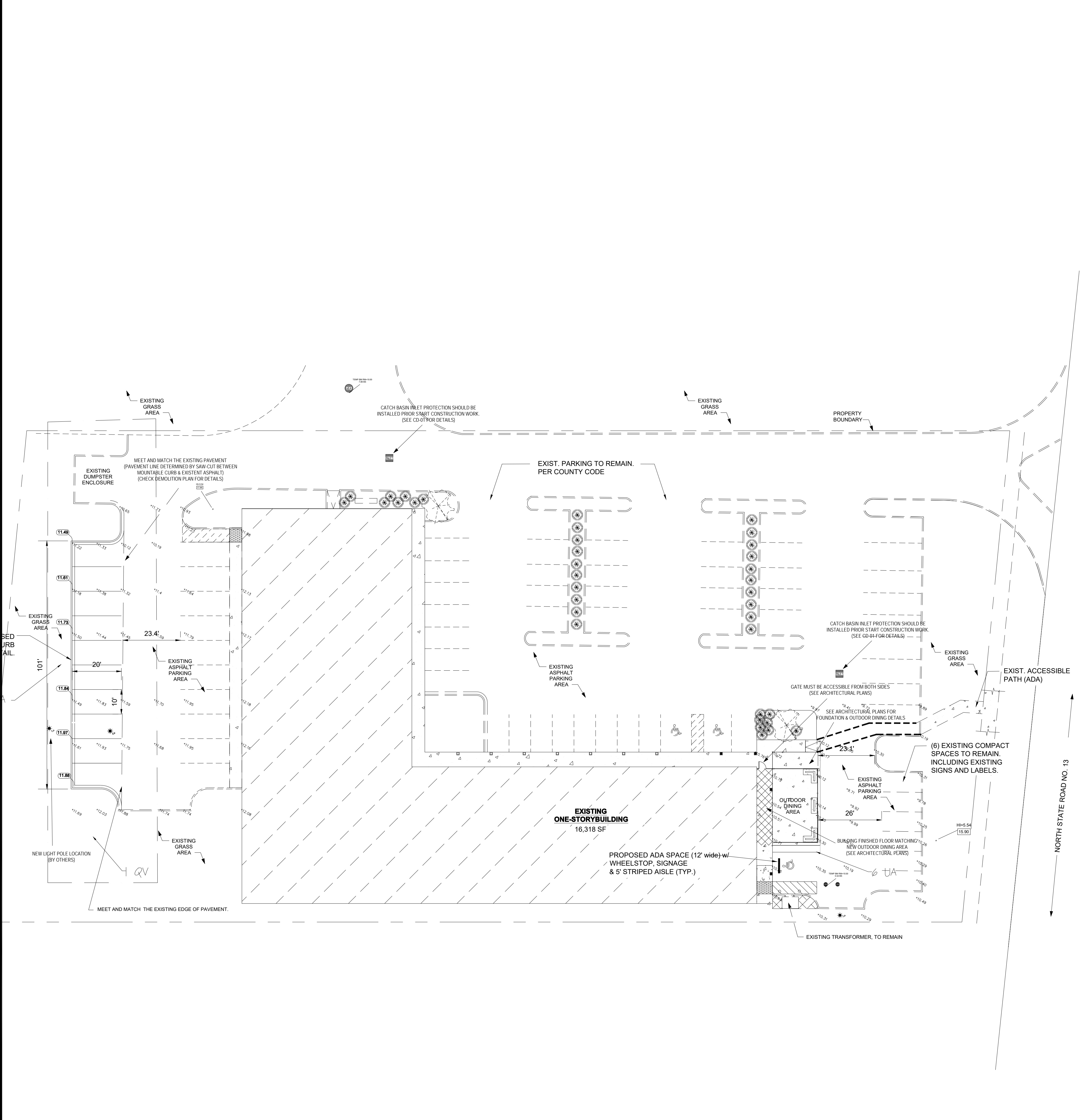
LICENSE #636303

FRUIT COVE PLAZA
OUTSIDE SEATING AREA
 540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

SITE GEOMETRY & LAYOUT PLAN

JOB NO. 23-0020
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 SCALE: 1" = 20'

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GRADING NOTES:

1. PROPOSED SPOT ELEVATIONS ARE FOR FINISHED GRADE AND NEEDS TO MEET AND MATCH THE EXISTING EDGE OF PAVEMENT NEW SPOT ELEVATIONS TO BE SLOPED TO EXISTING PAVEMENT.
2. PAVEMENT GRADES ARE CUTTER LINE GRADES AS INDICATED. TOP OF CURB IS PLUS 6" WHERE APPLICABLE.
3. ANY CONSTRUCTION IN CITY OR COUNTY RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE COUNTY DAILY FROM 7:30 A.M. TO 8:30 A.M., WHEN WORKING IN THE RIGHT OF WAY.
4. THE SIDEWALK MUST MAINTAIN A MAXIMUM SIDE SLOPE OF 2% THROUGH THE ENTRANCE.
5. SEE FEMA F.I.R.M. PANEL NO. 125027-12109C-0082H FOR SPECIAL INFORMATION REGARDING SPECIAL FLOOD HAZARD LOCATIONS, BASE FLOOD ELEVATIONS AND FLOOD ZONE BOUNDARIES AND LOCATIONS.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
4. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
5. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
6. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
7. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
8. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
9. THE SITESWORK CONTRACTOR WILL BE REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES INTO THE PROJECT AT THE EARLIEST PRACTICAL TIME DURING CONSTRUCTION. THE EROSION CONTROL MEASURE DETAILED HEREIN SHALL BE CONTINUED UNTIL THE PERMANENT DRAINAGE FACILITIES HAVE BEEN CONSTRUCTED AND UNTIL ALL DISTURBED AREAS HAVE BEEN REESTABLISHED SO AS TO ESTABLISH AN EFFECTIVE EROSION DETERRENT. ALL COLLECTED SEDIMENT REMOVED FROM IMPOUNDMENT AREAS SHALL BE EVENLY DISTRIBUTED AND PERMANENTLY ESTABLISHED.
10. TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND STATE REQUIREMENTS.
11. SITESWORK CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT IN DETENTION PONDS AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
12. ALL DISTURBED AREAS OUTSIDE OF EXISTING AND PROPOSED PAVEMENT SHALL RECEIVE TEMPORARY AND PERMANENT SEEDING IN ACCORDANCE WITH LOCAL REGULATIONS.

