3

AGENDA ITEM Planning & Zoning

Meeting

10/5/2023
MEETING DATE

TO: Plan	TO: Planning and Zoning Board Members		DATE:	September 25, 2023		
FROM:	Lauren Dwy	yer, Planner		PHONE:	904 209-0693	
SUBJECT O	R TITLE:	SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating	Area			
AGENDA TYPE:		Business Item, Ex Parte Communication, Order, Ro	eport			
PRESENTER:		David Touring, The Touring Company				

BACKGROUND INFORMATION:

A request for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within the Residential-B Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B, specifically located at 540 State Road 13 N.

SUGGESTED MOTION/RECOMMENDATION/ACTION:

APPROVE: Motion to approve SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area based upon eight (8) findings of fact and eleven (11) conditions as provided in the Staff Report.

DENY: Motion to deny SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area based upon seven (7) findings of fact as provided in the Staff Report.



Growth Management Department

Planning Division Report
Application for Special Use Permit
SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area

To: Planning and Zoning Agency

From: Lauren Dwyer, Planner

Date: September 18, 2023

Subject: SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area, a request

for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within the Residential-B Future Land Use Map (FLUM) designation pursuant to Section

2.04.05.B, specifically located at 540 State Road 13 N.

Applicant: David Touring, The Touring Company

Owner: RMR Fruit Cove Plaza, LLC

Hearing Dates: Planning and Zoning Agency – October 5, 2023

Commissioner

District: District 1

SUGGESTED MOTION/ACTION

APPROVE: Motion to approve **SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area** based upon eight (8) findings of fact and eleven (11) conditions as provided in the Staff Report.

DENY: Motion to deny **SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area** based upon seven (7) findings of fact as provided in the Staff Report.

MAP SERIES

Location: The subject property is located on the west side of State Road 13 North, south of Racetrack Road.



Aerial Imagery: The subject property is located in the Fruit Cove Plaza on State Road 13 North. The surrounding area is developed with various commercial uses to the north and west and residential uses to the east. The property immediately to the south was once used as commercial plant nursery and is currently in review for a business center (COMM 2023-43)



Future Land Use: The subject property and adjacent properties are designated Residential-B (Res-B) on the Future Land Use Map. Other properties are designated Community Commercial and Julington Creek DRI.



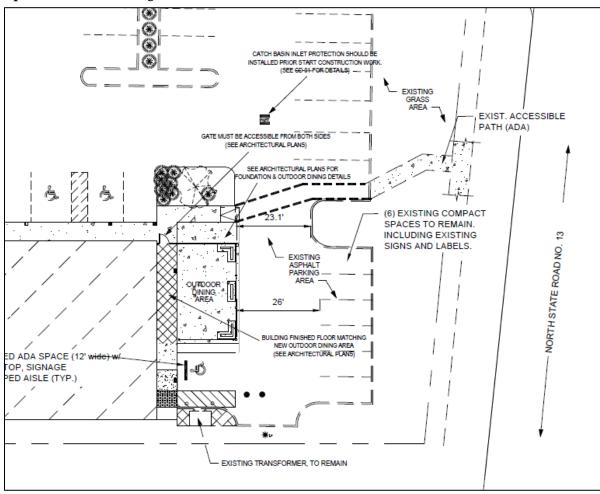
Zoning District: The subject property and adjacent properties are zoned Commercial General (CG). Surrounding properties are zoned Planned Unit Development (PUD), Residential, Single Family (RS-1, RS-2), Planned Special Development (PSD), and Open Rural (OR).



APPLICATION SUMMARY

The applicant is requesting a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within a Residential Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B. The restaurant is open Tuesday- Sunday for dinner, with the latest closing time being 10:00 PM.

Proposed Outdoor Seating Plan:



The above proposed site plan, provided by the applicant, depicts the proposed outdoor seating. The full Site Plan is included in **Attachment 1 Supporting Documents.**

DEPARTMENTAL REVIEW

The Planning and Zoning Division has routed this request to all appropriate reviewing departments. There are no open comments.

Office of the County Attorney Review:

Applicant bears the burden of demonstrating by competent substantial evidence that the request meets the general standards of LDC section 2.03.01 as well as any specific standards required by that special use. The Agency may consider competent substantial evidence that the general or specific standards are not met and is, in fact, adverse to the public interest. Special Uses are uses, if the specific conditions are met, that would be allowable unless there is a determination that the use would adversely affect the public interest. Pursuant to LDC section 2.03.01.F, the Agency may prescribe appropriate conditions to mitigate for any evidenced incompatibility and to assure that potential adverse and negative effects are avoided.

Per LDC 2.03.01.C: A detailed site plan, drawn to scale, shall show the location and dimensions of all existing and proposed structures and other improvements and setbacks of same, signs, and provisions for off-street parking is required. The plan shall become a condition upon which the permits is permitted and any change or addition shall constitute a violation of the special use approval unless such change is submitted to and approved by the Planning and Zoning Agency.

As required by Section 2.03.01.D, the Special Use must be compatible with the adjacent and surrounding land uses. Land uses, as defined in Chapter 163, Part II, Florida Statutes ("Growth Management Act") include, but are not limited to, permitted Uses, Structures, and activities allowed within the land use category or implementing zoning district. Compatibility means a condition in which land uses or conditions can co-exist in relative proximity to each other in a stable fashion over time such that no Use or condition is unduly negatively impacted directly or indirectly by another Use or condition. The compatibility of land uses is dependent on numerous characteristics which may impact adjacent or surrounding Uses. These include: type of Use, density, intensity, height, general appearance and aesthetics, odors, noise, smoke, dust, vibration, traffic generation, sanitation, litter, drainage, risk of fire, air quality, protection of Listed Species or Essential Habitat, maintenance of public infrastructure, availability of potable water and other necessary public services, and nuisances.

The Special Use Permit shall be governed by the St. Johns County Alcohol Beverage Ordinance (Ord. 90-48), as may be amended. Applicants should note that they are responsible for understanding all current and future amendments to Ord. 90-48, but should make special notice of Ord. 2010-24 which amended the hours which alcohol can be sold. Limitations on when alcohol can be sold does not necessarily limit hours of operation for the Applicant.

The Special Use Permit shall be governed by the St. Johns County Sale or Service to persons under Twenty-One Ordinance (Ord. 2011-46), as may be amended.

Technical Division Review:

All future site engineering, drainage and required infrastructure improvements will be reviewed pursuant to the established Development Review Process to ensure that the development has met all applicable local regulations and permitting requirements. No permits will be issued prior to compliance with all applicable regulations.

Planning and Zoning Division Review:

Bella Vista restaurant is located within Commercial General (CG) zoning, within the Fruit Cove Plaza. According to Table 2.03.01 of the LDC, CG zoning requires a Special Use Permit to allow for Alcohol Sales and Consumption pursuant to the conditions and limitations found in LDC Section 2.03.02. LDC Section 02.04.05.B states that restaurants within a Residential Future Land Use designation may request on-site outdoor seating in conjunction with a Special Use Permit for alcoholic beverages. Provided below is an analysis of the site regarding the applicable regulations found in the St. Johns County Land Development Code (LDC).

Land Development Code Reference and Criteria for Action: Article XII, Definitions

<u>Special Use</u>: Means a Use that would not be appropriate, generally or without restriction, throughout a zoning division or district but which if controlled as to number, area, location, or in relation to the neighborhood, would promote the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity, or the general welfare. Such Uses may be permissible in a zoning classification or district upon the granting of a Special Use and meeting the requirements of this Code.

LDC, Part 2.03.00 - Allowable and Special Uses (provided in part)

The Special Uses contained in this Part shall be considered and approved, approved with conditions, or denied in accordance with the requirements of this Code Part 9.01.00 for the issuance of Development Permits. The following Special Uses if allowed in a zoning district according to Section 2.02.02 and identified in Section

2.03.01 or allowed in this Part by reference to a zoning district may only be permitted upon demonstration of compliance with all of the requirements of this Part.

LDC, Sec. 2.03.01.A - General Provisions on Special Uses

A Special Use shall be approved by the Planning and Zoning Agency only upon determination that the application and evidence presented establish that:

1. The Special Use can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the St. Johns County Comprehensive Plan or this Code;

Restaurant is a permitted use within the Commercial General (CG) zoning designation; the request to allow for the on-site sale and consumption of beer and wine associated with a Florida 2COP License along with Outdoor Seating is allowed within the CG zoning only upon approval of a Special Use Permit. An approval of the request does not appear to impair the intent of the Comprehensive Plan or the Land Development Code.

2. The Use is compatible with the contiguous and surrounding area and will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent Uses or on community facilities or services; and

The proposed special use is for an existing restaurant to add outdoor seating along with on-site sale and consumption of beer and wine associated with a Florida 2COP License. The subject property is designated Residential-B on the Future Land Use Map and is zoned as Commercial General (CG). The restaurant is located within Fruit Cove Plaza, along with a vape shop, Anytime Fitness, and other commercial businesses. The nearest residential property is approximately 385 feet from the subject property. The proposed outdoor seating area is placed on the opposite side of property from the residences to the west, along State Road 13.

3. If access is provided by a street maintained by the Florida Department of Transportation (FDOT) a copy of the results of a pre-application meeting with FDOT is required unless otherwise deemed not necessary by the County Administrator; and

The business is located directly off of State Road 13 North, within an existing shopping center, with FDOT approved access.

4. The Use, which is listed as a Special Use in the district in which it is proposed to be located, complies with all required regulations and standards of this Article II, unless greater or more stringent regulations are contained or provided in the Comprehensive Plan or elsewhere in this Code for the Special Use.

The applicant is proposing a Special Use that is allowed within the CG Zoning District and the Residential-B Future Land Use Map designation. Based on review of the applicant's provided documents, the site will comply with the Special Use requirements provided in LDC Section 2.03.02, other sections of the LDC, and the Comprehensive Plan. Even with the removal of spaces for the outdoor seating addition, Fruit Cove Plaza has adequate parking, including ADA spaces.

Sec. 2.03.02 Alcoholic Beverages (provided in part)

Alcohol Beverage Establishments may be permitted as a Special Use within districts as defined in Section 2.03.01 and shall be subject to the following conditions and limitations:

A. Nearby Church - Nearby School

Except those beer and wine vendors who sell no alcoholic beverages other than malt beverages and wine and who are licensed in accordance with Section 563.02(1)(a) and/or Section 564.02(1)(a) of the Florida Statutes, as may be amended from time to time, no vendor of alcoholic beverages that is located within

the unincorporated area of St. Johns County shall maintain a place of business within one thousand (1,000) feet of an established school or within one thousand (1,000) feet of an established Church located in the unincorporated or incorporated area of St. Johns County. In the case of a Church, this distance shall be measured from property line to property line, without regard to route of travel, and in the case of a school, to the nearest point of the school grounds in use as part of the school facilities as measured from the property line of the place of business, without regard to route of travel.

Fruit Cove Baptist Church is located within 1,000 feet of the proposed site, across State Road 13 North from the restaurant, however, the restaurant meets Section Sec. 203.02A, as the restaurant will only sell beer and wine and is licensed accordingly.

5. Zoning Special Use Required in Certain Districts

Where the sale of alcoholic beverages for on-site and or off-site consumption is a Special Use within the various zoning districts contained in this Code, a request for such Special Use shall be submitted, reviewed and acted upon in accordance with the provisions of Part 9.03.00 of this Code

According to Table 2.03.01 of the LDC, allowance of alcoholic beverages within the CG zoning requires approval of a Special Use Permit. LDC Part 9.03.00 pertains to Special Use procedures; the applicant has provided an application with supporting documentation, and the project was placed on the agenda for a PZA public hearing; the item was properly noticed as required for public hearings.

Sec. 2.04.05 Sales, Display and Preparation of Products in Commercial Districts

B. In addition to the provisions of Section 2.04.05.A. above, on-site outdoor seating for restaurants may be allowed on parcels of land zoned commercial and located within Commercial, Mixed Use District, or Town Center Mixed Use District Future Land Use Designations, or within Planned Districts. For requests on parcels of land zoned commercial and located within a Residential Future Land Use Designation, a request for outdoor seating may be evaluated in conjunction with a Special Use Permit for alcoholic beverages.

The subject property is designated Residential-B on the Future Land Use Map and zoned CG. The applicant is requesting outdoor seating in conjunction with the Special Use Permit for the sale of beer and wine for on-site consumption. The outdoor seating addition is placed along State Road 13 away from the residential neighborhood to the west of the plaza. Staff has received a call with a resident voicing concerns over noise.

CORRESPONDENCE/PHONE CALLS

As of the writing of this staff report, Staff has received one phone call requesting the nature of the request and expressed concerns about noise from the outdoor seating area.

ACTION

Staff offers eight (8) findings of fact and eleven (11) conditions to support a motion to approve or seven (7) findings of fact to deny. These findings may be subject to other competent substantial evidence received at the quasi-judicial public hearing.

ATTACHMENTS

- 1. Application and Supporting Documents
- 2. Final Draft Orders

SUGGESTED MOTION / FINDINGS / CONDITIONS TO APPROVE REQUEST

Motion to approve **SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area**, a request for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within the Residential-B Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B., subject to the following findings and conditions:

SUGGESTED FINDINGS

- 1. The Special Use can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the St. Johns County Comprehensive Plan or Land Development Code.
- 2. The use is compatible with the contiguous and surrounding area and will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent uses or on community facilities or services.
- 3. The use, which is listed as a Special Use in the Commercial General (CG) Zoning District, complies with all required regulations and standards of Article II of the Land Development Code.
- 4. The request is in compliance with Section 2.03.01.A, Section 2.03.02, and Article XII of the Land Development Code.
- 5. The request is not in conflict with the Future Land Use Map designation of Residential-B.
- 6. The requested Use, although not generally appropriate or without restriction throughout the zoning district, when controlled as to the number, location and relationship to the neighborhood, promotes the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity, or the general welfare of the residents of the area.
- 7. The requested Use is not in conflict with the development patterns of the area.
- 8. The applicant, at the public hearing, has stated no objections to the proposed conditions.

SUGGESTED CONDITIONS

- 1. The Special Use Permit is granted to Bella Vista, doing business at 540 State Road 13 N. and shall be non-transferable to any other location or entity.
- 2. Approval is for the Use as regulated by the State of Florida Type 2COP license, specifically for on-site sales and consumption.
- 3. Sales and consumption area shall be limited to the area designated for such on the Site Plan labeled as Exhibit B submitted by the applicant and made a part of this application.
- 4. The hours of operation for the on-site sale and consumption of beer and wine are as follows:
 - a. Tuesday through Thursday: 4:00 PM- 9:00 PM
 - b. Saturday: 11:00 AM- 10:00 PM
 - c. Sunday: 11:00 AM- 8:00 PM
- 5. Special Use Permit shall be governed by the St. Johns County Alcohol Beverage Ordinance (Ord. 1990-48) as may be amended.
- 6. Special Use Permit shall be governed by the St. Johns County Sale or Service to persons under Twenty-One Ordinance (Ord. 2011-46) as may be amended.
- 7. Applicant agrees that St. Johns County may inspect the site for compliance with the Final Order and all other relevant requirements at the time the Special Use is being exercised.

- 8. This approval of the Special Use Permit may be revoked by the County Administrator or designee, at his/her sole discretion, upon a determination of violation of the conditions set forth herein or a violation of any Federal, State or Local law or regulation. Appeals of decisions by the County Administrator or designee to revoke the Special Use Permit may be appealed to the Board of County Commissioners.
- 9. The Special Use Permit is granted under the condition of continual use. A Special Use Permit that, once commenced, remains idle, discontinued or unused for a continuous period of one (1) calendar year shall no longer be valid and all rights granted herein shall become null and void.
- 10. Approval of the Special Use Permit does not release the project from adherence to all relevant requirements of the St. Johns County Land Development Code, Comprehensive Plan, Florida Building Code, and any other Agency having jurisdiction.
- 11. The application, supporting documents, conditions and limitations offered within the application and at the public hearing by the applicant (or representative) will be incorporated herein and shall become part of the Final Order, except as may be modified by preceding conditions and limitations.

(Additional conditions may be added as a result of the public hearing)

SUGGESTED MOTION / FINDINGS TO DENY REQUEST

Motion to deny **SUPMAJ 2023-10 Fruit Cove Plaza Outdoor Seating Area**, a request for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within the Residential-B Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B, specifically located at 540 State Road 13 N., subject to the following findings:

SUGGESTED FINDINGS

- 1. The Special Use cannot be granted without substantial detriment to the public good and will substantially impair the intent and purpose of the St. Johns County Comprehensive Plan or Land Development Code.
- 2. The use is not compatible with the contiguous and surrounding area and will impose an excessive burden or have a substantial negative impact on surrounding or adjacent uses or on community facilities or services.
- 3. The use, which is listed as a Special Use in the Commercial General (CG) Zoning District, does not comply with all required regulations and standards of Article II of the Land Development Code.
- 4. The request is not in compliance with Section 2.03.01.A, Section 2.03.02, and Article XII of the Land Development Code.
- 5. The request is in conflict with the Future Land Use Map designation of Residential-B.
- 6. The allowance for the on-site sale and consumption of alcoholic beverages, consistent with a State of Florida Type 2COP license in conjunction with a proposed restaurant at this location, does not promote the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity, or the general welfare of the residents of the area.
- 7. The requested Use is in conflict with the development patterns of the area.

(The Board may choose any or all of the above Findings or may provide additional Findings to support the motion.)

ATTACHMENT 2 Application and Supporting Documents

St. Johns County Growth M	ianagement Department	
Application for: Special Use		
Date 03-30-2023 Property Tax ID No	0051450000	
oject Name Fruit Cove Plaza Outside Seating		
operty Owner(s) RMR Fruitcove Plaza LLC	Phone Number 386-569-1	918
ddress 30 Church Street, STE 4	Fax Number	
ty New Rochelle State NY Zip Code 10301-0000	e-mail matt@rettnerrealty.com	
e there any owners not listed? No Yes If y	ves please provide information on se	parate sheet.
pplicant Representative David E. Touring, PE	Phone Number	904-614-3302
ddress 14286-19 Beach Blvd., Unit 355	Fax Number	904-223-6045
ity Jacksonville State FL Zip Code 32250	e-mail DTouring@thetouringc	o.com
roperty Location 540 State Road 13N, St Johns, FL 32259		
lajor Access SR 13 Size of Property 1.	7 Ac Cleared Acre	es (if applicable) N/A
oning Class CG No. of lots (if applicable) N/A Overlay	District (if applicable) N/A	
Vater & Sewer Provider St Johns County Utility	Future Land Use Desig	nation CC
resent Use of Property Commercial Center	Proposed B	dg. S.F. 551
Project Description (use separat	te sheet if necessary)	
	ids to serve beer and wine or	n the outdoor
Outdoor seating structure for existing restaurant. Applicant inten proposed seating area in accordance with the existing		
Juliator seating structure for existing restaurant.	restaurant approvals.	

application, at the reasonable determination of the County considering the Land Development Code, Comprehensive Plan, and other applicable regulations.

I HEREBY CERTIFY THAT ALL INFORMATION IS CORRECT:

Signature of owner or person authorized to represent this application:

Signed By

Printed or typed name(s)

Revised August 24, 2015



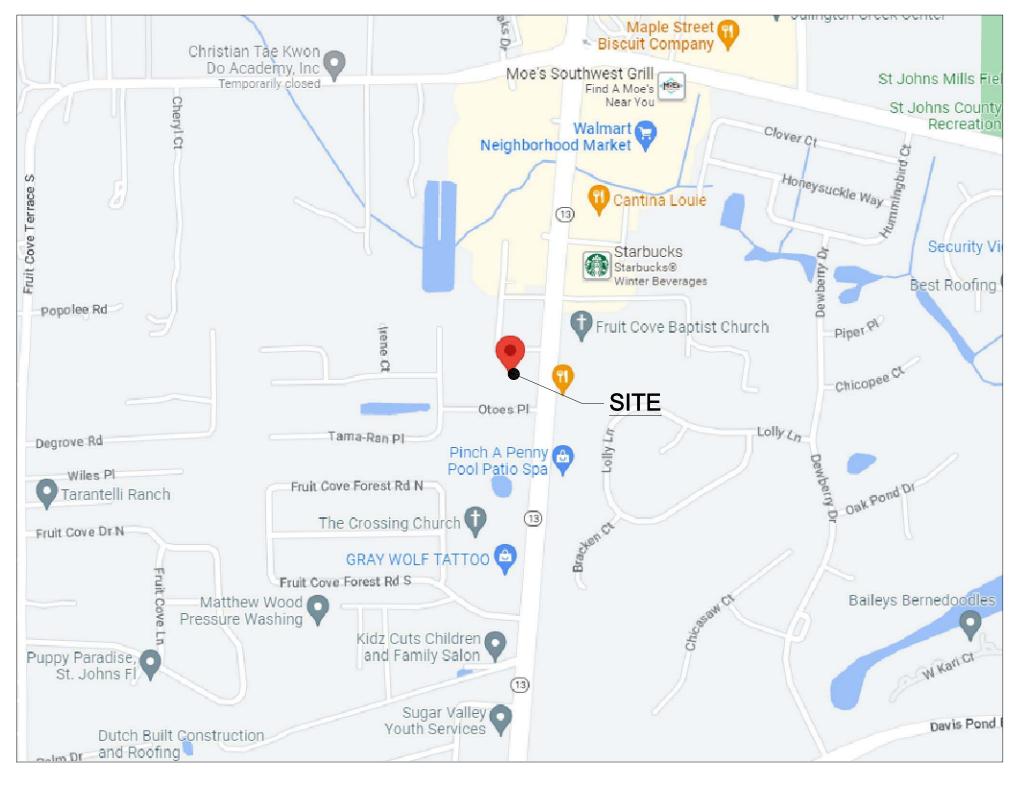
Owner's Authorization Form

David E. Tourin	ng, PE	į	s hereby authorized	d TO ACT ON BEHA	ALF OF
RMR Fruitcove Pl	aza LLC	t	he owners(s) of the	ose lands described	l within
the attached application, and as domay be required, in applying to St. Permit or other action pursuant to a	Johns County, F		an application relat		
By signing, I affirm that all legal owners(s)	, as listed on the Rec	orded Warrai	nty Deed on file with t	he St. Johns County Cle	erk of Courts
or otherwise stated (Warranty Deed), have been not	tified of the	Special Use Permit App	plication.	
(Identify what docume	nt)				
I further understand incomplete or false in development actifity.	nformation provided	on this form	may lead to revocatio	n of permits, terminati	on of
Signature of Owner	AMA				<u>-</u>
Print Name	Ronald Rettner				
Signature of Owner					
Print Name					
Telephone Number	(qu)969	-0105			
STATE OF FLORIDA NEW YOR COUNTY OF Westcheder	_				
The foregoing instrument was acknowled to the foregoing instrument was acknowled to the foregoing months of the foregoing months of the foregoing months of the foregoing instrument was acknowled to the foregoing instrument was acknowledged in the foregoing in	edged before me b , 20_ or	23, by _	Horald Rett	ce or □ online notar	ization, this
MAIA MATTHEWS Notary Public, State of New York No. 01MA6286079 Qualified in Westchester County Commission Expires July 17, 20 25	Name: <u></u> ₩ My Commi	ssion Expire	thout		
Personally Known <u></u> OR Produced Ide	entification				
ype of Identification Produced Revised August 30, 2011					

FRUIT COVE PLAZA OUTSIDE SEATING AREA

CIVIL ENGINEERING LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		RIGHT-OF-WAY LINE
		CENTERLINE
		LOT LINE
x x	x x	FENCE
		BUILDING
		PAVEMENT LINE/SIDEWALK LINE
25.50	25.50	SPOT ELEVATIONS
25	25	CONTOURS
- — - 6"SA —⊚ _{CO}	6"SA® _{CO}	SANITARY SEWER/CLEANOUT
- — - 6"PW — —	6"PW	PROCESS WASTE
- — - ST — —	st	STORM SEWER
- — - 6"W — —	6"W	DOMESTIC WATER
- — - 6"F — —	6"F	FIRE MAIN
- — - 6"G — —	6"G	GAS MAIN
_ — _ 6"FM — —	6"FM ———	FORCE MAIN
- — - UE — —	——— UE ———	UNDERGROUND ELECTRIC
- — - OHE — —	OHE	OVERHEAD ELECTRIC
- — - UT — —	UТ	UNDERGROUND TELEPHONE
- — - OT — —	—— от ——	OVERHEAD TELEPHONE
- — - UD — —	—— UD ——	UNDERDRAIN
		FIRE HYDRANT
		DOUBLE CHECK VALVE ASSEMBLY
	R.P.	RED. PRESSURE BACKFLOW PRE
——————————————————————————————————————	F ——	POST INDICATOR VALVE
— 		VALVE & DOX
——————————————————————————————————————	—————————————————————————————————————	VALVE & BOX
— — — — — — — — — — — — — — — — — — —		MANHOLE SPRINKLER RISER
	WM	SPRINKLER RISER WATER METER
— — — — — — — — — — — — — — — — — — —		CATCH BASIN
		CURB INLET
		FLARED END
		MITERED END
<u> </u>		CONCRETE FLUME
		ENDWALLS
∥ □ PP	PP	CONCRETE POWER POLE
— _{PP}	— _{PP} ■ _{PP}	WOOD POWER POLE
₩ _{LP}	→ PP	LIGHT POLE
T	/1\LP T	TRANSFORMER
	S-1	DRAINAGE STRUCTURE
	SA-1	SANITARY SEWER STRUCTURE
	△	SECTION CUT
	\bigcirc	DETAIL REFERENCE
		SILT FENCE
	— \$= — \$= —	HAYBALE BARRIER
		SOIL BORING LOCATION/NUMBER
	▼ 1	COLL BOTTING LOOK HOW/HOWIDEN



VICINITY MAP

540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

SITE DATA

SITE ADDRESS 540 ROUTE 13, NAME OF AGENT ST.JOHNS COUNTY, FL 14286-19 BEACH BLVD.,UNIT 355 JACKSONVILLE, FLORIDA 32250 THE TOURING COMPANY, INC. NAME OF ENGINEER: (904) 614-3302 14286-19 BEACH BLVD., UNIT 355 JACKSONVILLE, FLORIDA 32250 **TOTAL SITE AREA:** 1.83 ACRES NAME OF SURVEYOR: REPUBLIC NATIONAL 407 WEKIVA SPRINGS ROAD ST 101 LONGWOOD, FLORIDA 32779

REVISED PERMIT ISSUE - 07-18-2023

SHEET INDEX

C-00	COVER SHEET
C-01	GENERAL NOTES
C-02	EXISTING CONDITIONS
C-03	DEMOLITION PLAN
C-04	GEOMETRY AND LAYOUT PLAN
C-05	GRADING PLAN
CD-01	SITE DETAILS PLAN
L-01	LANDSCAPE PLAN

THE FLORIDA PROFESSIONAL

THE SIGNATURE MUST BE VERIFIED ON

ANY ELECTRONIC DOCUMENTS.

SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGES TO EXISTING UTILITIES. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS. THE LENGTH OF ALL DRAINAGE PIPES AND LOCATION OF ALL DRAINAGE STRUCTURES ARE APPROXIMATE. THE LOCATION OF THE DRAINAGE

WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY DURING RELOCATION OPERATIONS. THE CONTRACTOR

STRUCTURES SHALL DETERMINE THE LENGTH OF PIPE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AN "AS-BUILT" SURVEY OF THE COMPLETED CONSTRUCTION. THE "AS-BUILT" SURVEY SHALL BE PREPARED IN ACCORDANCE WITH APPROPRIATE GOVERNMENTAL REGULATIONS AND SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR.

THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A RECORD COPY OF ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ON WHICH ALL FIELD CHANGES ARE TO BE SHOWN. THESE CHANGES ARE TO BE INCORPORATED IN THE "AS-BUILT" SURVEY FURNISHED TO THE ENGINEER.

PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION COMPANIES TO DETERMINE THE TYPE AND LOCATION OF ALL UNDERGROUND FACILITIES IN THE AREA OF CONSTRUCTION. ALL REQUIRED FIRE LINES AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF VERTICAL CONSTRUCTION

DURING CONSTRUCTION, AN ALL-WEATHER ACCESSIBLE ROADWAY SHALL BE MAINTAINED AT ALL TIMES FOR FIRE APPARATUS.

EROSION & SEDIMENT CONTROL NOTES

- ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL EROSION, SEDIMENTATION, AND THE POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. CONTRACTOR SHALL MINIMIZE DISTURBANCE OF NATURAL VEGETATION TO THE MAXIMUM EXTENT PRACTICAL DURING THE CONSTRUCTION
- SILT FENCE OR HAY BALES AND TURBIDITY BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ON SITE, TO BE INSPECTED WEEKLY AND CORRECTIVE ACTION TAKEN AS NECESSARY
- STORMWATER RETENTION AND DETENTION STORAGE MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA SERVED BY THOSE SYSTEMS. ADEQUATE MEASURES MUST BE TAKEN TO PREVENT SILTATION OF THESE TREATMENT SYSTEMS AND CONTROL STRUCTURES DURING CONSTRUCTION OR SILTATION MUST BE REMOVED PRIOR TO FINAL GRADING AND STABILIZATION

CONTRACTORS SHALL SOD ALL SWALES AND STORMWATER PONDS IN ACCORDANCE WITH THE DETAIL PROVIDED AS SOON AS POSSIBLE AFTER CONSTRUCTION IN ORDER TO STABILIZE THE SLOPES AND MINIMIZE EROSION. DURING ANY CONSTRUCTION OF THE PERMITTED SYSTEM INCLUDING STABILIZATION AND REVEGETATION OF DISTURBED SURFACES, THE CONTRACTOR IS RESPONSIBLE FOR THE SELECTION. IMPLEMENTATION. AND OPERATION OF ALL EROSION AND SEDIMENT CONTROL MEASURES

ADMINISTRATIVE CODE. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A PROTECTIVE COVER (VEGETATIVE OR SUITABLE ALTERNATIVE) FOR EROSION AND SEDIMENT CONTROL ON ALLI AND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT. UNI ESS MODIFIED BY ANOTHER CONDITION OF THE PERMIT OR OTHERWISE SPECIFIED ON A DISTRICT APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE PROTECTIVE COVER MUST BE INSTALLED WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING OF THE AFFECTED LAND SURFACE. A PERMANENT VEGETATIVE COVER MUST BE ESTABLISHED WITHIN 60 DAYS OF ITS INSTALLATION. THE PERMITTEE'S REQUIREMENT TO MAINTAIN COVER ON

REQUIRED TO RETAIN SEDIMENT ONSITE TO PREVENT VIOLATIONS OF THE WATER QUALITY STANDARDS IN ACCORDANCE WITH THE FLORIDA

- OFFSITE SURFACES SHALL NOT BE COMPLETE UNTIL AFTER THE DISTRICT RECEIVES THE PERMITTEE'S STATEMENT OF COMPLIANCE. AT A MINIMUM, TURBIDITY BARRIERS AND SILT FENCES SHALL BE INSTALLED PER PLAN. ADDITIONAL MEASURES MUST BE TAKEN TO MINIMIZE IMPACTS OF RECEIVING WATERS SUCH AS THE USE OF HAY BALES AT INLETS, ADDITIONAL SILT FENCING, AND SODDING.
- MAINTENANCE OF THE STORMWATER SYSTEM SHALL BE PERFORMED BY THE HOMEOWNERS ASSOCIATION. MAINTENANCE SHALL INCLUDE BIWEEKLY MOWING AND QUARTERLY INSPECTION OF INLETS AND DRAINAGE CONTROL STRUCTURES.

SITE CLEARING AND GRADING NOTES

THE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS AND/OR THE FAILURE OF THE CONTRACTOR TO EMPLOY THE APPROPRIATE EROSION CONTROL BEST MANAGEMENT PRACTICES. FAILURE TO COMPLY WITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK ORDER".

- NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING. BARRICADES AND OTHER PROTECTIVE FENCING ARE TO BE LOCATED AT THE DRIP LINE OF EXISTING NATIVE TREES OR AT THE EDGE OF THE NATIVE UNDERSTORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY.
- SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING. BARRICADES ARE TO BE SET AT THE DRIP LINE OF THE TREES AND MAINTAINED THROUGHOUT
- THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER. WHERE A CHANGE OF GRADE OCCURS AT THE DRIP LINE OF A SPECIMEN TREE, SILT FENCES WILL BE REQUIRED DURING CONSTRUCTION AND RETAINING WALLS MUST BE INSTALLED PRIOR TO FINAL ACCEPTANCE BY THE CITY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL
- STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, HAY BALES, SILT FENCES, AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT, MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES. PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY
- AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES. AND (5) AT ANY ADDITIONAL AREAS THAT THE CITY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS. THE CITY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES. AS DETERMINED. DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF THE SITE-SPECIFIC CLEARING PERMIT APPLICATION AND THROUGHOUT PROJECT CONSTRUCTION.
- WHERE FILL MATERIAL IS INTENDED TO BE II CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE, IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH FENCING. THIS PRACTICE IS ENCOURAGED BY THE CITY. IF THE SILT FENCE FAILS TO PROVIDE ADEQUATE PROTECTION FROM IMPACT DUE TO CONSTRUCTION, THEN ADDITIONAL CONSTRUCTION FENCING OR WOOD BRACING SHALL BE REQUIRED
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE WITHIN TWENTY DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE. THE CONTRACTOR

AT A MINIMUM, THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. SUFFICIENT GRASS COVERAGE IS TO BE ESTABLISHED WITHIN

- SHALL INSTALL SEED AND MULCH OF SOD. AS REQUIRED. FOR INDIVIDUAL CONSTRUCTION PROJECTS INVOLVING MULTIPLE PHASES, UPON COMPLETION OF EACH PHASE OF THE PROJECT, SEEDING AND MULCHING AND/OR SODDING IS TO BE PERFORMED PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION.
- ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED. ANY BURNING OF CLEARED MATERIALS MUST BE INSPECTED AND PERMITTED ON A DAILY BASIS. CONTACT THE PERMITS AND LICENSING DIVISION
- PRIOR TO EACH DAY OF DESIRED BURNING. 2. ABSOLUTELY NO BURYING OF CLEARED MATERIALS IS PERMITTED. 3. THE REMOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THOSE AREAS. THE TOPSOIL MAY BE TEMPORARILY STOCKPILED AND USED AS TOPSOIL OVER PROPOSED
- GREEN AREAS SUCH AS PLANT BEDS, SODDED AREAS, AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED. TEMPORARY STOCKPILE
- 14. A SIGNED, DATED, AND SEALED LETTER FROM A SOILS ENGINEER OR THE ENGINEER OF RECORD CERTIFYING THAT THE AREAS TO BE FILLED HAVE BEEN STRIPPED OF ORGANIC MATERIALS, MUST BE SUBMITTED TO THE CITY PRIOR TO FILLING.
- 15. FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 98% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180)
- 16. IF ANY MUCK MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH A SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- 17. STOCKPILING IS NOT GENERALLY PERMITTED BY THE CITY, WHEN ALLOWED, STOCKPILES SHALL NOT EXCEED SIX FEET IN HEIGHT MEASURED FROM THE ORIGINAL GRADE. AT A MINIMUM, STOCK PILES THAT WILL REMAIN IN PLACE IN EXCESS OF TWENTY DAYS SHOULD BE SEEDED AND MULCHED IMMEDIATELY UPON PLACEMENT OF THE FINAL LIFT. 18. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE
- IMPACT TO NEIGHBORING COMMUNITIES. ADEQUATE WATERING METHODS SHOULD BE EMPLOYED TO ALLOW DAILY COVERAGE OF THE ENTIRE LIMITS OF ALL AREAS THAT DO NOT HAVE AN ESTABLISHED VEGETATIVE COVER. METHODS TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, WATER TRUCKS, PERMANENT IRRIGATION SYSTEMS, TEMPORARY SPRINKLER SYSTEMS OPERATED BY PUMPING UNIT CONNECTED TO WET RETENTION PONDS, WATER CANNONS, TEMPORARY IRRIGATION SYSTEMS MOUNTED ATOP STOCKPILE AREAS, AND OTHER METHODS AS DEEMED
- 19. ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF CLEAN GRANULAR SAND FREE FROM ORGANICS AND SIMILAR MATERIAL THAT COULD DECOMPOSE
- 20. ALL FILL TO BE PLACED IN LANDSCAPED AREAS SHALL HAVE A PH RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, OR MATCH NATIVE EXISTING SOILS.

SITE PLAN & SUBDIVISION TESTING

THE INSPECTION AND TESTING OF MATERIALS AND FINISHED ARTICLES ARE TO BE INCORPORATED IN THE WORK SHALL BE MADE BY BUREAUS LABORATORIES, OR AGENCIES APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL SUBMIT SUCH SAMPLES OR SUCH SPECIMANS OR TEST PIECES OF MATERIALS AS THE ENGINEER OF RECORD MAY REQUIRE. THE CONTRACTOR SHALL NOT INCORPORATE ANY MATERIAL OR FINISHED ARTICLE INTO THE WORK UNTIL THE RESULTS OF THE INSPECTIONS OR TESTS ARE KNOWN AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER OF RECORD THAT THE MATERIAL OR FINISHED ARTICLE IS ACCEPTED. ALL MATERIALS MUST BE OF THE SPECIFIED QUALITY AND BE EQUAL TO THE APPROVED SAMPLE IF A SAMPLE HAS BEEN SUBMITTED. CERTIFIED COPIES OF ALL TESTS MADE SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AS WELL AS TO THE CITY'S DESIGNATED SITE INSPECTOR. THE CITY'S DESIGNATED SITE INSPECTOR MUST RECEIVE COPIES OF ALL TESTING REPORTS AND CERTIFICATES PRIOR TO THE ENGINEER OF RECORD REQUESTING A FINAL PROJECT INSPECTION FROM THE CITY.

B. LABORATORY CONTROL AND CERTIFICATES

SAMPLING, TESTING, AND LABORATORY METHODS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE AASHTO OR ASTM. WHERE AASHTO OR ASTM SPECIFICATIONS ARE USED, THE REFERENCE SHALL BE CONSTRUED TO BE THE MOST RECENT STANDARD SPECIFICATIONS OR TENTATIVE SPECIFICATIONS OF THE AASHTO OR ASTM IN FORCE ON THE DATE OF THE TEST.

THE CONTRACTOR SHALL ENGAGE AN APPROVED TESTING LABORATORY TO PROVIDE THE FOLLOWING TESTS AND CERTIFICATIONS SIGNED BY A REGISTERED ENGINEER OF THE STATE OF FLORIDA. ALL TECHNICIANS PERFORMING THE TESTS SHALL BE STATE CERTIFIED FOR THE TESTING PERFORMED. ADDITIONAL TESTS THAT MAY BE REQUIRED BY EITHER THE ENGINEER OF RECORD OR THE CITY SHALL ALSO BE PROVIDED BY THE CONTRACTOR. THE FOLLOWING SHALL NOT BE TAKEN AS A COMPLETE AND EXHAUSTIVE LIST OF THE CONTRACTOR'S TESTING RESPONSIBILITIES.

SOIL ANALYSIS FOR STRUCTURAL FILL MATERIAL PRIOR TO INSTALLATION.

METHOD), AND ANALYSIS OF CORE SAMPLES.

- PROCTOR DENSITIES, MOISTURE CONTENT, COMPACTED FIELD DENSITIES, AND ATTERBERG LIMITS. ANALYSIS OF RECYCLED CONCRETE BASE MATERIAL PRIOR TO INSTALLATION.
- ASPHALT MIX DESIGN, BITUMEN CONTENT, SIEVE ANALYSIS, HUBBARD FIELD STABILITY TESTS, NUCLEAR DENSITY TESTS (BACKSCATTER
- CONCRETE MIX DESIGNS FOR ALL APPLICATIONS INCLUDING PAVEMENT, CAST-IN-PLACE STRUCTURES, CURBING, GUTTERS, SIDEWALKS, BIKE PATHS. APRONS AND DRIVEWAYS.
- . COMPRESSIVE TEST CYLINDERS AND SLUMP TESTS FOR ALL APPLICATIONS OF CONCRETE, INCLUDING PAVEMENT, CAST-IN-PLACE STRUCTURES, CURBING, GUTTERS, SIDEWALKS, BIKE PATHS, APRONS, AND DRIVEWAYS.
- CHLORINE RESIDUAL AND BACTERIOLOGICAL TESTING OF WATER MAINS. PRESSURIZED LEAK TESTING OF WATER MAINS, FORCE MAINS, AND RECLAIMED WATER MAINS

WATER CONSTRUCTION NOTES (PRIVATE UTILITIES ONLY)

- LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY POTABLE WATER SYSTEM CONSTRUCTION.
- DEWATERING SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW MAIN BEING LAID. ALL WATER MAINS SHALL BE LAID ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCH, ROCK, COQUINA, ETC.) REMOVED AND
- REPLACED WITH CLEAN GRANULAR MATERIAL. TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE LOCAL UTILITY COMPANY WITH A MINIMUM COMPACTION OF 98% IN PAVED
- AREAS AND 95% IN UNPAVED AREAS IN ACCORDANCE WITH AASHTO T-180. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS BE PROVIDED AT POINTS 12 INCHES ABOVE THE PIPE AND AT 12 INCHES VERTICAL INTERVALS TO FINISH GRADE. AT A MINIMUM SPACING OF EVERY 300 FEET. 6. 3" METALLIZED PIPE LOCATION TAPE SHALL BE LOCATED BETWEEN 15" AND 24" BELOW FINISHED GRADE OR AS SPECIFIED BY MANUFACTURER FOR
- ALL PVC LINES. MARKER TAPE SHALL BE USED ON ALL DUCTILE IRON PIPE. AS WELL ALL SINGLE RESIDENTIAL WATER SERVICES SHALL BE 1". POLYETHYLENE TUBING SHALL BE USED, IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS: POLYETHYLENE TUBING SHALL BE CTS 3408 HIGH DENSITY TUBING, BLUE IN COLOR, AND RATED FOR A MINIMUM OF 200 PSI WITH SDR OF 9 (CTS). THE TUBING SHALL HAVE A VIRGIN HIGH DENSITY POLYETHYLENE CENTER FOR WHICH THE MANUFACTURER SHALL FURNISH A CERTIFICATE OF PURITY. THE TUBING SHALL HAVE UV PROTECTION AND SHALL NOT BE AFFECTED BY DIRECT SUNLIGHT. THE TUBING SHALL
- WITH A LIFETIME WARRANTY ACCEPTABLE MANUFACTURERS: ENDOT ENDO PURE OR APPROVED FOLIAL ALL WATER SERVICE ENDINGS SHALL BE MARKED WITH A 2" X 4" LUMBER (PRESSURE TREATED) EXTENDING 4 FEET ABOVE GRADE, WITH WATER SERVICES SECURED 12" MAXIMUM ABOVE THE GROUND.