THE TOURING COMPANY, INC.
CIVIL AND MARINE CONSULTING

STATE OF FLORIDA
CERTIFICATE OF
AUTHORITY
NO. 24828

14298-S BEACH BLVD., UNIT 355
JACKSONVILLE, FLORIDA 32250
(P) 904.614.3302 (F) 904.223.3045

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DAVID E. TOURING, P.E.
LICENSE #639503

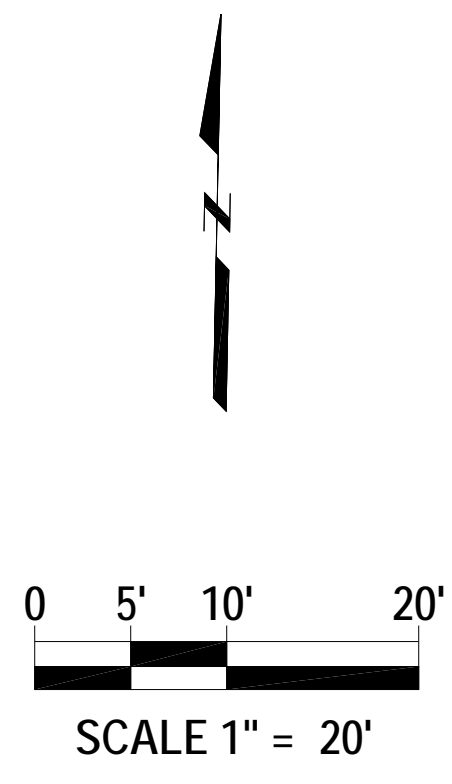
REV.	DATE	BY	DESCRIPTION

FRUIT COVE PLAZA
OUTSIDE SEATING AREA
540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

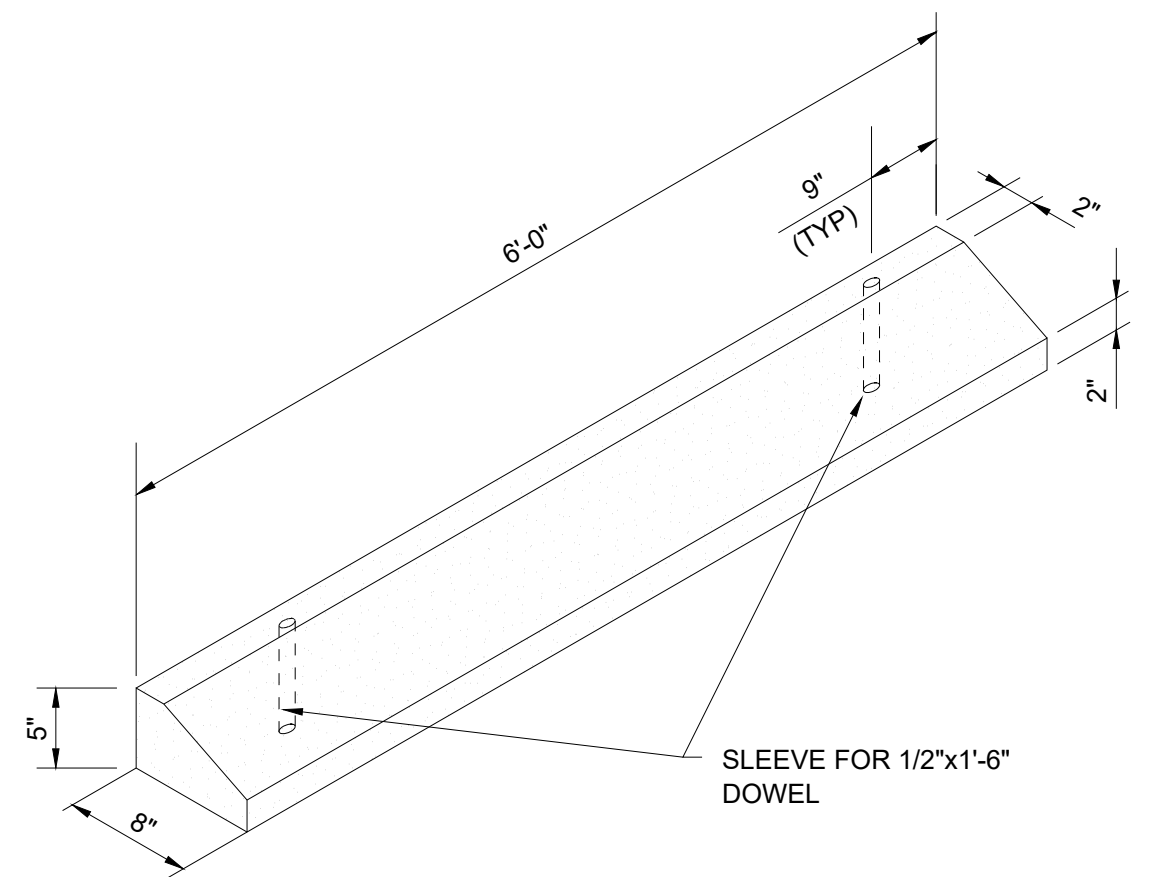
GRADING PLAN

JOB NO. 23-0020
DRAWN BY: APAZ
CHECKED BY: DT
SCALE: 1" = 20'

C-05
SHEET NO.



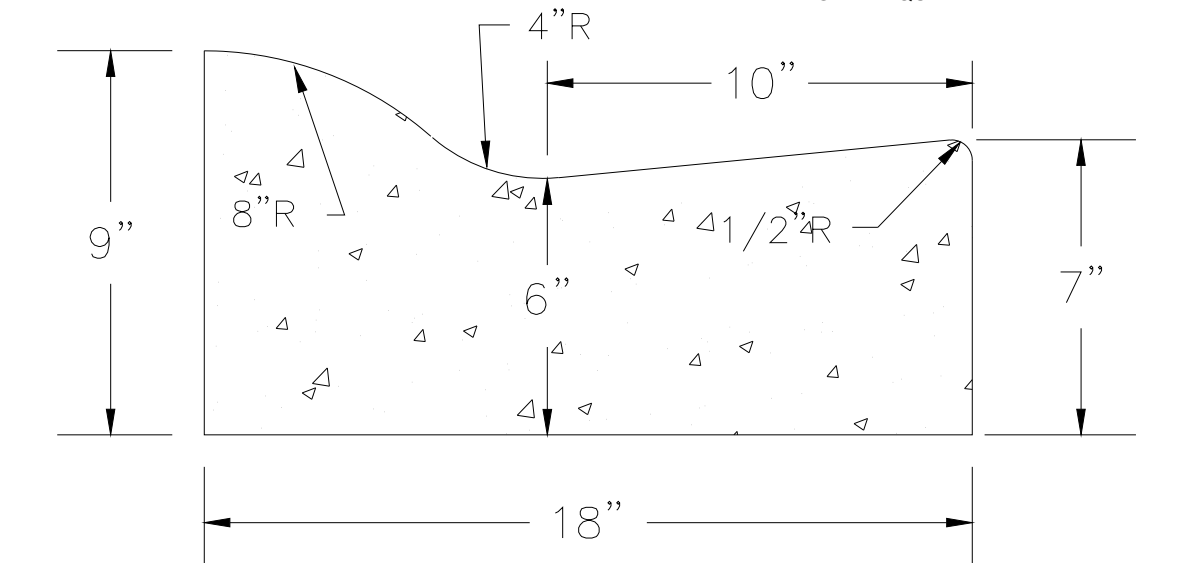
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LAST PLOTTED: 7/19/2023 3:21 PM
BY: DAVID TOURING, P.E.



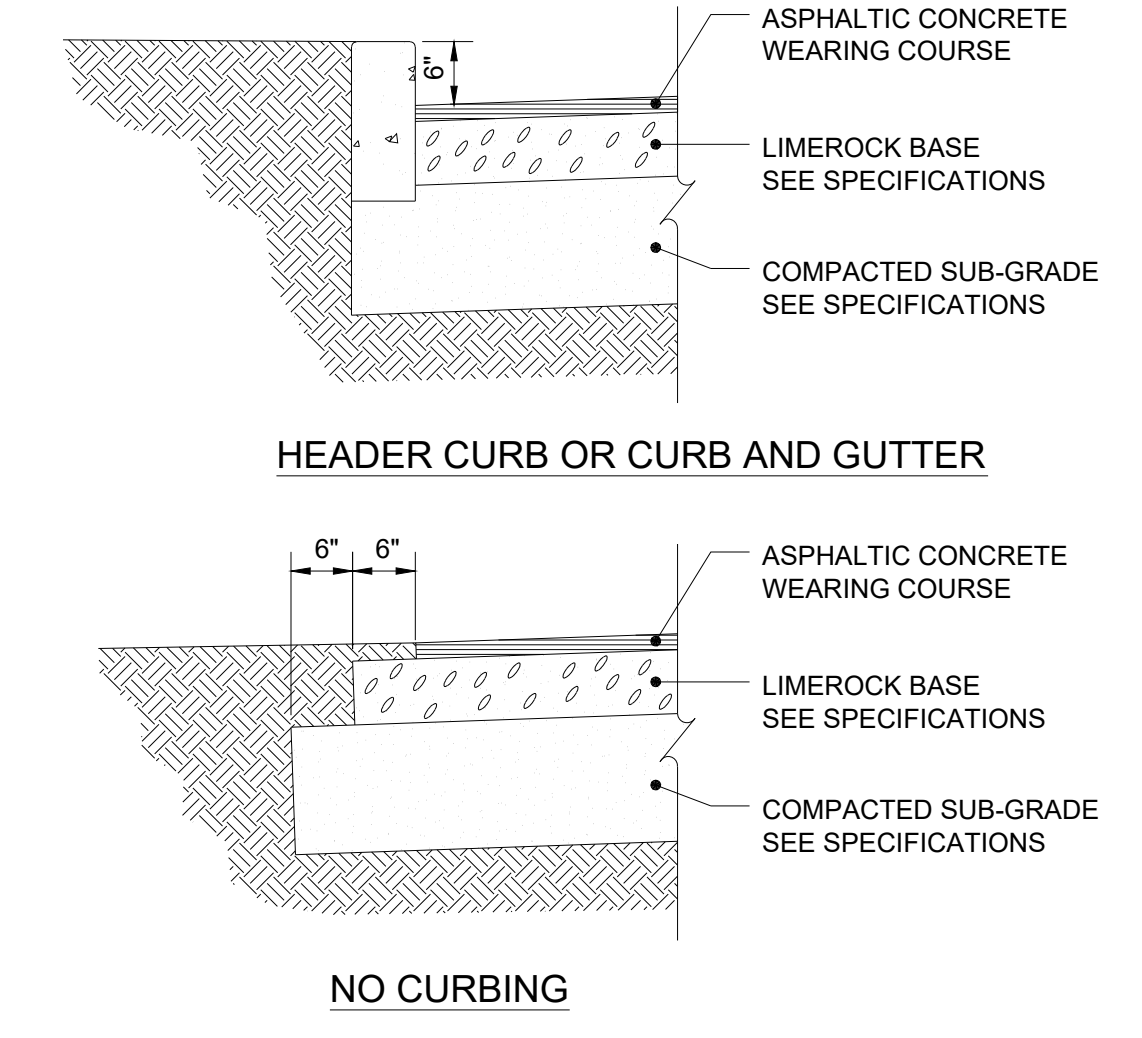
1 WHEELSTOP DETAIL
NTS

NOTES:

- WHEN USED ON HIGH SIDE OF PAVEMENT THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6". UNLESS OTHERWISE SHOWN ON THE PLANS.
- SEE SPECIFICATIONS FOR CONCRETE TYPE AND STRENGTH REQUIREMENTS.