COMPLY WITH OR EXCEED THE APPLICABLE STANDARDS OF A.S.T.M D1248, D3350, D2239, D2737, N.S.F. 14 AND A.W.W.A. C901 AND SHALL COME

- WATER VALVES SHALL BE PLACED AT ALL STREET INTERSECTIONS AND AT MAXIMUM SPACINGS OF 750 FEET. 10. AT ALL WATER MAIN TEES AND CROSSES, VALVES SHALL BE INSTALLED ON ALL LEGS EXCEPT ONE
- 11. ALL WATER VALVES SHALL BE ADJUSTED TO FINISHED GRADE AND THE CAPS PAINTED BLUE TO MAKE THEN PLAINLY VISIBLE. 12. UPON FINAL ACCEPTANCE OF NEW WATER SYSTEMS, WATER VALVES SHALL BE COMPLETELY OPENED BY THE LOCAL UTILITY COMPANY. AT NO
- TIME SHALL CONTRACTOR OPERATE ANY EXISTING VALVES WITHOUT A LOCAL UTILITY COMPANY INSPECTOR PRESENT. 13. TYPICALLY, A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED AT EVERY INTERSECTION. OTHER FIRE HYDRANTS SHALL BE LOCATED SO AS TO PRODUCE A MAXIMUM 500 FEET HOSE LAY TO COVER THE REAR OF ALL BUILDINGS.
- 14. ALL WATER MAINS SHALL BE NSF-APPROVED FOR POTABLE WATER USE, AND SHALL HAVE A MINIMUM COVER OF 36 INCHES. 15. ALL PROPOSED WATER MAINS SHALL BE FLUSHED, DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.
- 16. UPON CONSTRUCTION COMPLETION AND ACCEPTANCE OF THE SYSTEM, IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE DEPARTMENT OF HEALTH AND AS-BUILTS ARE PROVIDED TO THE LOCAL UTILITY COMPANY PRIOR TO ANY USE OF THIS SYSTEM.
- 17. WATER DISTRIBUTION SYSTEM SHALL BE DESIGNED TO COMPLY WITH THE CITY'S FIRE (WATER) FLOW CODE. 18. ALL POTABLE WATER MAINS SHALL USE A THRUST RESTRAINT JOINT METHOD IN COMPLIANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION (DIPRA) GUIDELINES. IN THE EVENT THAT PVC FITTINGS ARE SPECIFIED, THE RESTRAINT SHALL BE MODIFIED IN ACCORDANCE WITH THE RECOMMENDED ADDITIONAL RESTRAINT LENGTH REQUIRED FOR PIPE WRAPPED WITH POLYETHYLENE.
- 19. MEGALUGS, BOLTLESS RESTRAINED JOINTS, GRIPPER GASKETS, OR STAR GRIPS SHALL BE USED ON ALL RESTRAINED JOINT INSTALLATIONS. MINIMUM DEPTH OF BURY ON PIPES NOT MEETING REQUIRED COVER REQUIREMENTS SHALL FOLLOW THE MOST RECENT DIPRA THRUST RESTRAINT DESIGN GUIDELINES
- 20. GRIPPER RING GASKETS BY ROMAC AND OR STAR AU-GRIP MAY BE USED AS APPROPRIATE FOR RESTRAINING PRESSURE PIPE TO FITTINGS, 21. WATER SYSTEMS SHALL BE PRESSURE TESTED AT 150 PSI STATIC PRESSURE FOR A PERIOD OF 2 HOURS PER AWWA STANDARDS 22. ALL WATER SERVICES SHALL BE MARKED WITH AN "A" SAW CUT INTO THE CURB OR BY METAL TABS SET INTO THE PAVEMENT.
- 23. ALL WATER VALVES SHALL BE MARKED WITH AN "X" SAW CUT INTO THE CURB OR BY METAL TABS SET INTO THE PAVEMENT. BLOW-OFFS SHALL BE MARKED SIMILARLY, AS WELL. 24. ALL TAPPING OF MAINS SHALL BE PERFORMED BY THE LOCAL UTILITY COMPANY AND BILLED IN ACCORDANCE WITH THE ADOPTED FEE RESOLUTION, SCHEDULING OF THESE CONNECTIONS SHALL REQUIRE A MINIMUM 48 HOUR NOTIFICATION (MEASURED ON NORMAL WORK DAYS)
- DIRECTED TO THE LOCAL UTILITY COMPANY DESIGNATED SITE INSPECTOR WHO SHALL COORDINATE THE WORK DIRECTLY WITH THE PUBLIC UTILITIES DEPARTMENT. SUBSEQUENTLY, THE CONNECTION SHALL BE SCHEDULED TO COMMENCE BETWEEN 8:00 AM AND NOON ON THE APPROPRIATE DAY. 25. ALL PROPOSED POTABLE WATER MAINS SHALL BE FLUSHED. DISINFECTED, PRESSURE TESTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE WHEN APPROPRIATE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE LOCAL LITILITY COMPANY DESIGNATED SITE INSPECTOR AT LEAST 48 HOURS PRIOR TO BEGINNING FLUSH OF THE MAINS PRIOR TO THE COMMENCEMENT OF PRESSURE TESTING. 26. WITH RESPECT TO TIE-IN CONNECTIONS, THE LOCAL UTILITY COMPANY RESERVES THE RIGHT TO REQUIRE CONNECTIONS TO BE PERFORMED DURING PERIODS OF LOW FLOW (MIDNIGHT TO 6:00 AM) IN ORDER TO MINIMIZE SERVICE DISRUPTION TO EXISTING CUSTOMERS.
- 27. ALL WORK PERFORMED UPON POTABLE WATER FACILITIES OWNED OR PROPOSED TO BE OWNED BY THE LOCAL UTILITY COMPANY SHALL BE CONSTRUCTED BY AN UNDERGROUND UTILITY CONTRACTOR OR GENERAL CONTRACTOR LICENSED IN THE STATE OF FLORIDA AND REGISTERED WITH THE LOCAL UTILITY COMPANY. 28. POTABLE WATER SYSTEM EXTENSIONS MAY NOT BE USED PRIOR TO FINAL TESTING, CLEARANCE AND ACCEPTANCE BY THE LOCAL UTILITY
- COMPANY THIS INCLUDES CONSTRUCTION WATER REQUIRED FOR SEWER LINE CLEANING OR RELATED USES. 29. ALL H.D.P.E PIPE UTILIZED FOR WATER, FORCE MAIN AND/OR REUSE WATER MAIN EXTENSIONS SHALL BE S.D.R.11 UNLESS SPECIFICALLY NOTED OTHERWISE. THE HDPE PIPE SHALL BE SIZED TO MATCH THE EXTERNAL DIAMETER OF THE PVC OR DIP PIPE TO WHICH IT IS ATTACHED. 30. ALL VALVES 2" AND LARGER SHALL BE STANDARD 2" GATE VALVES (CORP STOPS ARE NOT ACCEPTABLE)

ROADWAY CONSTRUCTION NOTES

- ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SITE PLAN SHALL BE IN CONFORMANCE WITH THE CITY, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). AND THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION.)
- ALL RIGHT-OF-WAY OTHER THAN ROADWAY AREAS SHALL BE GRASSED AND MULCHED OR SODDED. ALL SLOPES STEEPER THAN 6:1 SHALL REQUIRE SODDING. THE CITY RESERVES THE RIGHT TO REQUIRE SODDING IN SPECIAL AREAS WHERE EROSION IS A CONCERN. 3. THE FOLLOWING WILL BE THE STANDARD PROTECTION FOR DITCHES UNLESS DRAINAGE CALCULATIONS INDICATE OTHERWISE:

SWALE PROFILE GRADES PROTECTION REQUIRED GRASSING AND MULCHING 1.0% - 4.0% SODDING 4.0% AND GREATER DITCH PAVING

- THE PAVEMENT. BASE AND SUBBASE THICKNESS PRESENTED ON DETAILS REPRESENTS THE MINIMUM REQUIREMENTS FOR LOCAL PUBLIC STREETS AND PRIVATE PARKING LOTS. THE CITY RESERVES THE RIGHT AT ITS DISCRETION TO INCREASE THESE REQUIREMENTS FOR COLLECTOR AND
- ARTERIAL ROADWAYS AND PRIVATE PARKING LOTS SUBJECTED TO HEAVY VEHICULAR COMMERCIAL TRAFFIC. THE DEVELOPER SHALL PROVIDE AT THEIR OWN EXPENSE A CERTIFIED SOILS ENGINEERING LABORATORY TO PERFORM ALL FIELD AND LABORATORY TESTING REQUIRED TO VERIFY THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE CITY'S MINIMUM STANDARDS. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO ENSURE THAT COPIES OF ALL TEST REPORTS ARE PROVIDED TO THE CITY'S DESIGNATED SITE INSPECTOR PRIOR TO THE PROJECT FINAL INSPECTION IN ORDER TO ALLOW PROJECT ACCEPTANCE BY THE CITY
- REFER TO THE SITE DETAILS AND ATTACHED SPECIFICATIONS TO DETERMINE THE EXACT DESIGN FOR ALL PAVEMENT SECTIONS CEMENT DELIVERY TICKETS SHALL BE PROVIDED TO THE CITY'S DESIGNATED SITE INSPECTOR AT THE TIME OF PLACEMENT. IF THE INSPECTOR IS NOT ON SITE THROUGHOUT THE ENTIRE INSTALLATION, ACCUMULATED DELIVERY TICKETS CAN BE PROVIDED TO THE INSPECTOR BY THE CONTRACTOR ON THE FOLLOWING DAY.
- THE ROADWAY CROWN SHALL HAVE A STANDARD ONE QUARTER INCH (1/4") PER FOOT SLOPE, UNLESS NOTED OTHERWIS ALL ROADWAYS WITH CURB AND GUTTER SECTIONS SHALL HAVE AS A STANDARD A MINIMUM LONGITUDINAL SLOPE OF 0.30%. THE ROADWAY CENTERLINE SHALL BE CLEARLY MARKED ON THE DESIGN PLANS. AT A MINIMUM, DESIGN ROADWAY CENTERLINE ELEVATIONS SHALL BE NOTED AT ALL GRADE CHANGES AND AT 100' INTERVALS ALONG THE ROADWAY PROFILE ON BOTH THE DESIGN PLANS AND AS-BUILT DRAWINGS.
- THE FINISHED PAVEMENT EDGE SHALL BE WITHIN ONE QUARTER INCH (1/4") ABOVE THE ADJACENT CONCRETE CURB FOR CURBS COLLECTING AND CONVEYING STORMWATER.
- CONCRETE CURBS SHALL BE PROVIDED ON BOTH SIDES OF ALL STREETS AND ALL CONCRETE CURBS SHALL BE CONSTRUCTED WITH 3000 PSI CONCRETE AT 28 DAYS. 13. CONCRETE CURBING, SIDEWALKS, PAVEMENT AND SIMILAR CONCRETE AREAS SHALL BE SAW CUT WITHIN 4 TO 18 HOURS OF PLACEMENT. SAW CUTS SHALL BE 1/4" IN WIDTH TO A DEPTH OF 1/4 OF THE TOTAL DEPTH OF CONCRETE OF 1-1/2" WHICHEVER IS LESS. SAW CUTS SHALL BE LOCATED AT INTERVALS OF TEN FEET (10') WITH EXPANSION JOINTS AT STREET INTERSECTIONS, RADIUS POINTS, STRUCTURES, AND ALONG CURVES AT SIXTY FEET (60') INTERVALS. ALL EXPANSION JOINT MATERIAL IS REQUIRED TO BE INSTALLED THROUGH THE ENTIRE DEPTH OF THE CONCRETE
- CURB. FOR LINEAL SECTIONS OF CURBS, EXPANSION JOINTS SHALL BE LOCATED AT A MAXIMUM SPACING OF FIVE-HUNDRED FEET (500') AND SHALL 14. AN "X" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF WATER DISTRIBUTION SYSTEM VALVE.
- 15. A "V" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL SEWER SERVICES.
- 16. A "^" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL POTABLE WATER SERVICES THE DEVELOPER SHALL PROVIDE ALL REQUIRED PAVEMENT MARKINGS ON ALL ROADWAYS PER CITY, COUNTY, AND STATE REQUIREMENTS. CENTERLINE STRIPES SHALL BE PROVIDED ON EXTENSIONS OF CITY COLLECTOR OR ARTERIAL ROADS, COUNTY ROADS, STATE HIGHWAYS, AND ALONG LOCAL STREETS IN THE VICINITY OF THEIR INTERSECTION WITH THE ABOVE MENTIONED ROADWAYS
- 18 A FDOT APPROVED STOP SIGN AND A 24" WIDE WHITE THERMOPI ASTIC STOP BAR ARE REQUIRED AT ALL ROADWAY INTERSECTIONS 19. ALL TRAFFIC CONTROL DEVICES PLACED AT INTERSECTIONS, PRIVATE STREETS, PUBLIC STREETS, COUNTY ROADS, AND STATE HIGHWAYS WITHIN THE CITY LIMITS SHALL BE INSTALLED ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. THE
- MAINTENANCE-OF-TRAFFIC (MOT) INSTALLATION AND SUBSEQUENT OPERATION SHALL BE OVERSEEN BY A CONTRACTOR CERTIFIED BY THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION. OR EQUIVALENT CERTIFICATION RECOGNIZED BY FDOT 20. THE DEVELOPER IS RESPONSIBLE FOR PAYING FEES FOR TRAFFIC CONTROL DEVICES TO THE CITY FOR INSTALLATION. STREET SIGNS AND STOP SIGNS SHALL BE PLACED AT ALL INTERSECTIONS, INCLUDING BUT NOT LIMITED TO PRIVATE STREETS, PUBLIC STREETS, COUNTY ROADS, AND
- STATE HIGHWAYS WITHIN THE CITY LIMITS. THE DEVELOPER IS RESPONSIBLE FOR PAYING FEES FOR ALL STREET LIGHTS PRIOR TO ACCEPTANCE OF THE PROJECT BY THE CITY FOUR FOOT (4') WIDE SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF ALL RESIDENTIAL STREETS. (SEE DETAIL, INDEXES M-1 AND M-2) 23. BIKE PATHS SHALL BE CONSTRUCTED EIGHT FEET (8') IN WIDTH ALONG ARTERIAL HIGHWAYS AS DIRECTED BY THE CITY. (SEE DETAIL INDEXES M-1
- 24. STANDARD TURNING RADII FOR INTERSECTIONS
- RESIDENTIAL STREETS WITH STATE & COUNTY ROADWAYS OR MAJOR THOROUGHFARES WITHIN THE CITY
- ENTRANCES TO COMMERCIAL SITES OFF OF CITY STREETS
 35 FT
- INTERSECTIONS INTERIOR IN SUBDIVISIONS
- 38. SHOULD THE COUNTY OR THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DETERMINE THAT LARGER RADII ARE WARRANTED WITHIN THEIR RIGHT-OF-WAY, THE LARGER RADII SHALL PREVAIL 39. ALL CONTRACTORS THAT ARE PERFORMING THE CONSTRUCTION OF LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS (INCLUDING WATER
- MAINS, SANITARY SEWER MAINS, RECLAIMED WATER MAINS, STORM WATER PIPES AND INLETS, ROADWAYS, AND PARKING FACILITIES) SHALL BE CERTIFIED WITH THE STATE OF FLORIDA BOARD OF PROFESSIONAL REGULATIONS 9BPR) FOR THE TYPE OF WORK THAT THEY PERFORM . ALL CONTRACTORS THAT ARE PERFORMING THE CONSTRUCTION WORK OF LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS SHALL BE LICENSED BY THE STATE OF FLORIDA AND REGISTERED WITH THE CITY. THE LICENSE AND REGISTRATION SHALL PERTAIN DIRECTLY TO THE TYPE
- OF WORK BEING PERFORMED 41. CONCRETE COLLARS SHALL NOT BE PERMITTED/PLACED AROUND SANITARY/STORM MANHOLES. CONTRACTORS SHALL PROVIDE AND COMPACT SUBBASE, BASE & ASPHALT ADJACENT TO STRUCTURES.

DEVELOPMENT SERVICES DEPARTMENT ROADWAY CONSTRUCTION REQUIREMENTS

- SOIL BORINGS BY A CERTIFIED TESTING LAB ARE REQUIRED WITHIN THE ROAD RIGHT-OF-WAY AT EVERY 200-FOOT INTERVALS AND TO A MINIMUM DEPTH OF 6 FEET; THE LOCATIONS MUST BE STAGGERED FROM THE RIGHT SIDE, LEFT SIDE OR CENTERLINE, AT THE DISCRETION OF THE TESTING
- ROADWAY FILL MATERIAL SHALL BE GOOD, CLEAN SAND. CLASSIFICATIONS A3, FREE OF DEBRIS, COMPACTED IN 12-INCH LIFTS AND TESTED FOR COMPACTION IN EACH LIFT AT 200-FOOT INTERVALS. THE TEST LOCATIONS WILL BE AT THE DISCRETION OF THE TESTING LAB. THE MINIMUM COMPACTION RATE IS 98% OF MAXIMUM DRY DENSITY, PER THE MODIFIED PROCTOR TEST.
- ROADWAY SUBGRADE COMPACTION TESTS ARE REQUIRED EVERY 200-FEET. THE TEST LOCATIONS WILL BE AT THE DISCRETION OF THE TESTING LAB. THE MINIMUM COMPACTION RATE IS 98% OF MAXIMUM DRY DENSITY ROADWAY BASE MATERIAL SHALL BE LIMEROCK AND SHALL BE TESTED FOR COMPACTION EVERY 200-FEET AND AT EACH UTILITY MANHOLE OF INLET WITHIN THE PAVEMENT. THE LIMEROCK BASE THICKNESS SHALL BE DETERMINED FROM THE SITE DETAILS AND SPECIFICATIONS. THE TEST
- LOCATIONS WILL BE AT THE DISCRETION OF THE TESTING LAB OR THE CITY ENGINEER. SHELL BASE MATERIAL AND SOIL CEMENT IS NOT ALLOWED. THE MINIMUM COMPACTION RATE OF THE LIMEROCK BASE IF FLORIDA BEARING VALUE (FBV) 75 OR LIMEROCK BEARING RATION (LBR) 40. THE WEARING COURSE SHALL BE 1.1/2" MINIMUM THICKNESS, TYPE I TYPE S-3 OR TYPE S-1 ASPHALTIC CONCRETE, AN EXTRACTION TEST IS REQUIRED ON THE ASPHALTIC CONCRETE WEARING COURSE. THE CITY ENGINEERING DEPT. MUST INSPECT THE IN-PLACE BASE SURFACE PRIOR
- TO THE CONTRACTOR PLACING THE WEARING COURSE. CORE BORINGS OF THE ASPHALTIC CONCRETE WEARING COURSE AND THE BASE MATERIAL ARE REQUIRED TO DETERMINE THE IN-PLACE THICKNESS AT SELECTED LOCATIONS BY THE CITY ENGINEER.
- THE ABOVE TESTS ARE TO BE PERFORMED BY A CERTIFIED TESTING LAB, AT THE EXPENSE OF THE DEVELOPER, AND ALL TEST RESULTS MUST BE SUBMITTED TO THE CITY ENGINEER, AS THEY BECOME AVAILABLE. ALL TEST RESULTS ARE REQUIRED TO BE SIGNED, SEALED AND DATED BY A

SANITARY SEWER NOTES)PRIVATE UTILITIES ONLY)