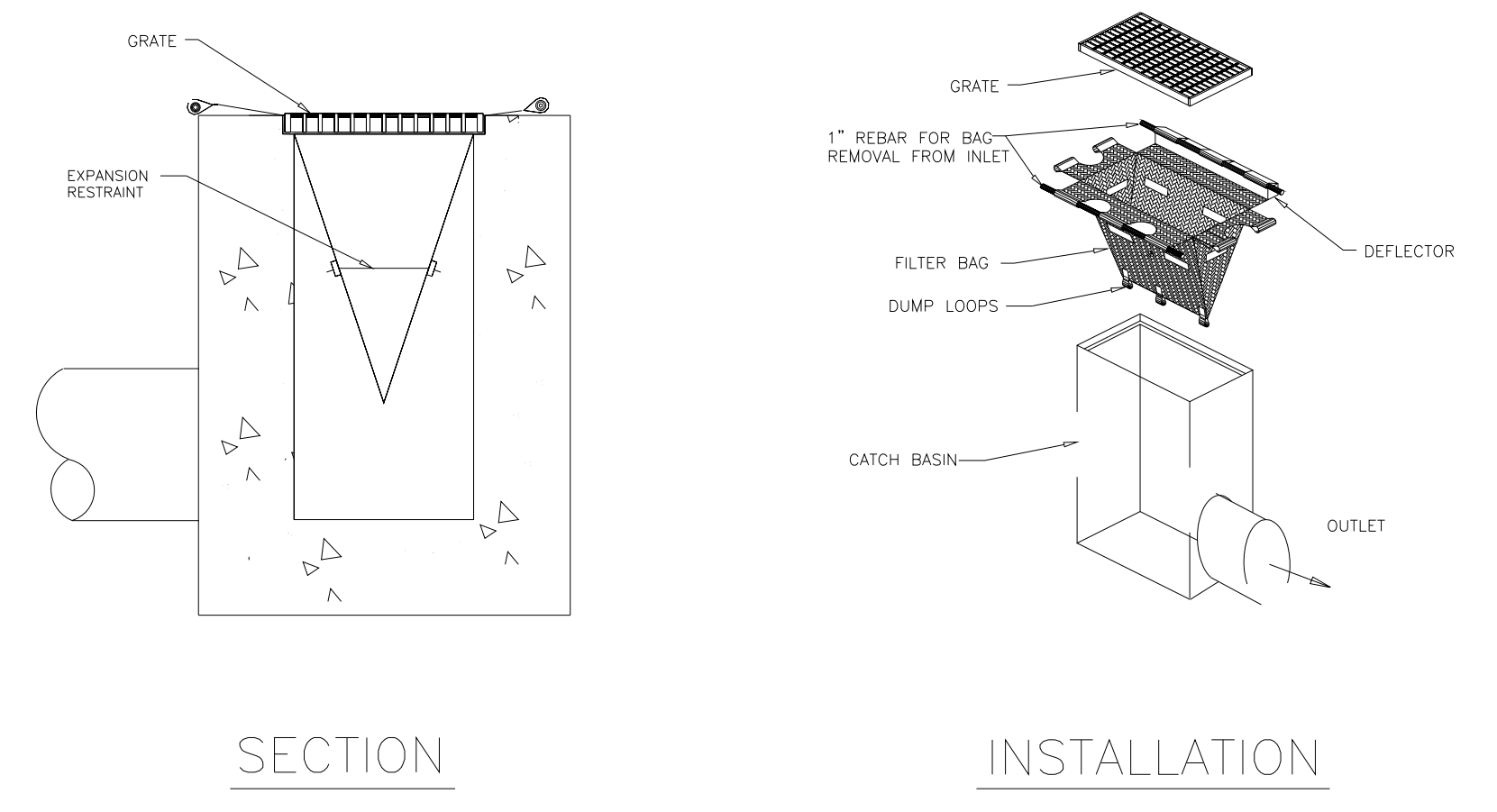
2 MOUNTABLE (MIAMI) CURB
NTS



PAVEMENT STRUCTURE THICKNESS TABLE

TYPE	SUB-GRADE	BASE	WEARING COURSE
AUTO PAVEMENT	12"	6"	1 1/2"
TRUCK PAVEMENT	12"	8"	2"
R/W PAVEMENT	12"	6"	1 1/2"

4 ASPHALT PAVEMENT
NTS



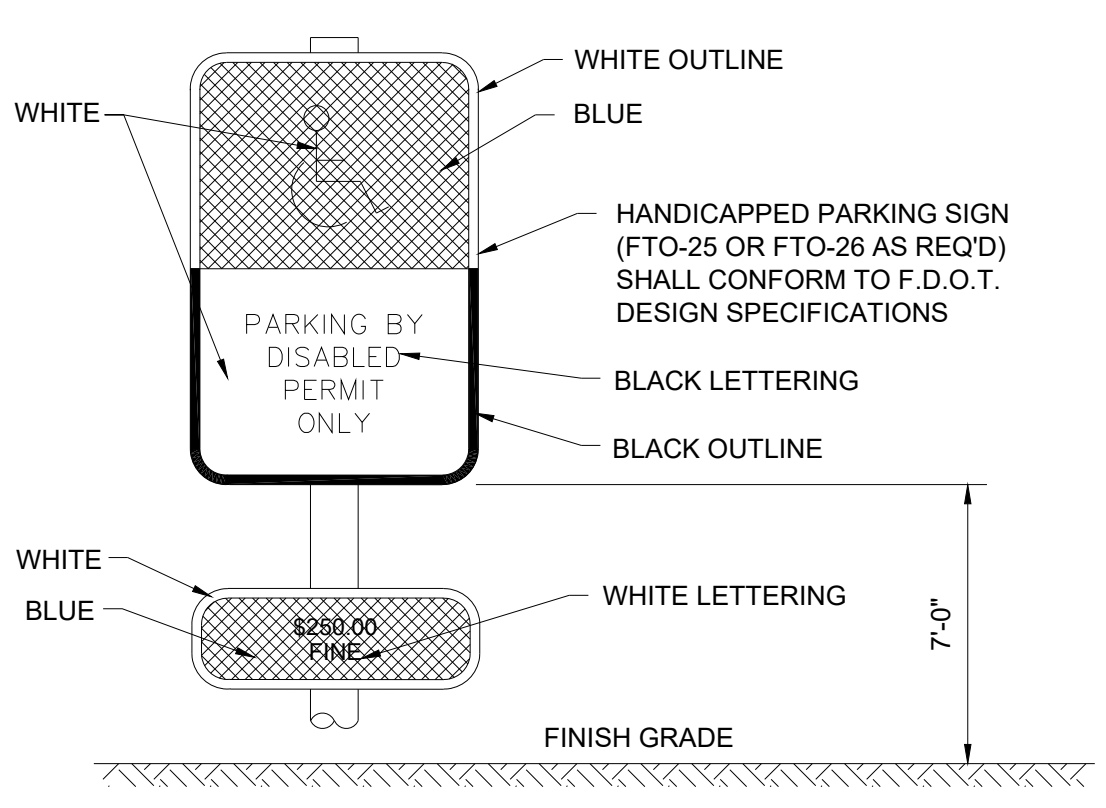
NOTES:

- INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
- FILTER TYPES SHALL BE APPROVED BY THE INSPECTOR PRIOR TO INSTALLATION.
- FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
- FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE.
- FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
- FILTER BAGS SHALL NOT BE ALLOWED IN EXISTING TOWN OR NCDOT ROADS.

6 CATCH BASIN INLET PROTECTION
NTS

NOTES:

- MEASURE THE 12' AND 5' WIDTHS FROM THE CENTERLINE OF EACH SIDE 4" WIDE BLUE STRIPE.
 - LEFT SIDE ACCESS AISLE SHOWN, RIGHT SIDE ACCESS AISLE IS TYPICAL TO OPPOSITE SIDE OF PARKING SPACE.
 - ALL DETECTABLE WARNING SURFACES REQUIRED BY THE CODE SHALL BE COVERED BY THE REQUIREMENTS OF AMERICAN NATIONAL STANDARDS INSTITUTE A117.1-1986.
- (1) DETECTABLE WARNING TEXTURES ON WALKING SURFACES SHALL CONSIST OF EXPOSED AGGREGATE CONCRETE, CUSHIONED SURFACES MADE OF RUBBER OR PLASTIC, RAISED STRIPS. TEXTURES SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACES. RAISED STRIPS OR GROOVES SHALL COMPLY WITH THE CURRENT ISSUE OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.



3 A.D.A. PARKING SPACE
NTS

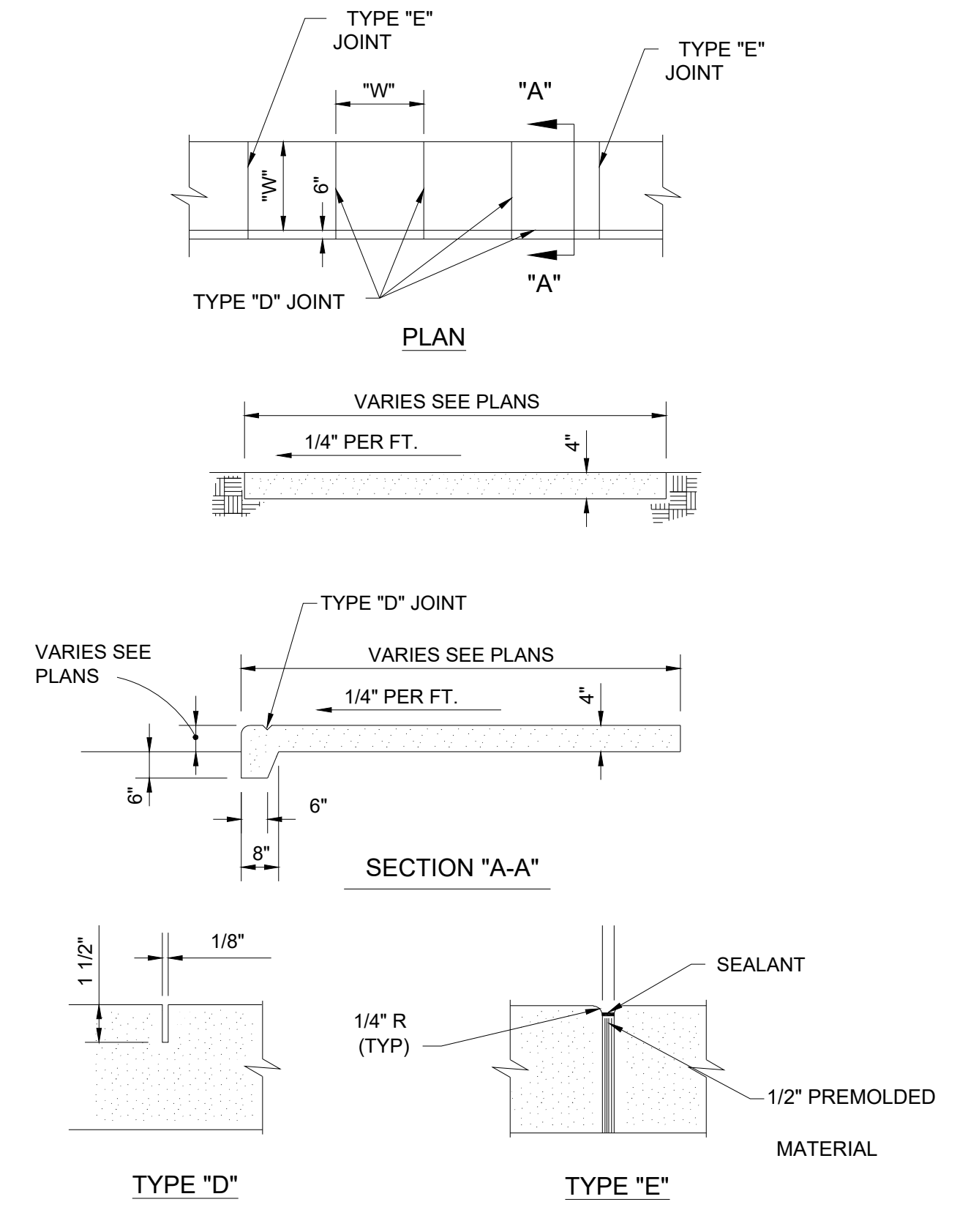
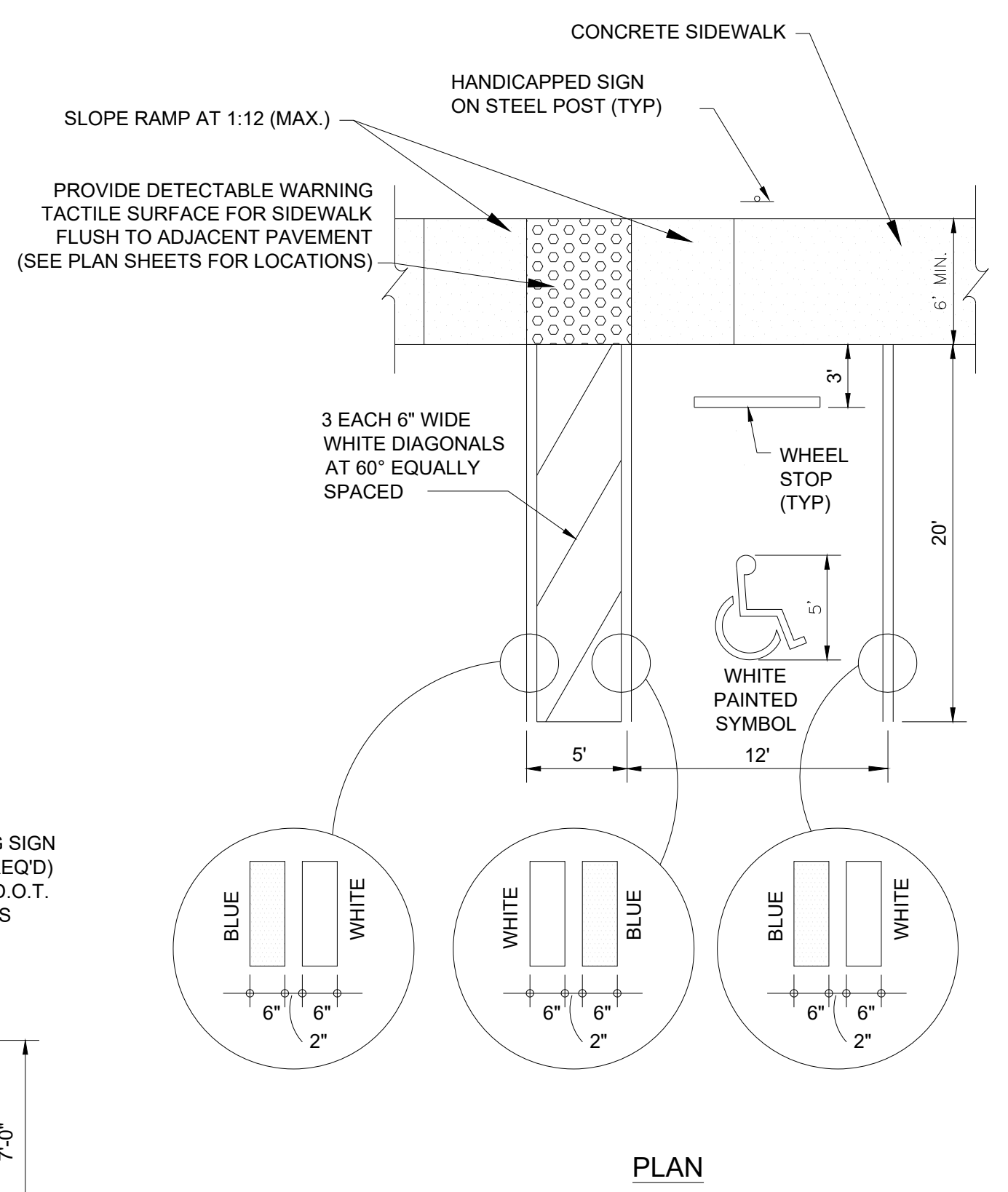


TABLE OF SIDEWALK JOINTS

TYPE	LOCATION
"D"	TRANSVERSE JOINT AT INTERVALS EQUAL TO THE SIDEWALK WIDTH EXCEPT EVERY FOURTH JOINT WHICH IS A TYPE "E" JOINT.
"E"	EVERY FOURTH TRANSVERSE JOINT, P.C AND P.T. OF CURVES, ABRUPT CHANGES IN DIRECTION AND WHERE NEW SIDEWALK ABUTS EXISTING SIDEWALK OR OTHER EXIST. CONCRETE SURFACE STRUCTURES.