- 1. THE LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY SANITARY SEWER CONSTRUCTION 2 ALL GRAVITY SANITARY SEWER MAIN LINES SHALL BE 8" DIAMETER MINIMUM COMMERCIAL SERVICE LATERALS WITH MULTIPLE CONNECTIONS
- SHALL BE GREEN 8" DIA. OR LARGER. ALL SINGLE FAMILY RESIDENTIAL SERVICE LATERALS SHALL BE 6" SINGLE. ALL GRAVITY SANITARY SEWER LINES SHALL BE GREEN PVC SDR 35, ASTM D-3034. IN PLACES WHERE A MINIMUM COVER OF 3.0' CANNOT BE MAINTAINED, AWWA C-900 OR C-905 GREEN PVC DR-25, CLASS 100 OR CONCRETE ENCASEMENT SHALL BE USED. WATER LINES, REUSE LINES, AND STORM DRAINAGE CROSSINGS SHALL ALSO FOLLOW THE CONCRETE ENCASEMENT REQUIREMENT PER THESE STANDARDS AND AS PER
- REGULATORY REQUIREMENTS.
- MINIMUM GRAVITY SANITARY SEWER SLOPES ARE AS FOLLOWS: 4" PIPE 1.00%
- 6" PIPE 0.65% 8" PIPE 0.40%
- 10" PIPE 0.30% 12" PIPE 0.22%
- OR OTHERWISE NOTED BY THE CITY ENGINEER
- GRAVITY SANITARY SEWER LINES SHALL BE INSTALLED WHENEVER POSSIBLE UNDER PAVED AREAS WITHIN PUBLIC RIGHTS-OF-WAY. UTILITY EASEMENTS SHALL BE PROVIDED WHENEVER PUBLICLY-OWNED SEWER LINES ARE CONSTRUCTED OUTSIDE OF A PUBLIC RIGHT-OF-WAY. 6. GRAVITY SANITARY SEWER LINE CONSTRUCTION SHALL BE ACCOMPLISHED BY THE USE OF A LASER INSTRUMENT UNLESS ANOTHER METHOD IS PREVIOUSLY APPROVED BY THE LOCAL UTILITY COMPANY.
- THE CONTRACTOR SHALL AT ALL TIMES, DURING PIPE LAYING OPERATIONS, DEWATER THE GROUND SUFFICIENTLY TO KEEP THE GROUNDWATER ELEVATION A MINIMUM OF 6" BELOW THE PIPE BEING LAID WITHIN THE AREA OF THE TRENCH. 8. ALL PIPES SHALL BE LAID ON A FIRM FOUNDATION. SOFT OR SPONGY BEDDING FOR PIPES IS NOT ACCEPTABLE. ANY UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH A DRY COMPACTED, GRANULAR MATERIAL SATISFACTORY TO THE LOCAL UTILITY COMPANY
- ON ALL EXCAVATION AND BACKFILLING THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING AND BRACING IN ORDER TO PROVIDE FOR THE
- SAFETY OF WORKMEN, AS WELL AS REPRESENTATIVES OF THE LOCAL UTILITY COMPANY, THE DESIGN ENGINEER AND THE DEVELOPER. ALL TRENCHES SHALL BE BACKFILLED WITH ACCEPTABLE MATERIAL AND COMPACTED TO THE SPECIFIED MINIMUM COMPACTION (95% IN UNPAVED AREAS AND 98% IN PAVED AREAS) OF THE OPTIMUM DENSITY OF THAT MATERIAL BASED ON THE AASHTO T-180 MODIFIED
- 11. THE CONTRACTOR SHALL INSTALL A #8 COPPER WIRE, OR SIMILAR DEVICE AS MAY BE APPROVED BY THE CITY FOR THE FULL LENGTH OF ALL PVC SEWAGE FORCE MAINS. THIS PIPE LOCATOR AID SHALL BE INSTALLED BETWEEN 15" AND 24" BELOW FINISHED GRADE OR AS DIRECTED BY THE MANUFACTURER. TAPE SHALL BE COLOR CODED GREEN FOR SANITARY SEWER AND FORCE MAIN.
- MANHOLE RIMS SHALL MATCH FLUSH WITH THE FINISH GRADE ELEVATION IN PAVED AREAS AND A MINIMUM OF 0.2 FEET AND MAXIMUM OF 0.5 FEET ABOVE GRADE FOR UNPAVED AREAS. ALL SEWER LINES WHICH ARE CONSTRUCTED OUTSIDE OF PUBLIC RIGHT-OF-WAY WITHIN SIDE YARDS, BACKYARDS, AND OTHER POORLY

12. STANDARD MANHOLES SHALL BE LOCATED AT INTERVALS NOT EXCEEDING 300 FEET, UNLESS OTHERWISE NOTED ON PLANS.

- ACCESSIBLE AREAS SHALL BE CONSTRUCTED OF DUCTILE IRON OR C-900 PVC. ABSOLUTELY NO USE OF PLASTIC STYRENE FITTINGS SHALL BE 15. SEWER LATERAL LOCATIONS SHALL BE MARKED ALONG THE OUTSIDE OF THE CURB WITH A SAW CUT "V" OR BY A METAL TAB SET INTO THE
- 16. EZ-WRAP PLASTIC, AS MANUFACTURED BY PRESS SEAL GASKET CORPORATION, SHALL BE USED ON THE OUTSIDE OF ALL MANHOLE AND WETWELL JOINTS. APPLY ONE LAYER OF 9" WRAP CENTERED ON EACH JOINT. A CITY INSPECTOR SHALL PERSONALLY INSPECT ALL JOINT SEALS PRIOR TO
- **BACKFILLING OPERATIONS** 17. ALL IN-LINE SANITARY SEWER FORCE MAIN VALVES SHALL BE FULL BORE PLUG VALVES. 18. WITH RESPECT TO TIE-IN CONNECTIONS AND CORING OPERATIONS, THE LOCAL UTILITY COMPANY RESERVES THE RIGHT TO REQUIRE CONNECTIONS TO BE PERFORMED DURING PERIODS OF LOW FLOW (MIDNIGHT TO 6:00 AM) IN ORDER TO MINIMIZE SERVICE DISRUPTION TO
- **EXISTING CUSTOMERS** 19. ALL WORK PERFORMED UPON SANITARY SEWER FACILITIES OWNED OR PROPOSED TO BE OWNED BY THE LOCAL UTILITY COMPANY SHALL BE CONSTRUCTED BY A LICENSED UNDERGROUND UTILITY CONTRACTOR OR LICENSED GENERAL CONTRACTOR WHO IS LICENSED IN THE STATE OF
- UPON CONSTRUCTION COMPLETION AND ACCEPTANCE OF THE SYSTEM, IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AS-BUILTS ARE PROVIDED TO THE LOCAL UTILITY COMPANY PRIOR TO ANY USE OF THE SYSTEM. ALL HDPE PIPE INSTALLED FOR SEWAGE FORCE MAINS SHALL BE SDR 11 UNLESS SPECIFICALLY NOTED OTHERWISE. THE HDPE PIPE SHALL BE SIZED TO MATCH THE EXTERNAL DIAMETER OF THE PVC OR DIP TO WHICH IT IS ATTACHED.

FLORIDA AND REGISTERED WITH THE CITY.

- 22. THE CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY AT HIS OWN EXPENSE TO INSURE THAT COMPACTION OF ALL FILL MATERIAL IS COMPLETED PROPERLY. TESTS SHALL BE DONE ONE FOOT ABOVE THE PIPE AND THEN AT ONE FOOT VERTICAL INTERVALS UNTIL FINAL GRADE IS REACHED. TESTING SHALL BE COMPLETED AND TEST DOCUMENTS SUBMITTED TO THE LOCAL UTILITY COMPANY AT A MINIMUM FREQUENCY OF ONE SET OF TESTS PER EACH 300 FOOT OF PIPING AND ONE ADDITIONAL SET OF TESTS AT EVERY MANHOLE. IDENTIFICATION OF TEST LOCATIONS SHALL BE CLEARLY INDICATED ON TEST REPORTS. TEST RESULTS SHALL BE FORWARDED PROMPTLY TO THE LOCAL UTILITY COMPANY DESIGNATED SITE INSPECTOR.
- 23. ALL TESTING REQUIRED BY THE LOCAL UTILITY COMPANY SHALL BE PAID FOR BY THE CONTRACTOR/DEVELOPER. THE LOCAL UTILITY COMPANY RESERVES THE RIGHT TO REQUIRE THE DEVELOPER TO PERFORM VACUUM TESTING OF ALL SANITARY MANHOLES AND TO AIR TEST SEWER MAINS.
- 25 ALL PROPOSED SEWER FORCE MAINS SHALL BE FLUSHED, PRESSURE TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY COMPANY DESIGNATED SITE INSPECTOR WHO SHALL COORDINATE THE THE LOCAL UTILITY COMPANY PERSONNEL AT THE WATER OR WASTEWATER TREATMENT PLANT (AS APPROPRIATE) AT LEAST 24 HOURS PRIOR TO BEGINNING A FULL DIAMETER FLUSH OF THE MAINS PRIOR TO THE COMMENCEMENT OF PRESSURE TESTING PRESSURE TESTING (SUBJECT TO AVAILABILITY). SANITARY SEWER FORCE MAINS SHALL BE PRESSURE TESTED TO 100 PSI FOR 2 HOURS.
- CONCRETE COLLARS SHALL NOT BE PERMITTED/PLACED AROUND SANITARY/STORM MANHOLES. CONTRACTOR SHALL PROVIDE AND COMPACT SUBBASE, BASE & ASPHALT ADJACENT

AS-BUILT DRAWING REQUIREMENTS

IN ORDER TO ENSURE THAT NEW SUBDIVISIONS AND SITE PLANS ARE CONSTRUCTED SUBSTANTIALLY IN ACCORDANCE WITH CITY REGULATIONS AND THE APPROVED DRAWINGS, THE FOLLOWING INFORMATION (WHERE APPLICABLE) IS REQUIRED ON ALL AS-BUILT DRAWINGS.

- PAVEMENT AND CURB WIDTHS SHALL BE VERIFIED AND DIMENSIONED FOR EACH STREET AT EACH BLOCK. (FOR SUBDIVISIONS) AND AS APPROPRIATE TO CONFIRM PAVING LIMITS (ON SITE PLANS). ALL RADII AT INTERSECTIONS SHALL BE VERIFIED AND DIMENSIONED. THIS INFORMATION IS TO BE CLEARLY INDICATED ON THE AS-BUILT
- ROADWAY ELEVATIONS SHALL BE RECORDED AT ALL GRADE CHANGES, 100' INTERVALS ALONG ROADWAY, AND OTHER INTERVALS AS NEEDE ALONG ALL STREETS. STREET CENTERLINE AND CURB INVERT ELEVATIONS SHALL BE RECORDED AS NOTED. THE AS-BUILT CENTERLINE PROFILE OF ALL STREETS SHALL ALSO BE SHOWN ON THE PLAN AND PROFILE SO IT MAY BE COMPARED TO THE DESIGN PROFILE GRADE LINES. IN THE EVENT THAT THE AS-BUILT CENTERLINE LONGITUDINAL GRADE DOES NOT MEET THE CITY MINIMUM STANDARDS. ADDITIONAL LONGITUDINAL GRADES OF THE ADJACENT CURBING AND SIMILAR ROADWAY CROSS-SECTION SURVEYS TO VERIFY THE CORRECT CROSS SLOPE, SHALL BE
- REQUIRED TO VERIFY THAT THE SYSTEM WILL FUNCTION AS ORIGINALLY DESIGNED. STORM DRAINAGE STRUCTURES SHALL BE LOCATED AND/OR DIMENSIONED FROM CENTERLINES OR LOT LINES AS APPROPRIATE. EACH STRUCTURE SHALL BE LOCATED BY SUB-METER GPS WITH LATITUDE, LONGITUDE AND ELEVATION DATA PROVIDED. STORM DRAINAGE PIPE INVERT AND INLET ELEVATIONS SHALL BE RECORDED AND CLEARLY DENOTED AS AS-BUILT INFORMATION. DESIGN

ELEVATIONS SHALL BE CROSSED OUT AND AS-BUILT INFORMATION WRITTEN NEXT TO IT.

STORM DRAINAGE PIPE MATERIAL, LENGTH, AND SIZE SHALL BE MEASURED AND/OR VERIFIED. THIS INFORMATION IS TO BE CLEARLY INDICATED AS AS-BUILT INFORMATION. ALL APPLICABLE TOPOGRAPHIC INFORMATION PERTINENT TO THE ON-SITE DRAINAGE SYSTEM, SUCH AS DITCHES, SWALES, LAKES, CANALS, ETC. THAT ARE DEEMED NECESSARY BY THE CITY TO VERIFY THE FUNCTIONAL PERFORMANCE OF THE STORMWATER SYSTEM, SHALL BE NOTED. NORMALLY, RECORDING ELEVATIONS EVERY 100 FEET AT THE TOP OF BANK AND TOE OF SLOPE WILL BE REQUIRED.

RETENTION AREAS SHALL HAVE THEIR TOP-0F BANK AND BOTTOM ELEVATIONS RECORDED. ACTUAL MEASUREMENTS SHALL BE TAKEN AND

DIMENSIONS RECORDED OF THE SIZE OF ALL RETENTION AREAS. MEASUREMENTS SHALL BE DONE FROM TOP-OF- BANK TO TOP-OF-BANK WITH

- SIDE SLOPES INDICATED. SEPARATE CALCULATIONS SHALL BE SUBMITTED TO INDICATE REQUIRED AND PROVIDED RETENTION VOLUMES. ACTUAL MATERIALS USED AND ELEVATIONS AND DIMENSIONS OF OVERFLOW WEIR STRUCTURES AND SKIMMERS SHALL BE NOTED ON THE STORM DRAINAGE SWALE CENTERLINES SHALL BE LOCATED AND ELEVATIONS OF FLOW LINE AND TOP OF BANK SHALL BE RECORDED EVERY 100
- FEET. SIDE SLOPES SHALL ALSO BE INDICATED. SANITARY SEWER MANHOLES SHALL BE VERIFIED AND DIMENSIONED FROM STREET CENTERLINES OR LOT LINES AS APPROPRIATE. ALL RIM AND INVERT ELEVATIONS SHALL BE VERIFIED AND RECORDED. THIS INFORMATION SHALL BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION. DESIGN ELEVATIONS SHALL BE CROSSED OUT AND AS-BUILT INFORMATION WRITTEN NEXT TO IT
- FOR SUBDIVISIONS, PROPOSED DESIGN FINISHED FLOOR ELEVATIONS SHALL APPEAR ON ALL SUBDIVISION LOTS ON THE APPROPRIATE PLAN AND PROFILE SHEET AS WELL AS ON THE MASTER DRAINAGE PLAN. SANITARY SEWER LINE LENGTHS, SIZES, MATERIAL, ETC. SHALL BE VERIFIED AND RECORDED. THIS INFORMATION IS TO BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION.
- SEWER LATERALS SHALL BE VERIFIED AND RECORDED AT THEIR CLEAN-OUT LOCATIONS. STATIONING AND OFFSET DISTANCES SHALL BE MEASURED FROM DOWNSTREAM MANHOLES TOWARDS UPSTREAM. 15. LIFT STATIONS AND FORCE MAINS SHALL BE VERIFIED AND DIMENSIONED FROM STREET CENTERLINES OR LOT LINES AS APPROPRIATE. FORCE MAIN DEPTH AND LOCATION INCLUDING VALVES WILL BE PROVIDED AND TIED TO PERMANENT ABOVE GRADE FEATURES. DIMENSIONAL AND ELEVATION INFORMATION INDICATED ON THE APPROVED PLAN SHALL BE VERIFIED AND RECORDED. THIS INFORMATION SHALL BE CLEARLY

INDICATED AS BEING AS-BUILT INFORMATION. BURIED ELECTRICAL SERVICE LINE SHALL BE CLEARLY DIMENSIONED, LOCATED, AND LABELED

- EACH LIFT STATION SHALL BE LOCATED BY SUB-METER GPS WITH LATITUDE, LONGITUDE AND ELEVATION DATA PROVIDED. CURB CUTS OF METAL TABS, USED TO MARK SEWER LATERALS, WATER SERVICES AND WATER VALVES, SHALL BE VERIFIED FOR PRESENCE AND POTABLE AND RECLAIMED WATER MAIN LINES SHALL BE DIMENSIONED OFF THE BASELINE CONSTRUCTION. WATER MAIN LINE MATERIAL, SIZE
- LENGTH AND DEPTH PLACED SHALL BE NOTED. LOCATIONS OF VALVES SHALL ALSO BE TIED TO BASELINE CONSTRUCTION. THIS INFORMATION SHALL BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION. POTABLE AND RECLAIMED WATER VALVES, TEES, BENDS, ALL SERVICES, AND FIRE HYDRANTS SHALL BE LOCATED BY TYING THEM TO BASELINE CONSTRUCTION (STA. & OFFSET) SIMILARLY, FORCE MAIN VALVES, TEES AND BENDS SHALL BE LOCATED IN THE SAME MANNER. STATIONING AND
- OFFSET DISTANCES SHALL BE MEASURED FROM DOWNSTREAM MANHOLES TO UPSTREAM MANHOLES. ALL VALVES AND HYDRANTS SHALL BE LOCATED BY SUB-METER GPS WITH LATITUDE. LONGITUDE AND ELEVATION DATA PROVIDED. FOR PERPENDICULAR CROSSINGS OF STORMWATER, SANITARY SEWER, POTABLE WATER, OR RECLAIMED WATER, THE AS-BUILT PLANS SHALL CLEARLY INDICATE WHICH UTILITIES ARE LOCATED OVER OR UNDER OTHER UTILITIES, AS NECESSARY
- ANY SPECIAL FEATURES SUCH AS CONCRETE FLUMES, LAKE BANKS, WALLS, FENCING, ETC., WHICH WERE A PART OF THE APPROVED CONSTRUCTION DRAWING SHOULD ALSO BE LOCATED AND DIMENSIONED. IF AN APPROVED SUBDIVISION PLAT OR SITE PLAN SHOWS A CONSERVATION EASEMENT, THE PROJECT SURVEYOR SHOULD PROVIDE THE EXACT LOCATION OF THE SPECIMEN TREE(S) FROM THE RIGHT-OF-WAY OR PROPERTY LINES AND PROPOSED EASEMENT BOUNDARIES ON THE AS-BUILT DRAWING. THE AS-BUILT LOCATION OF THESE TREES WILL HELP VERIFY THE SUFFICIENCY OF THE CONSERVATION EASEMENT PRIOR TO PLAT
- WHEN STORMWATER, POTABLE WATER, RECLAIMED WATER, OR SANITARY SEWER IMPROVEMENTS ARE LOCATED WITHIN AN EASEMENT, THE AS-BUILT DRAWING SHALL ACCURATELY DEPICT THE LOCATION OF THE EASEMENT ITSELF AS WELL AS THE EXACT LOCATION OF THE IMPROVEMENTS WITHIN THE EASEMENT. THIS IS REQUIRED IN ORDER TO VERIFY THAT THE IMPROVEMENTS HAVE BEEN PROPERLY LOCATED AND TO ENSURE THAT FUTURE SUBSURFACE EXCAVATION TO PERFORM REMEDIAL REPAIR CAN BE ACCOMPLISHED WITHOUT DISTURBANCE BEYOND THE EASEMENT

- 1. THE NOTES ON THIS PAGE ARE GENERAL CONSTRUCTION NOTES ONLY AND DO NOT CONTAIN ALL CITY/COUNTY STANDARD CONSTRUCTION NOTES FOR WHICH THIS PROJECT IS LOCATED. REVIEW ALL PLANS FOR ANY ADDITIONAL CITY/COUNTY STANDARD
- 2. SEE SITE WORK SPECIFICATIONS FOR ADDITIONAL INFORMATION.

STORM DRAINAGE CONSTRUCTION NOTES

- ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION)
- ALL STORM SEWERS AND CULVERTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF CLASS III REINFORCED CONCRETE PIPE, OUTSIDE OF ROADWAY EASEMENTS AND R.O.W. PIPE MAY BE MADE OF ALTERNATE MATERIALS INCLUDING:
- a. SMOOTH INNER WALL HIGH DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH AASHTO M-294, AASHTO MP7, ASTM D3350 AND ASTM
- ALL STORM SEWER PIPE JOINTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE ENTIRELY WRAPPED WITH FILTER FABRIC WITH A MINIMUM WIDTH OF 42" AND A MINIMUM OF 24" OVERLAP SECURED WITH PLASTIC OR STAINLESS BANDS. GASKETS ARE NOT PERMITTED AS AN EQUIVALENT SUBSTITUTE FOR MEETING THIS REQUIREMENT. THIS PRACTICE IS ENCOURAGED ON PRIVATE SITES ADDITIONALLY. ALL JOINTS SHALL BE RUBBER GASKETED FOR BOTH ROUND AND ELLIPTICAL PIPE.
- DEPTH OF COVER MEASURED TO THE TOP OF PIPE (NOT INCLUDING THE BELL JOINT) SHALL BE A MINIMUM OF 1 FOOT. DEVIATION FROM THIS REQUIREMENT MAY BE ALLOWED BY INCREASING THE PIPE'S STRUCTURAL CAPACITY. THIS DEVIATION MUST BE SPECIFIED ON THE PLANS APPROVED FOR CONSTRUCTION AND SUBSEQUENTLY REFLECTED ON THE SHOP DRAWINGS AND AS-BUILT PLANS
- ALL STORM DRAINAGE PIPES LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF TWELVE INCH (12") DIAMETER OR EQUIVALENT. STORM DRAINAGE PIPES SMALLER THAN 15" ARE PERMITTED ON PRIVATE SITE PLANS PROVIDING THAT MAINTENANCE SHALL BE PERFORMED BY THE OWNER STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE EITHER POURED IN PLACE OR PRECAST REINFORCED CONCRETE. STRUCTURES SHALL
- BE REQUIRED AT EACH CHANGE OF PIPE SIZE OR CHANGE IN PIPE DIRECTION. ALL STRUCTURES SHALL BE IN COMPLIANCE WITH ASTM C-478 AND SHALL HAVE 8" THICK WALLS. 6" THICK WALLS MAY BE PERMITTED PROVIDING THAT THE PLANS SPECIFY INCREASED REINFORCEMENT IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 201 IN ADDITION THIS REQUIREMENT MUST BE REFLECTED ON BOTH THE SHOP DRAWING AND
- FOR CONNECTIONS BETWEEN INLETS WITH PIPING 15" IN DIAMETER AND LARGER, THE MAXIMUM DISTANCES BETWEEN INLETS AND/OR CLEAN-OUT JUNCTION BOXES SHALL BE 300 FEET, UNLESS OTHERWISE NOTED ON PLANS. CULVERTS SHALL BE SLOPED TO MAINTAIN A MINIMUM SELF-CLEANING VELOCITY OF 2.5 FEET PER SECOND USING A MANNING'S 'N' OF 0.012. SPACING FOR CLEAN-OUTS AND INLETS FOR SMALLER PIPING
- SHALL BE REDUCED AND EVALUATED ON A CASE BY CASE BASIS. ALL SWALES AND DITCHES SHALL HAVE A MAXIMUM PERMITTED SIDE SLOPE NOT GREATER THAN 3:1 AT MINIMUM. THE MAXIMUM PERMITTED BACKSLOPE SHALL BE 3:1 PROVIDED THAT A 2' WIDE BERM IS INSTALLED. DESIGN CENTERLINE AND TOP-OF-BANK ELEVATIONS SHALL BE NOTED
- AT INTERVALS OF 100'. PIPED STORMWATER SYSTEMS SHALL HAVE A MINIMUM DRAINAGE MAINTENANCE EASEMENT WIDTH OF 20 FEET, AND MAY BE INCREASED DEPENDING UPON THE SIZE AND DEPTH OF PIPE. CONCRETE EROSION CONTROL MUST BE PROVIDED WHERE SWALES OR CULVERTS INTERCEPT DRAINAGE DITCHES.
- SOIL EROSION CONTROL MEASURES, SATISFACTORY TO THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND THE CITY, SHALL BE EMPLOYED DURING CONSTRUCTION. ADEQUATE MAINTENANCE EASEMENTS OR RIGHTS-OF-WAY AS APPROVED BY THE CITY SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF
- ALL LAKES AND ASSOCIATED OUTFALLS DISCHARGING INTO AND OUT OF LAKES. APPLICABLE CROSS SECTIONS SHALL BE INCLUDED ON ALL FINAL IN GENERAL, ALL RETENTION / DETENTION SITES MUST BE CONSTRUCTED ON ALL PROJECTS PRIOR TO ANY ROAD, PARKING LOT, OR BUILDING
- CONSTRUCTION COMMENCING OR AS CURRENT PERMIT CONDITIONS DICTATE. SEWER AND WATER MAINS MAY BE INSTALLED PRIOR TO RETENTION/ DETENTION SITE CONSTRUCTION IF DEWATERING IS NOT REQUIRED. 13. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY AND ALL DEWATERING PERMITS THAT MAY BE REQUIRED. 14 WHEN CUI VERTS ARE INSTALLED TO MAINTAIN THE FLOW OF EXISTING DRAINAGE WAYS WHERE NEWLY PROPOSED ROADS WOULD OTHERWISE SEVER THE DRAINAGE WAY THEN CUI VERTS CROSSING RIGHTS-OF-WAY SHALL EXTEND FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE LINDER
- THE ROADWAY. CULVERTS SHALL BE DESIGNED TO ACCOMMODATE THE FLOW FROM THE 100 YEAR 24 HOUR STORM EVENT WITHOUT FLOODING AD IACENT PROPERTY OR SURCHARGING THE SAID ROADWAY IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND MAINTAIN A COPY OF THE SJRWMD PERMIT AT THE CONSTRUCTION SITE.
- AND ABIDE BY ALL CONDITIONS OF THE PERMIT 16. COMPACTING FOR BACKFILL SHALL COMPLY WITH FDOT SPECIFICATIONS.

POTABLE WATER/SANITARY SEWER MAINS SEPARATION NOTES (PRIVATE LINES ONLY)

- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER, THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSE GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE, HOWEVER, IT IS
- PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER. AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER.

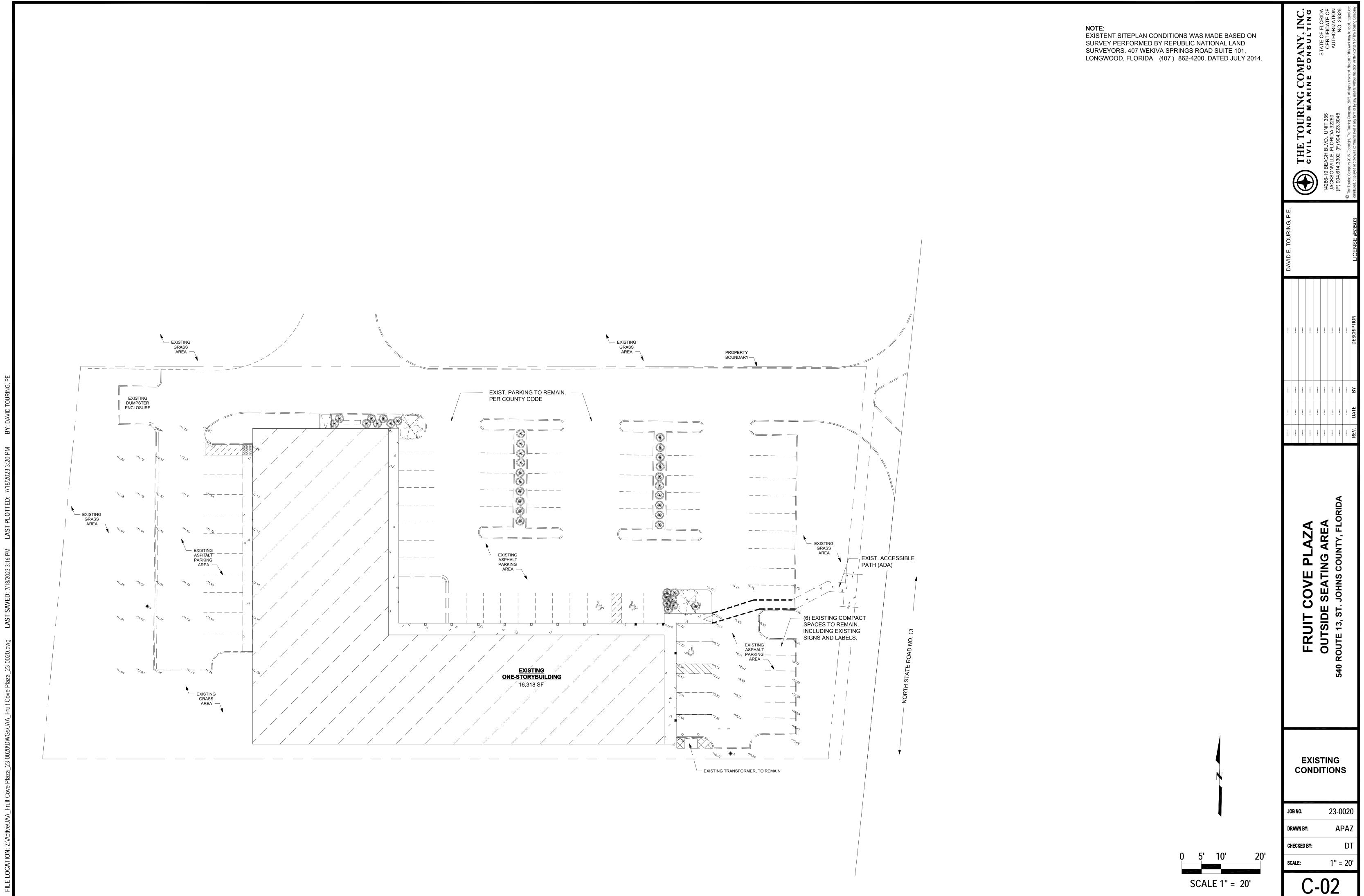
FOR ALL UTILITIES WITHIN A PUBLIC R.O.W., SEE ST JOHNS COUNTY UTILITY GENERAL NOTES, SHEET GN-1

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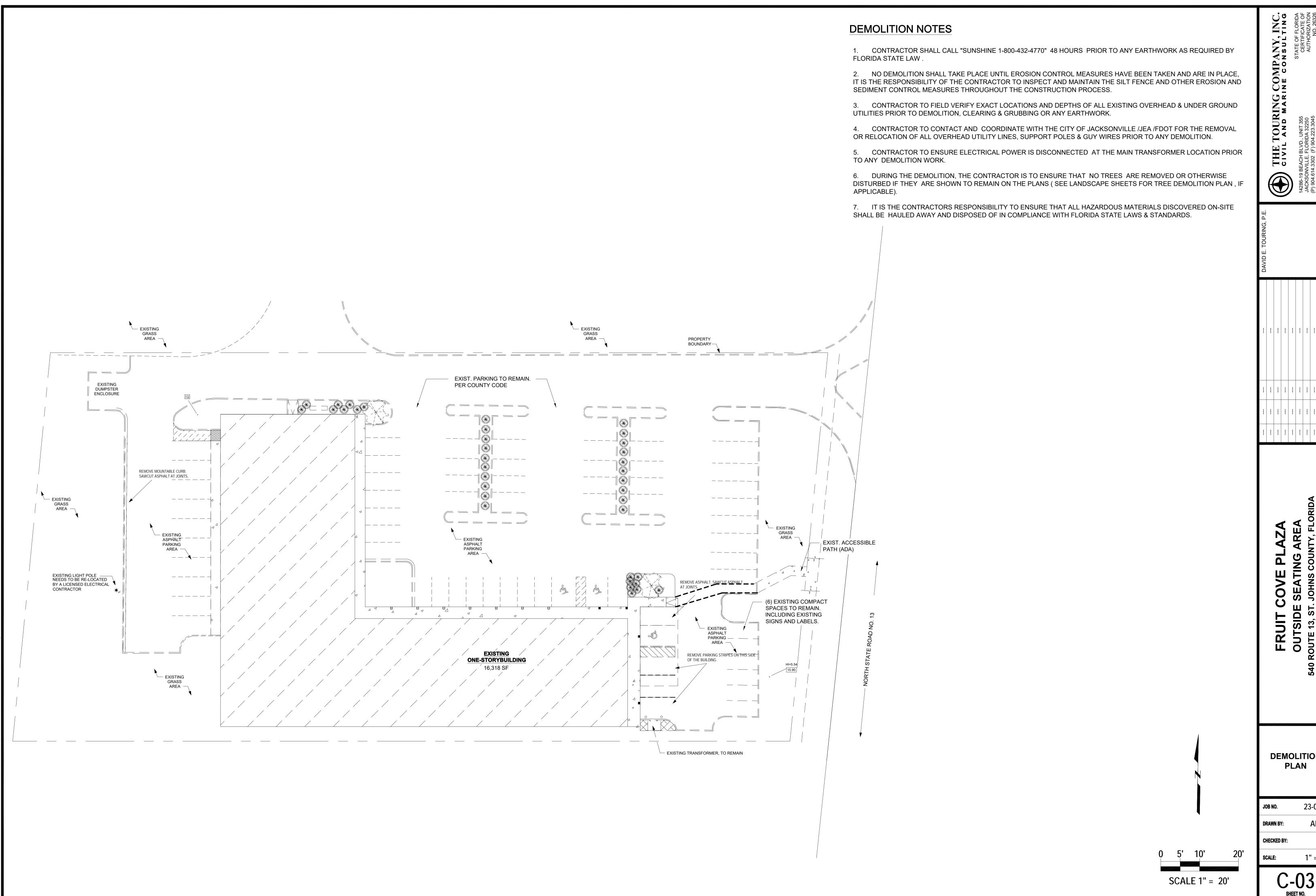
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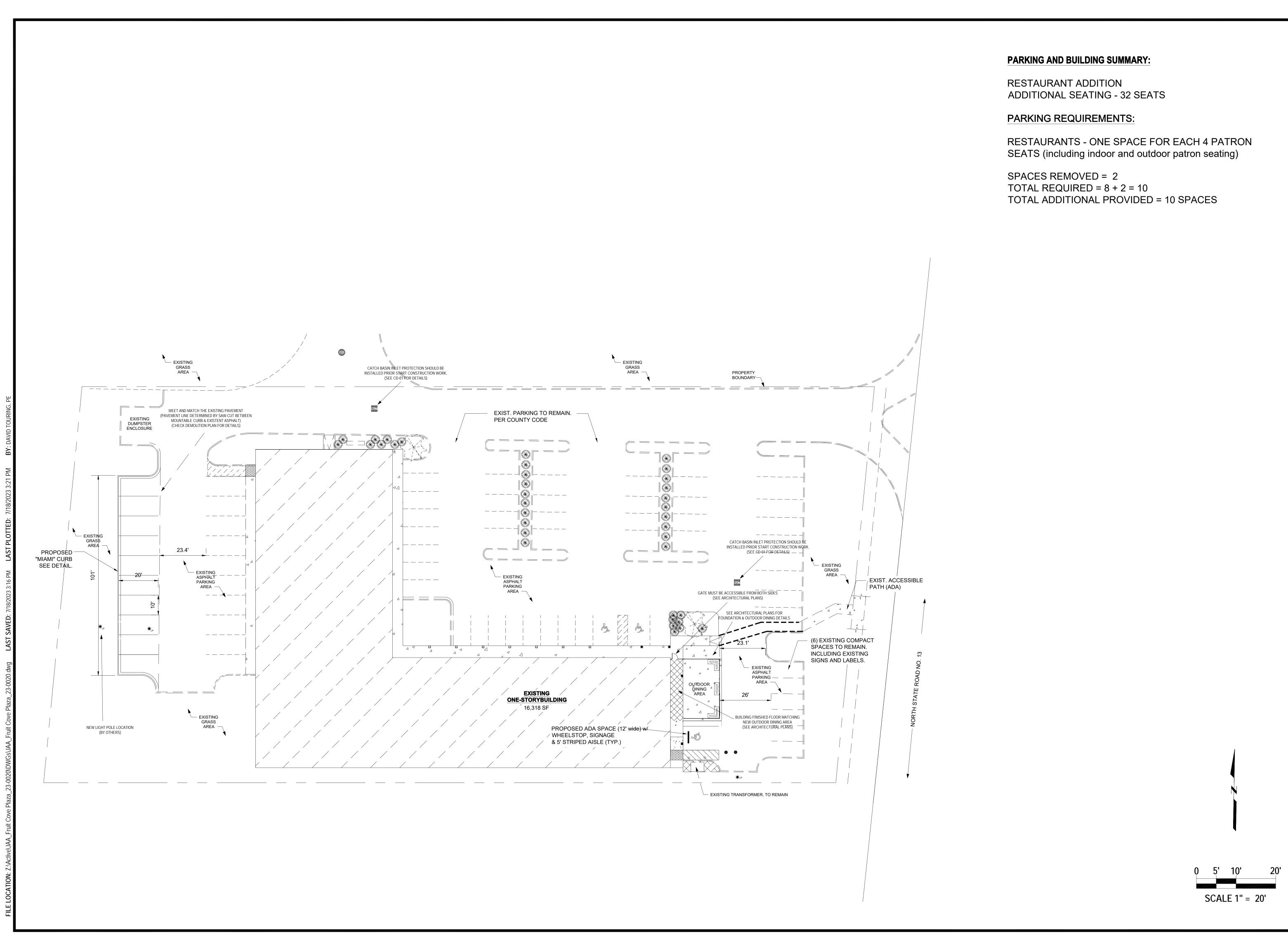


C-02
SHEET NO.



DEMOLITION PLAN

23-0020



FRUIT COVE PLAZA

OUTSIDE SEATING AREA

ROUTE 13, ST. JOHNS COUNTY, FLORIDA

THE TOURING COMPANY, INC.

CIVIL AND MARINE CONSULTING

STATE OF FLORIDA

STATE OF FLORIDA

CERTIFICATE OF
AUTHORIZATION

NO. 26326

SITE GEOMETRY & LAYOUT PLAN

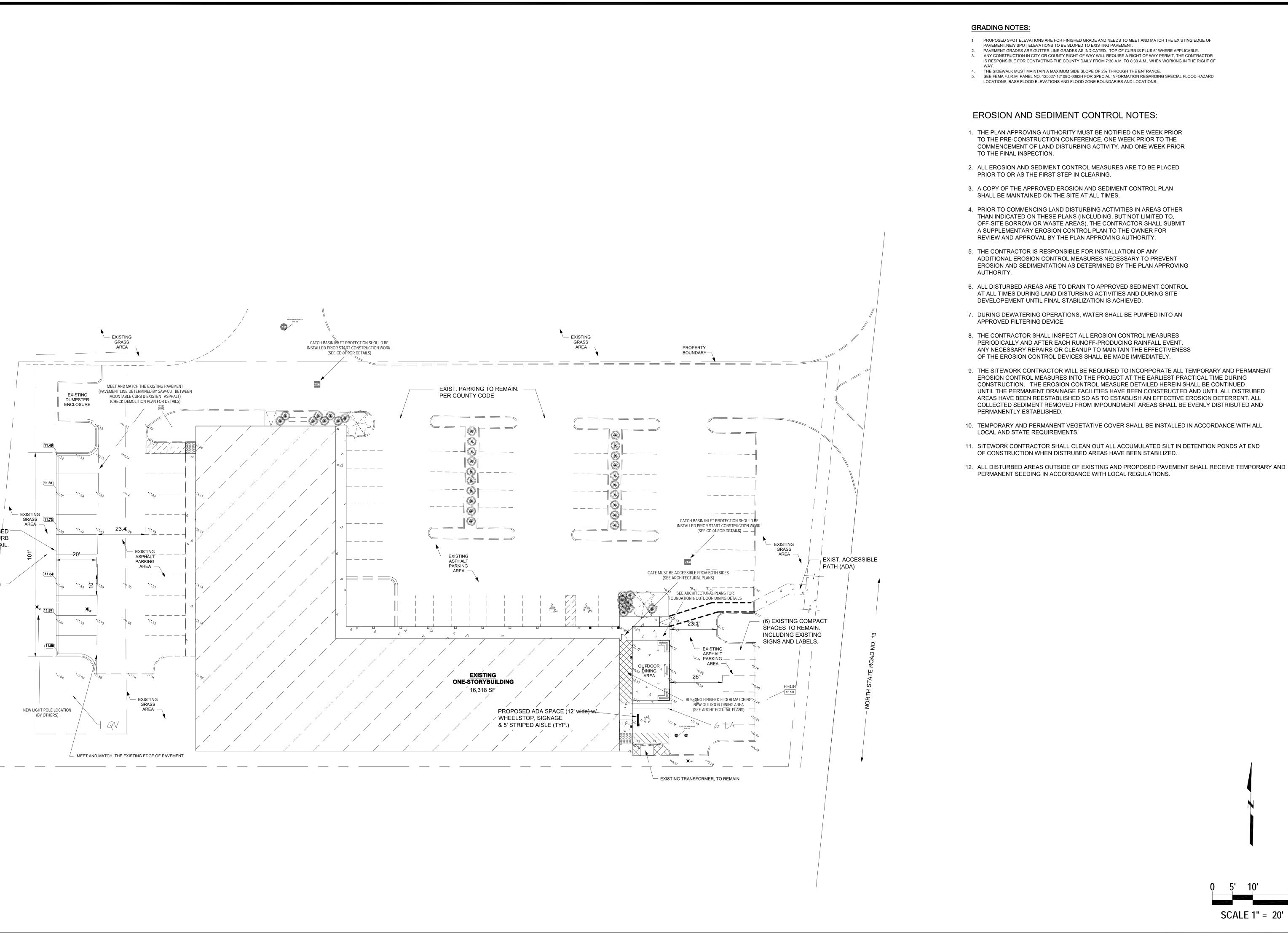
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DRAWN BY: APAZ

CHECKED BY: DT

SCALE: 1" = 20'

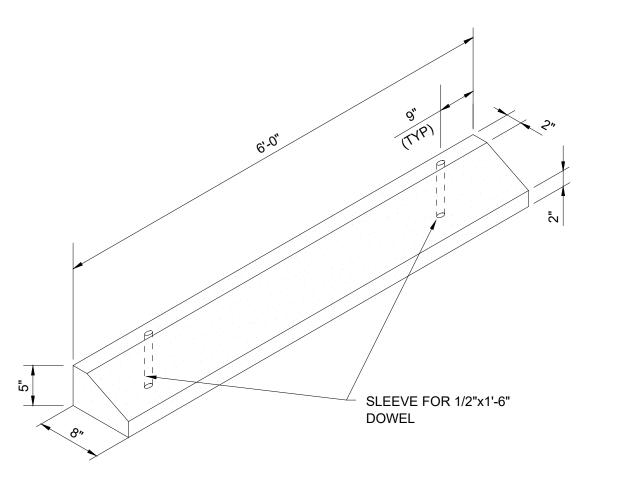
C-04



STATE OF I CERTIFIC AUTHOR MP

GRADING PLAN

23-0020 JOB NO. **CHECKED BY:**



WHEELSTOP DETAIL

 WHEN USED ON HIGH SIDE OF PAVEMENT THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON THE PLANS. SEE SPECIFICATIONS FOR CONCRETE TYPE AND STRENGTH REQUIREMENTS.

NOTES:

MOUNTABLE (MIAMI) CURB

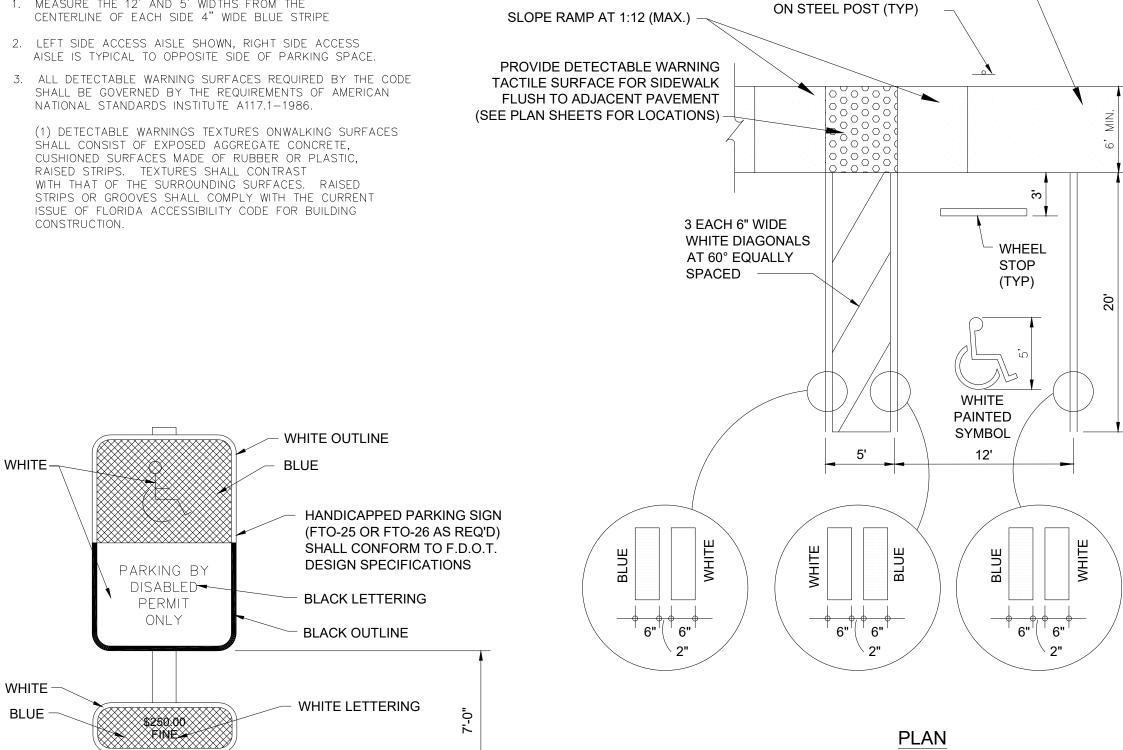
HANDICAPPED SIGN

CONCRETE SIDEWALK -

SECTION

- 1. MEASURE THE 12' AND 5' WIDTHS FROM THE
- 3. ALL DETECTABLE WARNING SURFACES REQUIRED BY THE CODE SHALL BE GOVERNED BY THE REQUIREMENTS OF AMERICAN NATIONAL STANDARDS INSTITUTE A117.1—1986.