NOTE: TYPE "D" JOINT MAY BE EITHER TOOLED IN WET CONCRETE OR SAWCUT WITHIN 18 HOURS OF PLACEMENT OF CONCRETE.

5 SIDEWALK CONSTRUCTION DETAIL
NTS

THE TOURING COMPANY, INC.
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DAVID E. TOURING, P.E.
LICENSE #63503

FRUIT COVE PLAZA
OUTSIDE SEATING AREA
540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

SITE DETAILS PLAN

NO.	DESCRIPTION	REV.	DATE	BY
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				

JOB NO. 23-0020
DRAWN BY: APAZ
CHECKED BY: DT
SCALE: N.T.S.

CD-01 SHEET NO.

LANDSCAPE CALCULATIONS

REQUIRED LANDSCAPE, INTERIOR VUA
 NEW VUA: 200 SF
 REQUIRED: 20 SF
 PROVIDED: 22+ SF
 TREES: 1 TREE
 SHRUBS: 121 FT @ 25% = 26 SF
 26 SF @ 3 SF/SHRUB = 9 SHRUBS
 TREES: 1 TREE

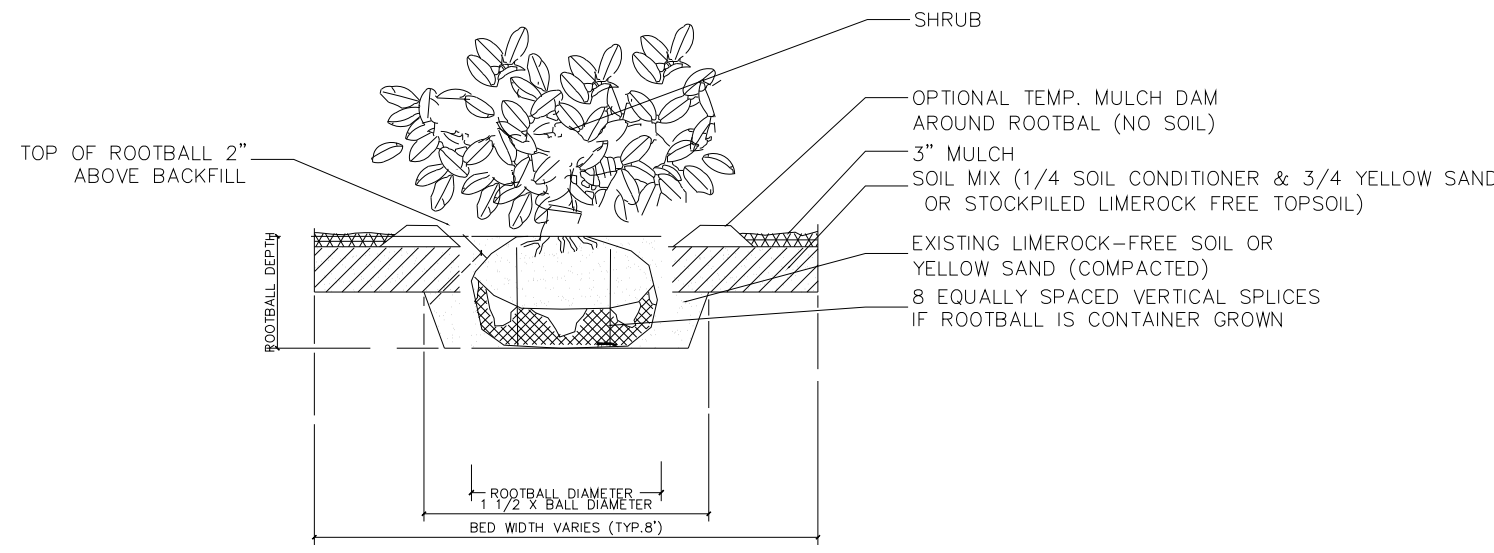
MITIGATION CALCULATIONS

TOTAL TREES TO BE REMOVED = 0'
 TREES TO BE REPLACED AT 11'
 TOTAL TREES (INCHES) TO BE PROVIDED = 0'

TOTALS:

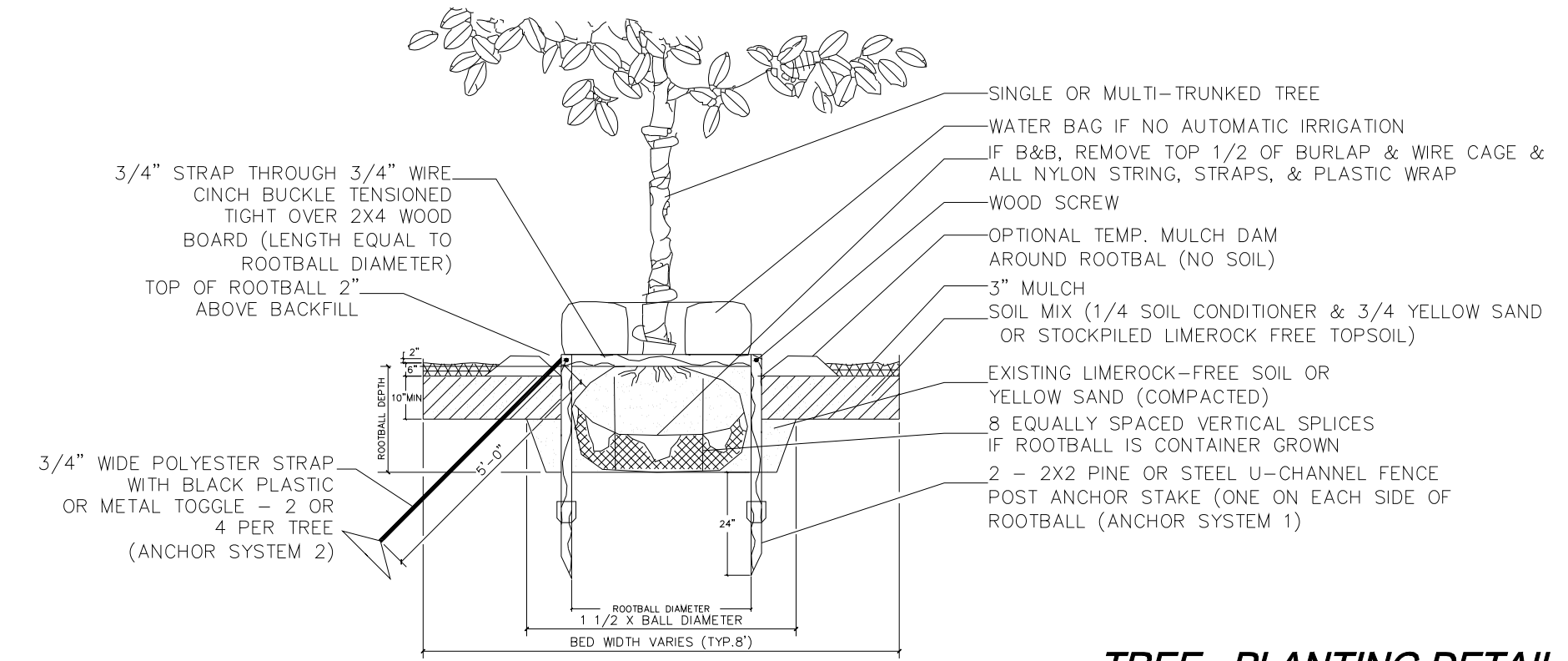
TOTAL TREES REQUIRED: 21 TREES (66 INCHES)
 TOTAL TREES PROVIDED: 21 TREES (66 INCHES)
 TOTAL SHRUBS REQUIRED: 35 SHRUBS
 TOTAL SHRUBS PROVIDED: 35 SHRUBS

SHRUB CREDITS:
 27 SHRUBS TO REMAIN



SHRUB PLANTING DETAIL

NOTE:
 IRRIGATION PROVIDED BY EXISTING SYSTEM.
 NO ADDITIONAL IRRIGATION IS PROPOSED.



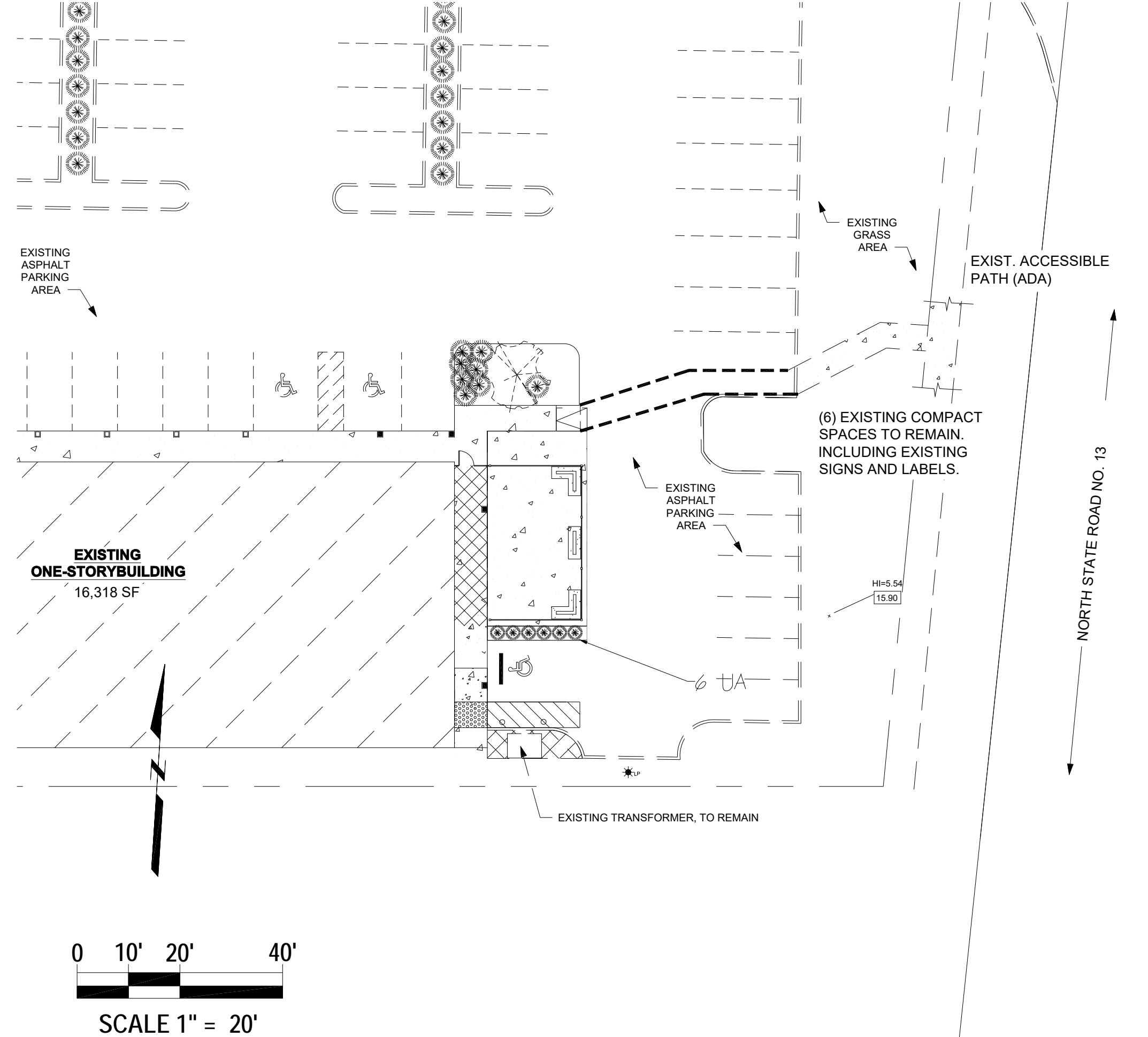
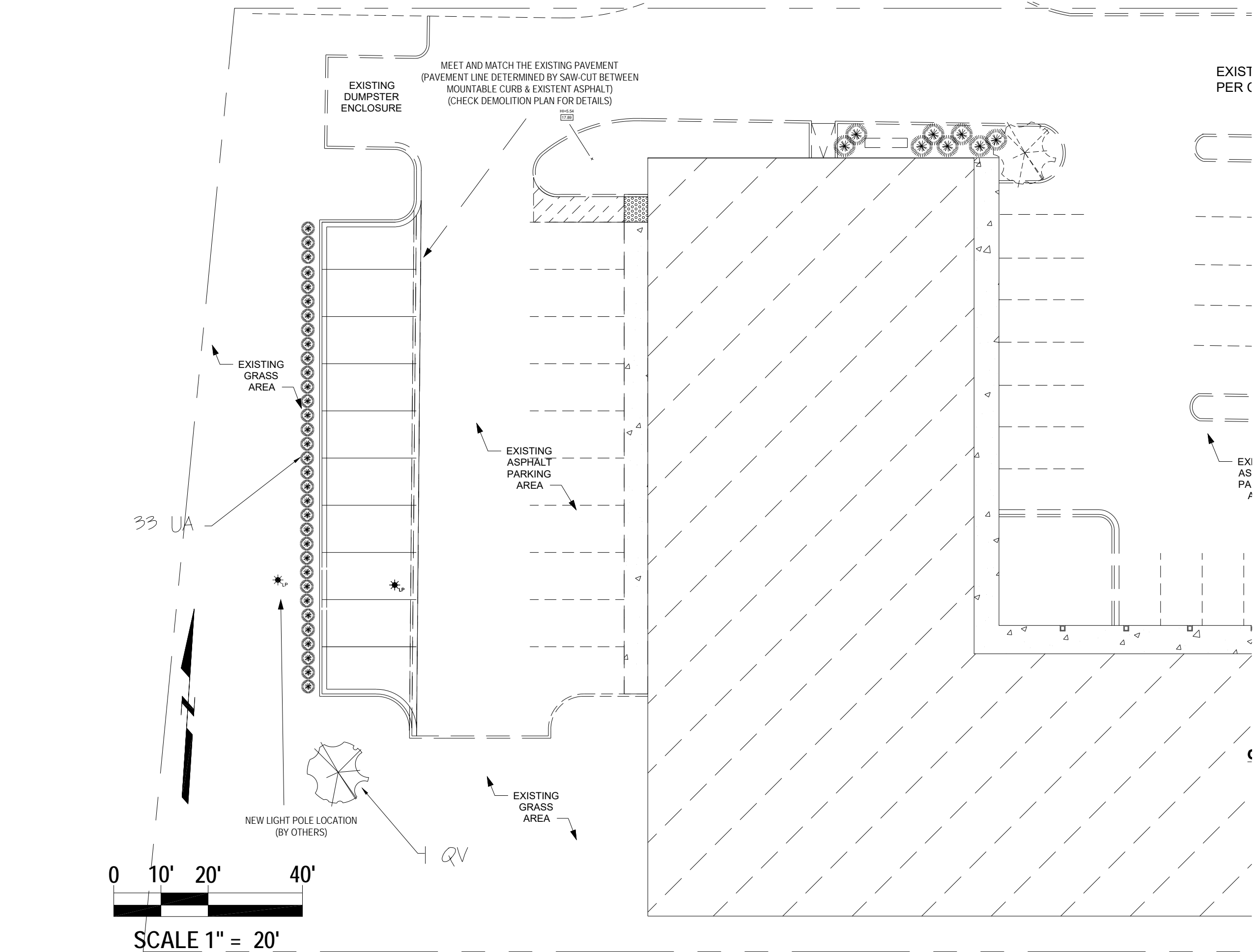
TREE PLANTING DETAIL