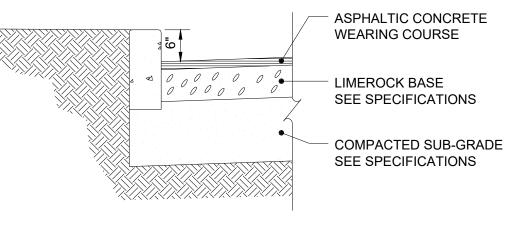
(1) DETECTABLE WARNINGS TEXTURES ONWALKING SURFACES SHALL CONSIST OF EXPOSED AGGREGATE CONCRETE, RAISED STRIPS. TEXTURES SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACES. RAISED STRIPS OR GROOVES SHALL COMPLY WITH THE CURRENT ISSUE OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.



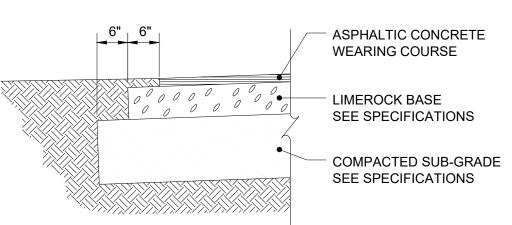
SIGN DETAIL

FINISH GRADE

A.D.A. PARKING SPACE



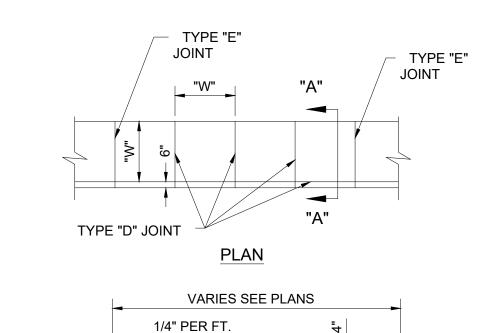
HEADER CURB OR CURB AND GUTTER

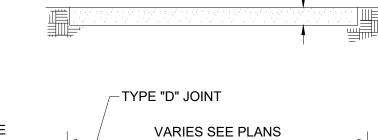


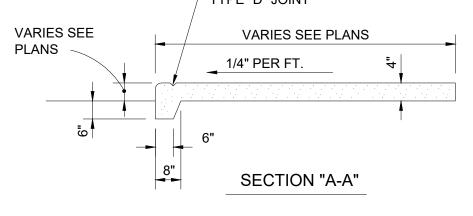
NO CURBING

PAVEMENT STRUCTURE THICKNESS TABLE			
TYPE	SUB-GRADE	BASE	WEARING COURSE
AUTO PAVEMENT	12"	6"	1 1/2"
TRUCK PAVEMENT	12"	8"	2"
R/W PAVEMENT	12"	6"	1 1/2"

ASPHALT PAVEMENT







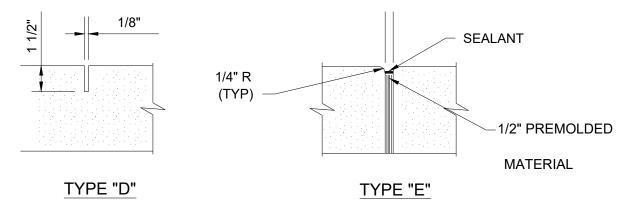
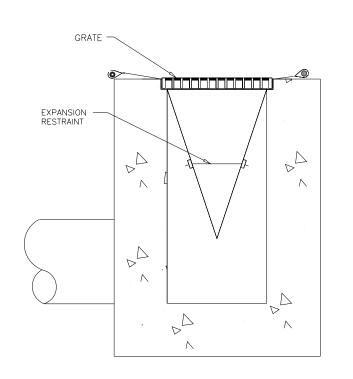


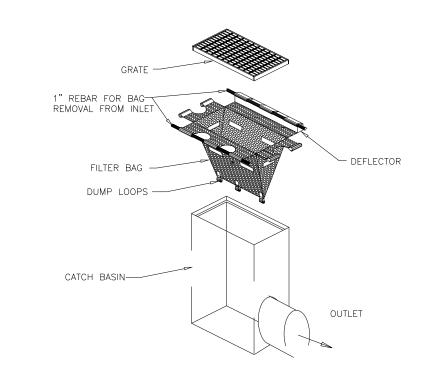
TABLE OF SIDEWALK JOINTS				
TYPE	LOCATION			
"D"	TRANSVERSE JOINT AT INTERVALS EQUAL TO THE SIDEWALK WIDTH EXCEPT EVERY FOURTH JOINT WHICH IS A TYPE "E" JOINT.			
"E"	EVERY FOURTH TRANSVERSE JOINT, P.C AND P.T. OF CURVES, ABRUPT CHANGES IN DIRECTION, AND WHERE NEW SIDEWALK ABUTS EXISTING SIDEWALK OR OTHER EXIST. CONCRETE SURFACE STRUCTURES.			

NOTE: TYPE "D" JOINT MAY BE EITHER TOOLED IN WET CONCRETE OR SAWCUT WITHIN 18 HOURS OF PLACEMENT OF CONCRETE.

SIDEWALK







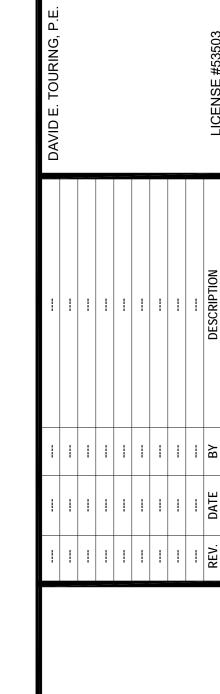
SECTION

INSTALLATION

<u>NOTES</u>

- 1. INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK. 2. FILTER TYPES SHALL BE APPROVED BY THE INSPECTOR PRIOR
- TO INSTALLATION.
- 3. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
- 4. FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE.
- 5. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
- FILTER BAGS SHALL NOT BE ALLOWED IN EXISTING TOWN OR NCDOT

CATCH BASIN **INLET PROTECTION**



CONSULTING
STATE OF FLORIDA
CERTIFICATE OF
AUTHORIZATION
NO. 26326

SITE **DETAILS PLAN**

23-0020 JOB NO. **APAZ** DRAWN BY: **CHECKED BY:** SCALE:

CD-01

LANDSCAPE CALCULATIONS

REQUIRED LANDSCAPE, INTERIOR VUA NEW VUA: 200 SF.

PROVIDED: 20+ SF. TREES: | TREE

SHRUBS: |0| FT @ 25% = 26 SF 26 SF @ 3 SF/SHRUB = 9 SHRUBS

TREES: | TREE

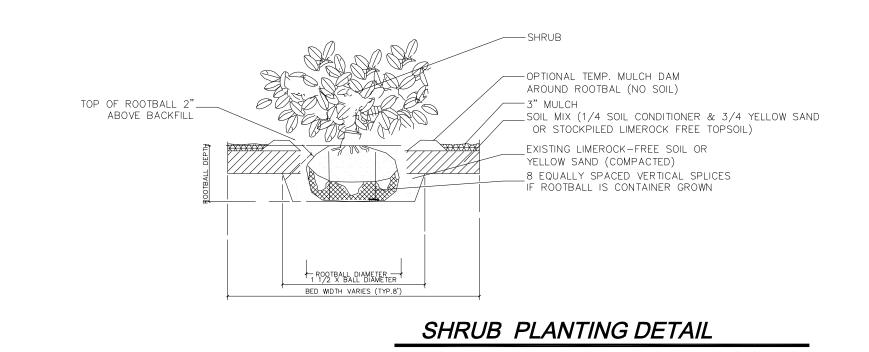
REQUIRED: 20 SF.

MITIGATION CALCULATIONS

TOTAL TREES TO BE REMOVED = 0" TREES TO BE REPLACED AT 1:1 TOTAL TREES (INCHES) TO BE PROVIDED = 0" TOTALS: TOTAL TREES REQUIRED: 21 TREES (66 INCHES) TOTAL TREES PROVIDED: 21 TREES (66 INCHES) TOTAL SHRUBS REQUIRED: 35 SHRUBS

TOTAL SHRUBS PROVIDED: 35 SHRUBS

SHRUB CREDITS: 27 SHRUBS TO REMAIN



3/4" STRAP THROUGH 3/4" WIRE___ CINCH BUCKLE TÉNSIONED TIGHT OVER 2X4 WOOD BOARD (LENGTH EQUAL TO ROOTBALL DIAMETER) TOP OF ROOTBALL 2"____ ABOVE BACKFILL 3/4" WIDE POLYESTER STRAP WITH BLACK PLASTIC OR METAL TOGGLE - 2 OR 4 PER TREE (ANCHOR SYSTEM 2)

WATER BAG IF NO AUTOMATIC IRRIGATION IF B&B, REMOVE TOP 1/2 OF BURLAP & WIRE CAGE & ALL NYLON STRING, STRAPS, & PLASTIC WRAP ----WOOD SCREW

AROUND ROOTBAL (NO SOIL) ___SOIL MIX (1/4 SOIL CONDITIONER & 3/4 YELLOW SAND

OR STOCKPILED LIMEROCK FREE TOPSOIL)

__EXISTING LIMEROCK-FREE SOIL OR YELLOW SAND (COMPACTED) __8 EQUALLY SPACED VERTICAL SPLICES
IF ROOTBALL IS CONTAINER GROWN ___2 - 2X2 PINE OR STEEL U-CHANNEL FENCE POST ANCHOR STAKE (ONE ON EACH SIDE OF

ROOTBALL (ANCHOR SYSTEM 1)

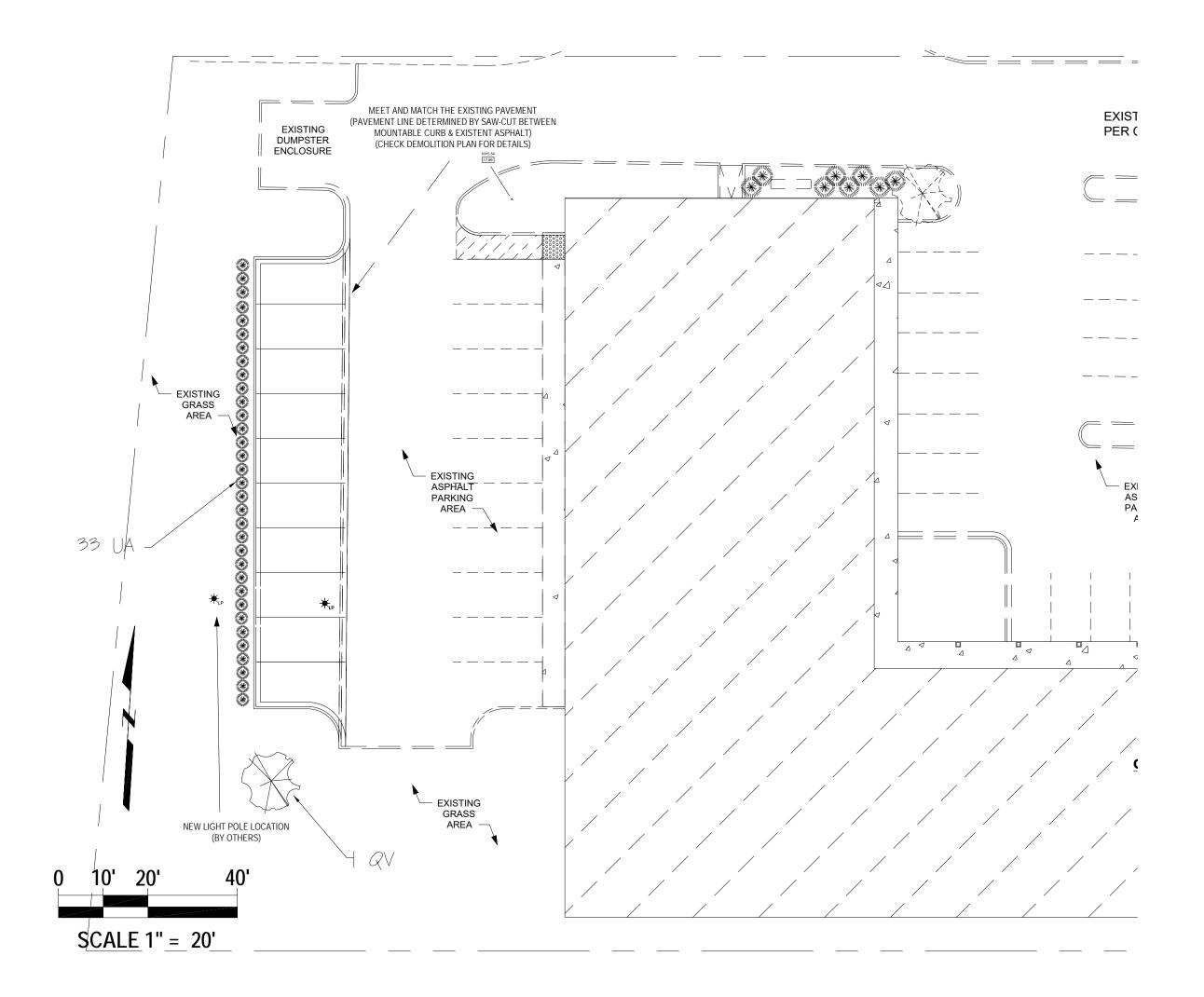
TREE PLANTING DETAIL

IRRIGATION PROVIDED BY EXISTING SYSTEM. NO ADDITIONAL IRRIGATION IS PROPOSED.

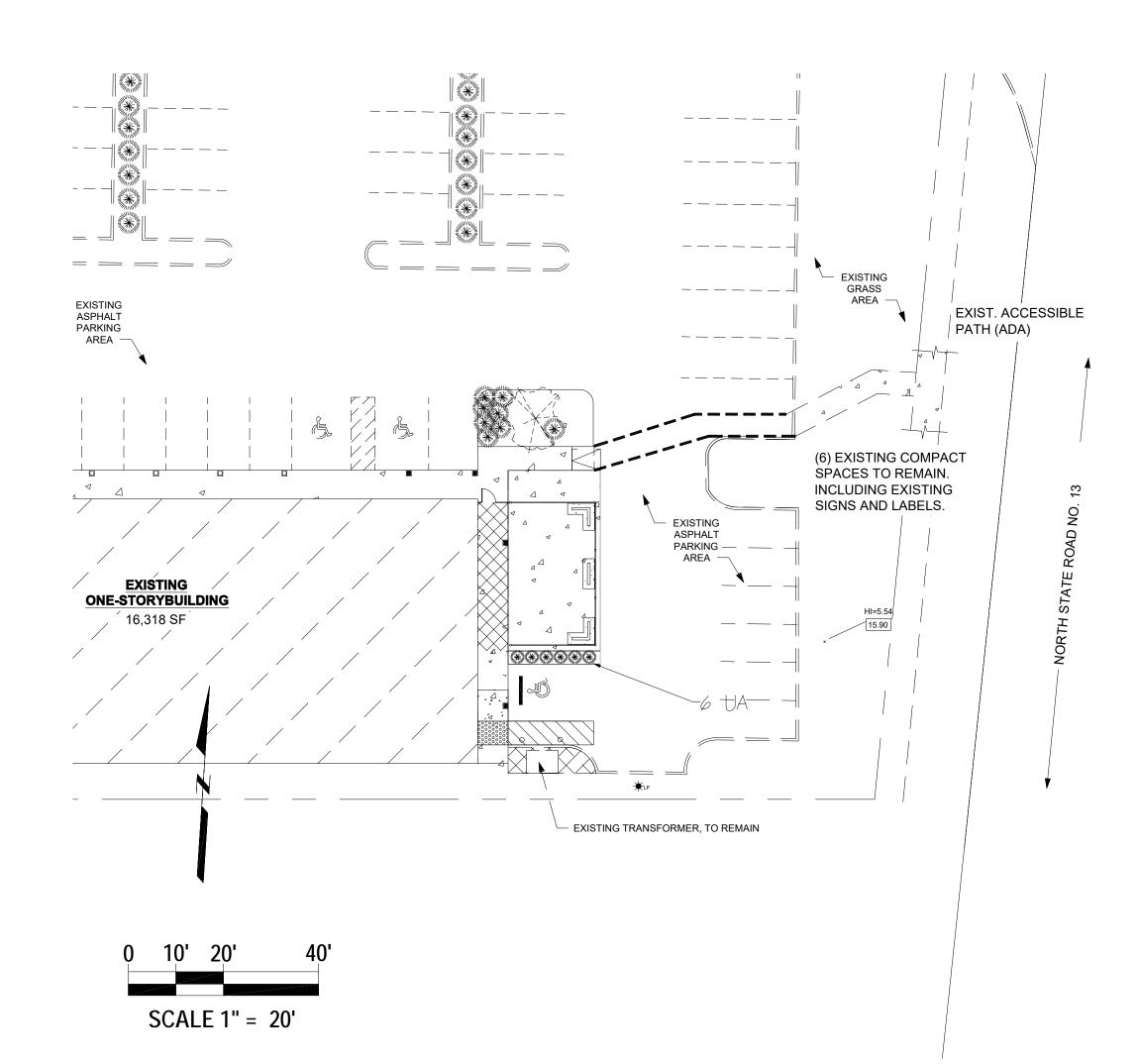
PLANT LIST

QTY SYM	DESCRIPTION DESCRIPTION	SIZE	SPACING	* NOTES	INCHES
& QV	QUERCUS VIRGINIANA "CATHEDRAL LIVE OAK"	14'-16' x 7-9', 4" CAL., 6' CT, MATCHED	AS SHOWN	N, FYN, FF, WW	48
39 🗱 UA	DWARF WALTER'S VIBURNUM / VIRBURNUM OBOVATUM	18"ht. x 18" SPD. MINIMUL FULL 4 DENSE	3' O.C.	N, FYN, FF, WW	8

*PLANT LIST LEGEND: N-NATIVE, FYN- FLORIDA YARDS & NEIGHBORHOODS 2006, FF- FLORIDA FRIENDLY, WW- WATER WISE 2008, OHE - JEA OVERHEAD ELECTRIC (ACCEPTABLE PLANT LIST)



LANDSCAPE AND IRRIGATION PLAN



LANDSCAPE AND IRRIGATION PLAN

#

COMPANY, INC.
INE CONSULTING
STATE OF FLORIDA
CERTIFICATE OF
AUTHORIZATION
NO. 26326

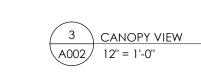
TOURING

LANDSCAPE IRRIGATION

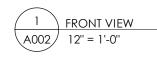
AS SHOW

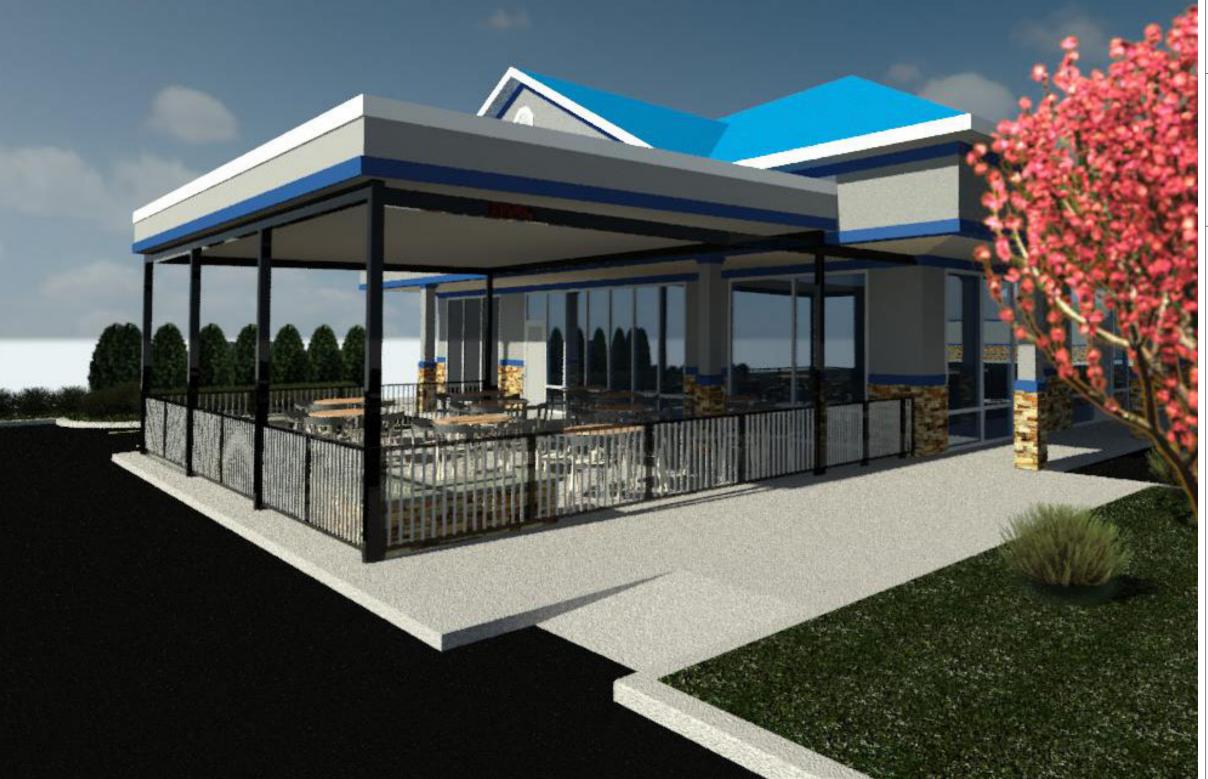
LI-01











NEW OUTDOOR SEATING AREA

BELLA VIST 540 STATE ROAD 13 N FRUIT COVE, FLORIDA

A R C H I T E C T U R E = I N C

JAA ARCHITECTURE INC. 2716 ST. JOHN'S AVE JACKSONVILLE FL. 32205 P: (904) 379-5108 E: JOHN@JAAARCHITECTURE.COM LIC. AR92748

THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERVIED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORK(S) OR PROJECT(S) WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

REVISIONS

DATE DESCRIPTION

DATE DESCRIPTION

NOT FOR CONSTRUCTION

DATE: 3.1.2023

SHEET. PERSPECTIVE RENDERING

A002

ATTACHMENT 2 Final Draft Orders



ORDER ST. JOHNS COUNTY, FLORIDA PLANNING AND ZONING AGENCY

RE: Bella Vista

540 State Road 13 N

Suite 10

St. Johns, FL 32259

FILE NUMBER: SUPMAJ 2023-10

<u>LEGAL:</u> Exhibit A

SITE PLAN: Exhibit B

<u>PARCEL ID:</u> 005145-0000

DATE OF HEARING: October 5, 2023

ORDER GRANTING SPECIAL USE APPROVAL

The above referenced application for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within a Residential Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B, specifically located at 540 State Road 13 N., came before the Planning & Zoning Agency for public hearing on October 5, 2023.

FINDINGS OF FACT

Having considered the application, along with supporting documents; the Staff report prepared by staff; statements by the applicant; and all evidence presented during public hearing, the Agency finds as follows:

- 1. The Special Use can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the St. Johns County Comprehensive Plan or Land Development Code.
- 2. The Use is compatible with the contiguous and surrounding area and will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent uses or on community facilities or services.

- 3. The use, which is listed as a Special Use in the Commercial General (CG) zoning district complies with all required regulations and standards of Article II of the Land Development Code.
- 4. The request is in compliance with Section 2.03.01.A, Section 2.03.02, and Article XII of the Land Development Code.
- 5. The request is not in conflict with the Future Land Use Map designation of Residential-B.
- 6. The requested Use, although not generally appropriate or without restriction throughout the zoning district, when controlled as to the number, location and relationship to the neighborhood, promotes the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity, or the general welfare of the residents of the area.
- 7. The requested Use is not in conflict with the development patterns of the area.
- 8. The applicant, at the public hearing, has stated no objections to the proposed conditions.

NOW THEREFORE, based on the said Findings of Fact, the Agency hereby grants Special Use Permit to allow for the on-site sale and consumption of beer and wine under the regulation of the State of Florida Type 2COP license pursuant to Section 2.03.02 of the Land Development Code, specifically located at 540 State Road 13 N came before the Planning & Zoning Agency for public hearing on October 5, 2023, subject to the following conditions:

- 1. The Special Use Permit is granted to Bella Vista, doing business at 540 State Road 13 N. and shall be non-transferable to any other location or entity.
- 2. Approval is for the Use as regulated by the State of Florida Type 2COP license, specifically for onsite sales and consumption.
- 3. Sales and consumption area shall be limited to the area designated for such on the Site Plan labeled as **Exhibit B** submitted by the applicant and made a part of this application.
- 4. The hours of operation for the on-site sale and consumption of beer and wine are as follows:
 - a. Tuesday through Thursday: 4:00 PM- 9:00 PM
 - b. Saturday: 11:00 AM- 10:00 PM
 - c. Sunday: 11:00 AM- 8:00 PM
- 5. Special Use Permit shall be governed by the St. Johns County Alcohol Beverage Ordinance (Ord. 1990-48) as may be amended.
- 6. Special Use Permit shall be governed by the St. Johns County Sale or Service to persons under Twenty-One Ordinance (Ord. 2011-46) as may be amended.
- 7. Applicant agrees that St. Johns County may inspect the site for compliance with the Final Order and all other relevant requirements at the time the Special Use is being exercised.
- 8. This approval of the Special Use Permit may be revoked by the County Administrator or designee, at his/her sole discretion, upon a determination of violation of the conditions set forth herein or

- a violation of any Federal, State or Local law or regulation. Appeals of decisions by the County Administrator or designee to revoke the Special Use Permit may be appealed to the Board of County Commissioners.
- 9. The Special Use Permit is granted under the condition of continual use. A Special Use Permit that, once commenced, remains idle, discontinued or unused for a continuous period of one (1) calendar year shall no longer be valid and all rights granted herein shall become null and void.
- 10. Approval of the Special Use Permit does not release the project from adherence to all relevant requirements of the St. Johns County Land Development Code, Comprehensive Plan, Florida Building Code, and any other Agency having jurisdiction.
- 11. The application, supporting documents, conditions and limitations offered within the application and at the public hearing by the applicant (or representative) will be incorporated herein and shall become part of the Final Order, except as may be modified by preceding conditions and limitations.

This decision may be appealed to the St. Johns County Board of County Commissioners within thirty (30) days of the signing of this Order, pursuant to Section 9.07.03 of the Land Development Code.

Deed Restrictions, if any, are not affected by the actions of the Agency or this Order.

All applicable state or federal permits must be obtained before commencement of the development. Issuance of a development permit or development order by a county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

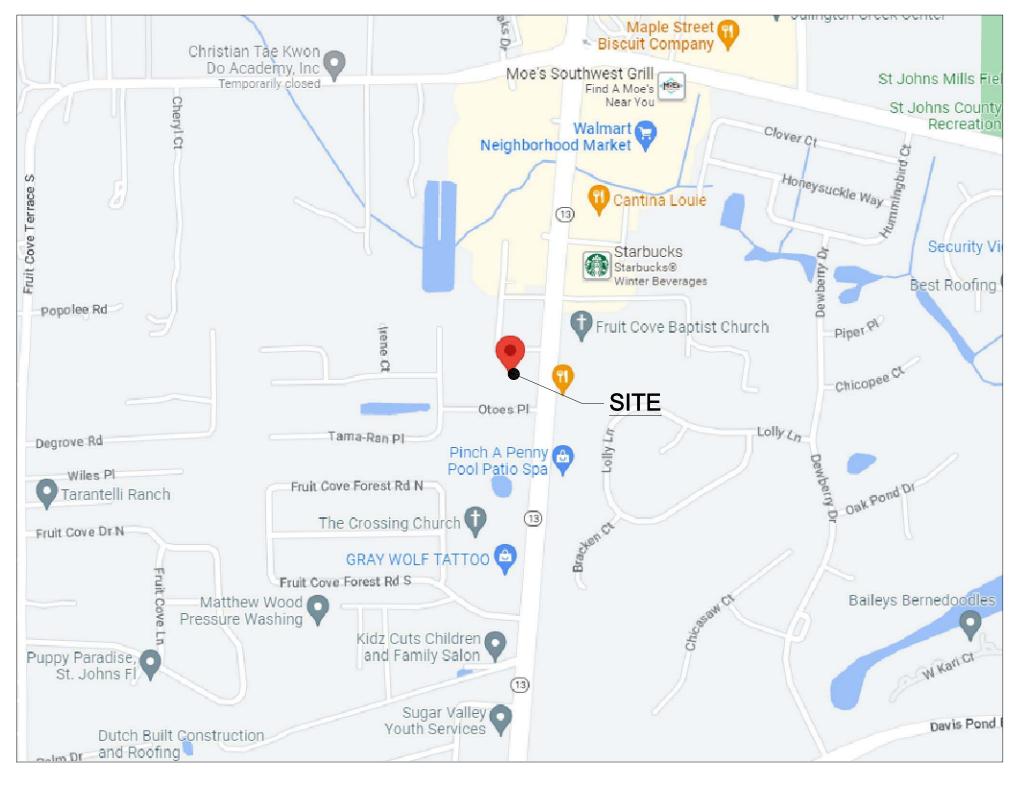
DATED THISDAY OF,	2023.
PLANNING AND ZONING AGENCY OF ST. JOHNS COUNTY FLORIDA	
 Chair/Vice-Chair	

The undersigned Clerk to the Planning and Zoning Agency of St. Johns County, Florida certifies that the above Order of the Planning and Zoning Agency is a true and correct rendition of the Order adopted by said Agency as the same appears in the record of the Planning and Zoning Agency minutes.			
lerk rowth Management Department			
ate Filed			

FRUIT COVE PLAZA OUTSIDE SEATING AREA

CIVIL ENGINEERING LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		RIGHT-OF-WAY LINE
		CENTERLINE
		LOT LINE
x x	x x	FENCE
		BUILDING
		PAVEMENT LINE/SIDEWALK LINE
25.50	25.50	SPOT ELEVATIONS
25	25	CONTOURS
- — - 6"SA —⊚ _{CO}	6"SA® _{CO}	SANITARY SEWER/CLEANOUT
- — - 6"PW — —	6"PW	PROCESS WASTE
- — - ST — —	ST	STORM SEWER
- — - 6"W — —	6"W	DOMESTIC WATER
- — - 6"F — —	6"F	FIRE MAIN
- — - 6"G — —	6"G	GAS MAIN
_ — _ 6"FM — —	6"FM ———	FORCE MAIN
- — - UE — —	——— UE ———	UNDERGROUND ELECTRIC
- — - OHE — —	OHE	OVERHEAD ELECTRIC
- — - UT — —	UТ	UNDERGROUND TELEPHONE
- — - OT — —	—— от ——	OVERHEAD TELEPHONE
- — - UD — —	—— UD ——	UNDERDRAIN
		FIRE HYDRANT
		DOUBLE CHECK VALVE ASSEMBLY
	R.P.	RED. PRESSURE BACKFLOW PRE
——————————————————————————————————————	F ——	POST INDICATOR VALVE
— 		VALVE & DOX
——————————————————————————————————————	—————————————————————————————————————	VALVE & BOX
— — — — — — — — — — — — — — — — — — —		MANHOLE SPRINKLER RISER
	WM	SPRINKLER RISER WATER METER
— — — — — — — — — — — — — — — — — — —		CATCH BASIN
		CURB INLET
		FLARED END
		MITERED END
<u> </u>	56	CONCRETE FLUME
		ENDWALLS
∥ □ PP	PP	CONCRETE POWER POLE
— _{PP}	— _{PP} ■ _{PP}	WOOD POWER POLE
₩ _{LP}	→ PP	LIGHT POLE
T	/1\LP T	TRANSFORMER
	S-1	DRAINAGE STRUCTURE
	SA-1	SANITARY SEWER STRUCTURE
	△	SECTION CUT
	\bigcirc	DETAIL REFERENCE
		SILT FENCE
	— \$= — \$= —	HAYBALE BARRIER
		SOIL BORING LOCATION/NUMBER
	▼ 1	COLL BOTTING LOOK HOW/NOWIDEN



VICINITY MAP

540 ROUTE 13, ST. JOHNS COUNTY, FLORIDA

SITE DATA

SITE ADDRESS 540 ROUTE 13, NAME OF AGENT ST.JOHNS COUNTY, FL 14286-19 BEACH BLVD.,UNIT 355 JACKSONVILLE, FLORIDA 32250 THE TOURING COMPANY, INC. NAME OF ENGINEER: (904) 614-3302 14286-19 BEACH BLVD., UNIT 355 JACKSONVILLE, FLORIDA 32250 **TOTAL SITE AREA:** 1.83 ACRES NAME OF SURVEYOR: REPUBLIC NATIONAL 407 WEKIVA SPRINGS ROAD ST 101 LONGWOOD, FLORIDA 32779

REVISED PERMIT ISSUE - 07-18-2023

SHEET INDEX

C-00	COVER SHEET
C-01	GENERAL NOTES
C-02	EXISTING CONDITIONS
C-03	DEMOLITION PLAN
C-04	GEOMETRY AND LAYOUT PLAN
C-05	GRADING PLAN
CD-01	SITE DETAILS PLAN
L-01	LANDSCAPE PLAN

THE FLORIDA PROFESSIONAL

THE SIGNATURE MUST BE VERIFIED ON

ANY ELECTRONIC DOCUMENTS.

SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGES TO EXISTING UTILITIES. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS. THE LENGTH OF ALL DRAINAGE PIPES AND LOCATION OF ALL DRAINAGE STRUCTURES ARE APPROXIMATE. THE LOCATION OF THE DRAINAGE

WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY DURING RELOCATION OPERATIONS. THE CONTRACTOR

STRUCTURES SHALL DETERMINE THE LENGTH OF PIPE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AN "AS-BUILT" SURVEY OF THE COMPLETED CONSTRUCTION. THE "AS-BUILT" SURVEY SHALL BE PREPARED IN ACCORDANCE WITH APPROPRIATE GOVERNMENTAL REGULATIONS AND SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR.

THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A RECORD COPY OF ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ON WHICH ALL FIELD CHANGES ARE TO BE SHOWN. THESE CHANGES ARE TO BE INCORPORATED IN THE "AS-BUILT" SURVEY FURNISHED TO THE ENGINEER.

PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION COMPANIES TO DETERMINE THE TYPE AND LOCATION OF ALL UNDERGROUND FACILITIES IN THE AREA OF CONSTRUCTION. ALL REQUIRED FIRE LINES AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF VERTICAL CONSTRUCTION

DURING CONSTRUCTION, AN ALL-WEATHER ACCESSIBLE ROADWAY SHALL BE MAINTAINED AT ALL TIMES FOR FIRE APPARATUS.

EROSION & SEDIMENT CONTROL NOTES

- ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL EROSION, SEDIMENTATION, AND THE POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. CONTRACTOR SHALL MINIMIZE DISTURBANCE OF NATURAL VEGETATION TO THE MAXIMUM EXTENT PRACTICAL DURING THE CONSTRUCTION
- SILT FENCE OR HAY BALES AND TURBIDITY BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ON SITE, TO BE INSPECTED WEEKLY AND CORRECTIVE ACTION TAKEN AS NECESSARY
- STORMWATER RETENTION AND DETENTION STORAGE MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA SERVED BY THOSE SYSTEMS. ADEQUATE MEASURES MUST BE TAKEN TO PREVENT SILTATION OF THESE TREATMENT SYSTEMS AND CONTROL STRUCTURES DURING CONSTRUCTION OR SILTATION MUST BE REMOVED PRIOR TO FINAL GRADING AND STABILIZATION

CONTRACTORS SHALL SOD ALL SWALES AND STORMWATER PONDS IN ACCORDANCE WITH THE DETAIL PROVIDED AS SOON AS POSSIBLE AFTER CONSTRUCTION IN ORDER TO STABILIZE THE SLOPES AND MINIMIZE EROSION. DURING ANY CONSTRUCTION OF THE PERMITTED SYSTEM INCLUDING STABILIZATION AND REVEGETATION OF DISTURBED SURFACES, THE CONTRACTOR IS RESPONSIBLE FOR THE SELECTION. IMPLEMENTATION. AND OPERATION OF ALL EROSION AND SEDIMENT CONTROL MEASURES

ADMINISTRATIVE CODE. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A PROTECTIVE COVER (VEGETATIVE OR SUITABLE ALTERNATIVE) FOR EROSION AND SEDIMENT CONTROL ON ALLI AND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT. UNI ESS MODIFIED BY ANOTHER CONDITION OF THE PERMIT OR OTHERWISE SPECIFIED ON A DISTRICT APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE PROTECTIVE COVER MUST BE INSTALLED WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING OF THE AFFECTED LAND SURFACE. A PERMANENT VEGETATIVE COVER MUST BE ESTABLISHED WITHIN 60 DAYS OF ITS INSTALLATION. THE PERMITTEE'S REQUIREMENT TO MAINTAIN COVER ON

REQUIRED TO RETAIN SEDIMENT ONSITE TO PREVENT VIOLATIONS OF THE WATER QUALITY STANDARDS IN ACCORDANCE WITH THE FLORIDA

- OFFSITE SURFACES SHALL NOT BE COMPLETE UNTIL AFTER THE DISTRICT RECEIVES THE PERMITTEE'S STATEMENT OF COMPLIANCE. AT A MINIMUM, TURBIDITY BARRIERS AND SILT FENCES SHALL BE INSTALLED PER PLAN. ADDITIONAL MEASURES MUST BE TAKEN TO MINIMIZE IMPACTS OF RECEIVING WATERS SUCH AS THE USE OF HAY BALES AT INLETS, ADDITIONAL SILT FENCING, AND SODDING.
- MAINTENANCE OF THE STORMWATER SYSTEM SHALL BE PERFORMED BY THE HOMEOWNERS ASSOCIATION. MAINTENANCE SHALL INCLUDE BIWEEKLY MOWING AND QUARTERLY INSPECTION OF INLETS AND DRAINAGE CONTROL STRUCTURES.

SITE CLEARING AND GRADING NOTES

THE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS AND/OR THE FAILURE OF THE CONTRACTOR TO EMPLOY THE APPROPRIATE EROSION CONTROL BEST MANAGEMENT PRACTICES. FAILURE TO COMPLY WITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK ORDER".

- NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING. BARRICADES AND OTHER PROTECTIVE FENCING ARE TO BE LOCATED AT THE DRIP LINE OF EXISTING NATIVE TREES OR AT THE EDGE OF THE NATIVE UNDERSTORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY.
- SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING. BARRICADES ARE TO BE SET AT THE DRIP LINE OF THE TREES AND MAINTAINED THROUGHOUT
- THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER. WHERE A CHANGE OF GRADE OCCURS AT THE DRIP LINE OF A SPECIMEN TREE, SILT FENCES WILL BE REQUIRED DURING CONSTRUCTION AND RETAINING WALLS MUST BE INSTALLED PRIOR TO FINAL ACCEPTANCE BY THE CITY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL
- STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, HAY BALES, SILT FENCES, AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT, MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES. PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY
- AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES. AND (5) AT ANY ADDITIONAL AREAS THAT THE CITY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS. THE CITY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES. AS DETERMINED. DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF THE SITE-SPECIFIC CLEARING PERMIT APPLICATION AND THROUGHOUT PROJECT CONSTRUCTION.
- WHERE FILL MATERIAL IS INTENDED TO BE II CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE, IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH FENCING. THIS PRACTICE IS ENCOURAGED BY THE CITY. IF THE SILT FENCE FAILS TO PROVIDE ADEQUATE PROTECTION FROM IMPACT DUE TO CONSTRUCTION, THEN ADDITIONAL CONSTRUCTION FENCING OR WOOD BRACING SHALL BE REQUIRED
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE WITHIN TWENTY DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE. THE CONTRACTOR

AT A MINIMUM, THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. SUFFICIENT GRASS COVERAGE IS TO BE ESTABLISHED WITHIN

- SHALL INSTALL SEED AND MULCH OF SOD. AS REQUIRED. FOR INDIVIDUAL CONSTRUCTION PROJECTS INVOLVING MULTIPLE PHASES, UPON COMPLETION OF EACH PHASE OF THE PROJECT, SEEDING AND MULCHING AND/OR SODDING IS TO BE PERFORMED PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION.
- ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED. ANY BURNING OF CLEARED MATERIALS MUST BE INSPECTED AND PERMITTED ON A DAILY BASIS. CONTACT THE PERMITS AND LICENSING DIVISION
- PRIOR TO EACH DAY OF DESIRED BURNING. 2. ABSOLUTELY NO BURYING OF CLEARED MATERIALS IS PERMITTED. 3. THE REMOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THOSE AREAS. THE TOPSOIL MAY BE TEMPORARILY STOCKPILED AND USED AS TOPSOIL OVER PROPOSED
- GREEN AREAS SUCH AS PLANT BEDS, SODDED AREAS, AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED. TEMPORARY STOCKPILE
- 14. A SIGNED, DATED, AND SEALED LETTER FROM A SOILS ENGINEER OR THE ENGINEER OF RECORD CERTIFYING THAT THE AREAS TO BE FILLED HAVE BEEN STRIPPED OF ORGANIC MATERIALS, MUST BE SUBMITTED TO THE CITY PRIOR TO FILLING.
- 15. FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 98% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180)
- 16. IF ANY MUCK MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH A SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- 17. STOCKPILING IS NOT GENERALLY PERMITTED BY THE CITY, WHEN ALLOWED, STOCKPILES SHALL NOT EXCEED SIX FEET IN HEIGHT MEASURED FROM THE ORIGINAL GRADE. AT A MINIMUM, STOCK PILES THAT WILL REMAIN IN PLACE IN EXCESS OF TWENTY DAYS SHOULD BE SEEDED AND MULCHED IMMEDIATELY UPON PLACEMENT OF THE FINAL LIFT. 18. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE
- IMPACT TO NEIGHBORING COMMUNITIES. ADEQUATE WATERING METHODS SHOULD BE EMPLOYED TO ALLOW DAILY COVERAGE OF THE ENTIRE LIMITS OF ALL AREAS THAT DO NOT HAVE AN ESTABLISHED VEGETATIVE COVER. METHODS TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, WATER TRUCKS, PERMANENT IRRIGATION SYSTEMS, TEMPORARY SPRINKLER SYSTEMS OPERATED BY PUMPING UNIT CONNECTED TO WET RETENTION PONDS, WATER CANNONS, TEMPORARY IRRIGATION SYSTEMS MOUNTED ATOP STOCKPILE AREAS, AND OTHER METHODS AS DEEMED
- 19. ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF CLEAN GRANULAR SAND FREE FROM ORGANICS AND SIMILAR MATERIAL THAT COULD DECOMPOSE
- 20. ALL FILL TO BE PLACED IN LANDSCAPED AREAS SHALL HAVE A PH RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, OR MATCH NATIVE EXISTING SOILS.