PLANT LIST

QTY	SYM	DESCRIPTION	SIZE	SPACING	NOTES	INCHES
1	QV	QUERCUS VIRGINIANA "CATHEDRAL LIVE OAK"	14'-16' x 7'-9', 4" CAL., 6' CT., MATCHED	AS SHOWN	N, FYN, FF, WW	48
33	UA	DWARF WALTER'S VIBURNUM / VIRBURNUM OBOVATUM	18" ht. x 18" SPD. MINIMUM FULL 4 DENSE	3' OC.	N, FYN, FF, WW	8

*PLANT LIST LEGEND: N-NATIVE, FYN- FLORIDA YARDS & NEIGHBORHOODS 2006, FF- FLORIDA FRIENDLY, WW- WATER WISE 2008, OIE - IEA OVERHEAD ELECTRIC (ACCEPTABLE PLANT LIST)

THE TOURING COMPANY, INC.
 CIVIL AND MARINE CONSULTING
 STATE OF FLORIDA
 CERTIFICATE OF
 AUTHORITY
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 14286-B BEACH BLVD., UNIT 355
 JACKSONVILLE, FLORIDA 32250
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LANDSCAPE AND IRRIGATION PLAN

LANDSCAPE AND IRRIGATION PLAN

FRUIT COVE PLAZA
 OUTSIDE SEATING AREA
 540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

LANDSCAPE AND IRRIGATION PLAN

JOB NO. 23-0020
 DRAWN BY: APAZ
 CHECKED BY: DET
 SCALE: AS SHOWN

LI-01
 SHEET NO.

FILE LOCATION: Z:\Active\JAA_Fruit_Cove_Plaza_23-0020.dwg LAST SAVED: 7/18/2023 3:16 PM LAST PLOTTED: 7/18/2023 3:21 PM BY: DAVID TOURING, PE



ORDER
ST. JOHNS COUNTY, FLORIDA
PLANNING AND ZONING AGENCY

RE: Bella Vista
540 State Road 13 N
Suite 10
St. Johns, FL 32259

FILE NUMBER: SUPMAJ 2023-10

LEGAL: Exhibit A

PARCEL ID: 005145-0000

DATE OF HEARING: October 5, 2023

ORDER DENYING SPECIAL USE APPROVAL

The above referenced application for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within a Residential Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B, specifically located at 540 State Road 13 N., came before the Planning & Zoning Agency for public hearing on October 5, 2023.

FINDINGS OF FACT

Having considered the application, along with supporting documents; the Staff report prepared by staff; statements by the applicant; and all evidence presented during public hearing, the Agency finds as follows:

1. The Special Use cannot be granted without substantial detriment to the public good and will substantially impair the intent and purpose of the St. Johns County Comprehensive Plan or Land Development Code.
2. The Use is not compatible with the contiguous and surrounding area and will impose an excessive burden or have a substantial negative impact on surrounding or adjacent uses or on community facilities or services.
3. The use, which is listed as a Special Use in the Commercial General (CG) zoning district does not comply with all required regulations and standards of Article II of the Land Development Code.

4. The request is not in compliance with Section 2.03.01.A, Section 2.03.02, and Article XII of the Land Development Code.
5. The request is in conflict with the Future Land Use Map designation of Residential-B.
6. The allowance for the on-site sale and consumption of alcoholic beverages, consistent with a State of Florida Type 2COP license in conjunction with a proposed restaurant at this location, does not promote the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity, or the general welfare of the residents of the area.
7. The requested Use is in conflict with the development patterns of the area.

NOW THEREFORE, based on the said Findings of Fact, the Agency hereby denies the Special Use Permit to allow on-site sales and consumption of alcoholic beverages under the regulation of the State of Florida Type 2COP license in conjunction with a proposed restaurant located within Commercial General (CG) zoning and pursuant to Land Development Code Section 2.03.02, specifically located at 540 State Road 13 N.

This decision may be appealed to the St. Johns County Board of County Commissioners within thirty (30) days of the signing of this Order, pursuant to Section 9.07.03 of the Land Development Code.

Deed Restrictions, if any, are not affected by the actions of the Agency or this Order.

DATED THIS _____ DAY OF _____, 2023.

PLANNING AND ZONING AGENCY OF ST. JOHNS COUNTY FLORIDA

Chair/Vice-Chair

The undersigned Clerk to the Planning and Zoning Agency of St. Johns County, Florida certifies that the above Order of the Planning and Zoning Agency is a true and correct rendition of the Order adopted by said Agency as the same appears in the record of the Planning and Zoning Agency minutes.

Clerk
Growth Management Department

Date Filed