SITE PLAN & SUBDIVISION TESTING

THE INSPECTION AND TESTING OF MATERIALS AND FINISHED ARTICLES ARE TO BE INCORPORATED IN THE WORK SHALL BE MADE BY BUREAUS LABORATORIES, OR AGENCIES APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL SUBMIT SUCH SAMPLES OR SUCH SPECIMANS OR TEST PIECES OF MATERIALS AS THE ENGINEER OF RECORD MAY REQUIRE. THE CONTRACTOR SHALL NOT INCORPORATE ANY MATERIAL OR FINISHED ARTICLE INTO THE WORK UNTIL THE RESULTS OF THE INSPECTIONS OR TESTS ARE KNOWN AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER OF RECORD THAT THE MATERIAL OR FINISHED ARTICLE IS ACCEPTED. ALL MATERIALS MUST BE OF THE SPECIFIED QUALITY AND BE EQUAL TO THE APPROVED SAMPLE IF A SAMPLE HAS BEEN SUBMITTED. CERTIFIED COPIES OF ALL TESTS MADE SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AS WELL AS TO THE CITY'S DESIGNATED SITE INSPECTOR. THE CITY'S DESIGNATED SITE INSPECTOR MUST RECEIVE COPIES OF ALL TESTING REPORTS AND CERTIFICATES PRIOR TO THE ENGINEER OF RECORD REQUESTING A FINAL PROJECT INSPECTION FROM THE CITY.

B. LABORATORY CONTROL AND CERTIFICATES

SAMPLING, TESTING, AND LABORATORY METHODS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE AASHTO OR ASTM. WHERE AASHTO OR ASTM SPECIFICATIONS ARE USED, THE REFERENCE SHALL BE CONSTRUED TO BE THE MOST RECENT STANDARD SPECIFICATIONS OR TENTATIVE SPECIFICATIONS OF THE AASHTO OR ASTM IN FORCE ON THE DATE OF THE TEST.

THE CONTRACTOR SHALL ENGAGE AN APPROVED TESTING LABORATORY TO PROVIDE THE FOLLOWING TESTS AND CERTIFICATIONS SIGNED BY A REGISTERED ENGINEER OF THE STATE OF FLORIDA. ALL TECHNICIANS PERFORMING THE TESTS SHALL BE STATE CERTIFIED FOR THE TESTING PERFORMED. ADDITIONAL TESTS THAT MAY BE REQUIRED BY EITHER THE ENGINEER OF RECORD OR THE CITY SHALL ALSO BE PROVIDED BY THE CONTRACTOR. THE FOLLOWING SHALL NOT BE TAKEN AS A COMPLETE AND EXHAUSTIVE LIST OF THE CONTRACTOR'S TESTING RESPONSIBILITIES.

- SOIL ANALYSIS FOR STRUCTURAL FILL MATERIAL PRIOR TO INSTALLATION. PROCTOR DENSITIES, MOISTURE CONTENT, COMPACTED FIELD DENSITIES, AND ATTERBERG LIMITS.
- ANALYSIS OF RECYCLED CONCRETE BASE MATERIAL PRIOR TO INSTALLATION. • ASPHALT MIX DESIGN, BITUMEN CONTENT, SIEVE ANALYSIS, HUBBARD FIELD STABILITY TESTS, NUCLEAR DENSITY TESTS (BACKSCATTER
- METHOD), AND ANALYSIS OF CORE SAMPLES. • CONCRETE MIX DESIGNS FOR ALL APPLICATIONS INCLUDING PAVEMENT, CAST-IN-PLACE STRUCTURES, CURBING, GUTTERS, SIDEWALKS, BIKE PATHS. APRONS AND DRIVEWAYS.
- . COMPRESSIVE TEST CYLINDERS AND SLUMP TESTS FOR ALL APPLICATIONS OF CONCRETE, INCLUDING PAVEMENT, CAST-IN-PLACE STRUCTURES, CURBING, GUTTERS, SIDEWALKS, BIKE PATHS, APRONS, AND DRIVEWAYS.
- CHLORINE RESIDUAL AND BACTERIOLOGICAL TESTING OF WATER MAINS.
- PRESSURIZED LEAK TESTING OF WATER MAINS, FORCE MAINS, AND RECLAIMED WATER MAINS

WATER CONSTRUCTION NOTES (PRIVATE UTILITIES ONLY)

- LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY POTABLE WATER SYSTEM CONSTRUCTION.
- DEWATERING SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW MAIN BEING LAID. ALL WATER MAINS SHALL BE LAID ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCH, ROCK, COQUINA, ETC.) REMOVED AND
- REPLACED WITH CLEAN GRANULAR MATERIAL. TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE LOCAL UTILITY COMPANY WITH A MINIMUM COMPACTION OF 98% IN PAVED
- AREAS AND 95% IN UNPAVED AREAS IN ACCORDANCE WITH AASHTO T-180. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS BE PROVIDED AT POINTS 12 INCHES ABOVE THE PIPE AND AT 12 INCHES VERTICAL INTERVALS TO FINISH GRADE. AT A MINIMUM SPACING OF EVERY 300 FEET. 6. 3" METALLIZED PIPE LOCATION TAPE SHALL BE LOCATED BETWEEN 15" AND 24" BELOW FINISHED GRADE OR AS SPECIFIED BY MANUFACTURER FOR
- ALL PVC LINES. MARKER TAPE SHALL BE USED ON ALL DUCTILE IRON PIPE. AS WELL ALL SINGLE RESIDENTIAL WATER SERVICES SHALL BE 1". POLYETHYLENE TUBING SHALL BE USED, IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS: POLYETHYLENE TUBING SHALL BE CTS 3408 HIGH DENSITY TUBING, BLUE IN COLOR, AND RATED FOR A MINIMUM OF 200 PSI WITH SDR OF 9 (CTS). THE TUBING SHALL HAVE A VIRGIN HIGH DENSITY POLYETHYLENE CENTER FOR WHICH THE MANUFACTURER SHALL FURNISH A CERTIFICATE OF PURITY. THE TUBING SHALL HAVE UV PROTECTION AND SHALL NOT BE AFFECTED BY DIRECT SUNLIGHT. THE TUBING SHALL COMPLY WITH OR EXCEED THE APPLICABLE STANDARDS OF A.S.T.M D1248, D3350, D2239, D2737, N.S.F. 14 AND A.W.W.A. C901 AND SHALL COME
- WITH A LIFETIME WARRANTY ACCEPTABLE MANUFACTURERS: ENDOT ENDO PURE OR APPROVED FOLIAL ALL WATER SERVICE ENDINGS SHALL BE MARKED WITH A 2" X 4" LUMBER (PRESSURE TREATED) EXTENDING 4 FEET ABOVE GRADE, WITH WATER SERVICES SECURED 12" MAXIMUM ABOVE THE GROUND.
- WATER VALVES SHALL BE PLACED AT ALL STREET INTERSECTIONS AND AT MAXIMUM SPACINGS OF 750 FEET.

10. AT ALL WATER MAIN TEES AND CROSSES, VALVES SHALL BE INSTALLED ON ALL LEGS EXCEPT ONE

- 11. ALL WATER VALVES SHALL BE ADJUSTED TO FINISHED GRADE AND THE CAPS PAINTED BLUE TO MAKE THEN PLAINLY VISIBLE. 12. UPON FINAL ACCEPTANCE OF NEW WATER SYSTEMS, WATER VALVES SHALL BE COMPLETELY OPENED BY THE LOCAL UTILITY COMPANY. AT NO
- TIME SHALL CONTRACTOR OPERATE ANY EXISTING VALVES WITHOUT A LOCAL UTILITY COMPANY INSPECTOR PRESENT. 13. TYPICALLY, A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED AT EVERY INTERSECTION. OTHER FIRE HYDRANTS SHALL BE LOCATED SO AS TO PRODUCE A MAXIMUM 500 FEET HOSE LAY TO COVER THE REAR OF ALL BUILDINGS.
- 14. ALL WATER MAINS SHALL BE NSF-APPROVED FOR POTABLE WATER USE, AND SHALL HAVE A MINIMUM COVER OF 36 INCHES. 15. ALL PROPOSED WATER MAINS SHALL BE FLUSHED, DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE
- LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS. 16. UPON CONSTRUCTION COMPLETION AND ACCEPTANCE OF THE SYSTEM, IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE DEPARTMENT OF HEALTH AND AS-BUILTS ARE PROVIDED TO THE LOCAL UTILITY COMPANY PRIOR TO ANY USE OF THIS SYSTEM.
- 17. WATER DISTRIBUTION SYSTEM SHALL BE DESIGNED TO COMPLY WITH THE CITY'S FIRE (WATER) FLOW CODE. 18. ALL POTABLE WATER MAINS SHALL USE A THRUST RESTRAINT JOINT METHOD IN COMPLIANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION (DIPRA) GUIDELINES. IN THE EVENT THAT PVC FITTINGS ARE SPECIFIED, THE RESTRAINT SHALL BE MODIFIED IN ACCORDANCE WITH
- THE RECOMMENDED ADDITIONAL RESTRAINT LENGTH REQUIRED FOR PIPE WRAPPED WITH POLYETHYLENE. 19. MEGALUGS, BOLTLESS RESTRAINED JOINTS, GRIPPER GASKETS, OR STAR GRIPS SHALL BE USED ON ALL RESTRAINED JOINT INSTALLATIONS. MINIMUM DEPTH OF BURY ON PIPES NOT MEETING REQUIRED COVER REQUIREMENTS SHALL FOLLOW THE MOST RECENT DIPRA THRUST RESTRAINT DESIGN GUIDELINES
- 20. GRIPPER RING GASKETS BY ROMAC AND OR STAR AU-GRIP MAY BE USED AS APPROPRIATE FOR RESTRAINING PRESSURE PIPE TO FITTINGS, 21. WATER SYSTEMS SHALL BE PRESSURE TESTED AT 150 PSI STATIC PRESSURE FOR A PERIOD OF 2 HOURS PER AWWA STANDARDS 22. ALL WATER SERVICES SHALL BE MARKED WITH AN "A" SAW CUT INTO THE CURB OR BY METAL TABS SET INTO THE PAVEMENT.
- 23. ALL WATER VALVES SHALL BE MARKED WITH AN "X" SAW CUT INTO THE CURB OR BY METAL TABS SET INTO THE PAVEMENT. BLOW-OFFS SHALL BE MARKED SIMILARLY, AS WELL. 24. ALL TAPPING OF MAINS SHALL BE PERFORMED BY THE LOCAL UTILITY COMPANY AND BILLED IN ACCORDANCE WITH THE ADOPTED FEE RESOLUTION, SCHEDULING OF THESE CONNECTIONS SHALL REQUIRE A MINIMUM 48 HOUR NOTIFICATION (MEASURED ON NORMAL WORK DAYS)
- DIRECTED TO THE LOCAL UTILITY COMPANY DESIGNATED SITE INSPECTOR WHO SHALL COORDINATE THE WORK DIRECTLY WITH THE PUBLIC UTILITIES DEPARTMENT. SUBSEQUENTLY, THE CONNECTION SHALL BE SCHEDULED TO COMMENCE BETWEEN 8:00 AM AND NOON ON THE APPROPRIATE DAY. 25. ALL PROPOSED POTABLE WATER MAINS SHALL BE FLUSHED. DISINFECTED, PRESSURE TESTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE WHEN APPROPRIATE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE LOCAL LITILITY COMPANY DESIGNATED SITE INSPECTOR AT LEAST 48 HOURS PRIOR TO BEGINNING FLUSH OF THE MAINS PRIOR TO THE COMMENCEMENT OF PRESSURE TESTING. 26. WITH RESPECT TO TIE-IN CONNECTIONS, THE LOCAL UTILITY COMPANY RESERVES THE RIGHT TO REQUIRE CONNECTIONS TO BE PERFORMED
- DURING PERIODS OF LOW FLOW (MIDNIGHT TO 6:00 AM) IN ORDER TO MINIMIZE SERVICE DISRUPTION TO EXISTING CUSTOMERS. 27. ALL WORK PERFORMED UPON POTABLE WATER FACILITIES OWNED OR PROPOSED TO BE OWNED BY THE LOCAL UTILITY COMPANY SHALL BE CONSTRUCTED BY AN UNDERGROUND UTILITY CONTRACTOR OR GENERAL CONTRACTOR LICENSED IN THE STATE OF FLORIDA AND REGISTERED WITH THE LOCAL UTILITY COMPANY. 28. POTABLE WATER SYSTEM EXTENSIONS MAY NOT BE USED PRIOR TO FINAL TESTING, CLEARANCE AND ACCEPTANCE BY THE LOCAL UTILITY
- COMPANY THIS INCLUDES CONSTRUCTION WATER REQUIRED FOR SEWER LINE CLEANING OR RELATED USES. 29. ALL H.D.P.E PIPE UTILIZED FOR WATER, FORCE MAIN AND/OR REUSE WATER MAIN EXTENSIONS SHALL BE S.D.R.11 UNLESS SPECIFICALLY NOTED OTHERWISE. THE HDPE PIPE SHALL BE SIZED TO MATCH THE EXTERNAL DIAMETER OF THE PVC OR DIP PIPE TO WHICH IT IS ATTACHED.

30. ALL VALVES 2" AND LARGER SHALL BE STANDARD 2" GATE VALVES (CORP STOPS ARE NOT ACCEPTABLE)

ROADWAY CONSTRUCTION NOTES

- ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SITE PLAN SHALL BE IN CONFORMANCE WITH THE CITY, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). AND THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION.)
- ALL RIGHT-OF-WAY OTHER THAN ROADWAY AREAS SHALL BE GRASSED AND MULCHED OR SODDED. ALL SLOPES STEEPER THAN 6:1 SHALL REQUIRE SODDING. THE CITY RESERVES THE RIGHT TO REQUIRE SODDING IN SPECIAL AREAS WHERE EROSION IS A CONCERN. 3. THE FOLLOWING WILL BE THE STANDARD PROTECTION FOR DITCHES UNLESS DRAINAGE CALCULATIONS INDICATE OTHERWISE:

SWALE PROFILE GRADES PROTECTION REQUIRED GRASSING AND MULCHING 1.0% - 4.0% SODDING 4.0% AND GREATER DITCH PAVING

- THE PAVEMENT. BASE AND SUBBASE THICKNESS PRESENTED ON DETAILS REPRESENTS THE MINIMUM REQUIREMENTS FOR LOCAL PUBLIC STREETS AND PRIVATE PARKING LOTS. THE CITY RESERVES THE RIGHT AT ITS DISCRETION TO INCREASE THESE REQUIREMENTS FOR COLLECTOR AND
- ARTERIAL ROADWAYS AND PRIVATE PARKING LOTS SUBJECTED TO HEAVY VEHICULAR COMMERCIAL TRAFFIC. THE DEVELOPER SHALL PROVIDE AT THEIR OWN EXPENSE A CERTIFIED SOILS ENGINEERING LABORATORY TO PERFORM ALL FIELD AND LABORATORY TESTING REQUIRED TO VERIFY THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE CITY'S MINIMUM STANDARDS. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO ENSURE THAT COPIES OF ALL TEST REPORTS ARE PROVIDED TO THE CITY'S DESIGNATED SITE INSPECTOR PRIOR TO THE PROJECT FINAL INSPECTION IN ORDER TO ALLOW PROJECT ACCEPTANCE BY THE CITY
- REFER TO THE SITE DETAILS AND ATTACHED SPECIFICATIONS TO DETERMINE THE EXACT DESIGN FOR ALL PAVEMENT SECTIONS CEMENT DELIVERY TICKETS SHALL BE PROVIDED TO THE CITY'S DESIGNATED SITE INSPECTOR AT THE TIME OF PLACEMENT. IF THE INSPECTOR IS NOT ON SITE THROUGHOUT THE ENTIRE INSTALLATION, ACCUMULATED DELIVERY TICKETS CAN BE PROVIDED TO THE INSPECTOR BY THE CONTRACTOR ON THE FOLLOWING DAY.
- THE ROADWAY CROWN SHALL HAVE A STANDARD ONE QUARTER INCH (1/4") PER FOOT SLOPE, UNLESS NOTED OTHERWIS ALL ROADWAYS WITH CURB AND GUTTER SECTIONS SHALL HAVE AS A STANDARD A MINIMUM LONGITUDINAL SLOPE OF 0.30%. THE ROADWAY CENTERLINE SHALL BE CLEARLY MARKED ON THE DESIGN PLANS. AT A MINIMUM, DESIGN ROADWAY CENTERLINE ELEVATIONS SHALL BE NOTED AT ALL GRADE CHANGES AND AT 100' INTERVALS ALONG THE ROADWAY PROFILE ON BOTH THE DESIGN PLANS AND AS-BUILT DRAWINGS.
- THE FINISHED PAVEMENT EDGE SHALL BE WITHIN ONE QUARTER INCH (1/4") ABOVE THE ADJACENT CONCRETE CURB FOR CURBS COLLECTING AND CONVEYING STORMWATER.
- CONCRETE CURBS SHALL BE PROVIDED ON BOTH SIDES OF ALL STREETS AND ALL CONCRETE CURBS SHALL BE CONSTRUCTED WITH 3000 PSI CONCRETE AT 28 DAYS. 13. CONCRETE CURBING, SIDEWALKS, PAVEMENT AND SIMILAR CONCRETE AREAS SHALL BE SAW CUT WITHIN 4 TO 18 HOURS OF PLACEMENT. SAW CUTS SHALL BE 1/4" IN WIDTH TO A DEPTH OF 1/4 OF THE TOTAL DEPTH OF CONCRETE OF 1-1/2" WHICHEVER IS LESS. SAW CUTS SHALL BE LOCATED AT INTERVALS OF TEN FEET (10') WITH EXPANSION JOINTS AT STREET INTERSECTIONS, RADIUS POINTS, STRUCTURES, AND ALONG CURVES AT SIXTY FEET (60') INTERVALS. ALL EXPANSION JOINT MATERIAL IS REQUIRED TO BE INSTALLED THROUGH THE ENTIRE DEPTH OF THE CONCRETE
- CURB. FOR LINEAL SECTIONS OF CURBS, EXPANSION JOINTS SHALL BE LOCATED AT A MAXIMUM SPACING OF FIVE-HUNDRED FEET (500') AND SHALL 14. AN "X" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF WATER DISTRIBUTION SYSTEM VALVE.
- 15. A "V" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL SEWER SERVICES.
- 16. A "^" SHALL BE CUT IN THE CURB TO MARK THE LOCATION OF ALL POTABLE WATER SERVICES THE DEVELOPER SHALL PROVIDE ALL REQUIRED PAVEMENT MARKINGS ON ALL ROADWAYS PER CITY, COUNTY, AND STATE REQUIREMENTS. CENTERLINE STRIPES SHALL BE PROVIDED ON EXTENSIONS OF CITY COLLECTOR OR ARTERIAL ROADS, COUNTY ROADS, STATE HIGHWAYS, AND ALONG LOCAL STREETS IN THE VICINITY OF THEIR INTERSECTION WITH THE ABOVE MENTIONED ROADWAYS
- 18 A FDOT APPROVED STOP SIGN AND A 24" WIDE WHITE THERMOPI ASTIC STOP BAR ARE REQUIRED AT ALL ROADWAY INTERSECTIONS 19. ALL TRAFFIC CONTROL DEVICES PLACED AT INTERSECTIONS, PRIVATE STREETS, PUBLIC STREETS, COUNTY ROADS, AND STATE HIGHWAYS WITHIN THE CITY LIMITS SHALL BE INSTALLED ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. THE
- MAINTENANCE-OF-TRAFFIC (MOT) INSTALLATION AND SUBSEQUENT OPERATION SHALL BE OVERSEEN BY A CONTRACTOR CERTIFIED BY THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION. OR EQUIVALENT CERTIFICATION RECOGNIZED BY FDOT 20. THE DEVELOPER IS RESPONSIBLE FOR PAYING FEES FOR TRAFFIC CONTROL DEVICES TO THE CITY FOR INSTALLATION. STREET SIGNS AND STOP SIGNS SHALL BE PLACED AT ALL INTERSECTIONS, INCLUDING BUT NOT LIMITED TO PRIVATE STREETS, PUBLIC STREETS, COUNTY ROADS, AND
- STATE HIGHWAYS WITHIN THE CITY LIMITS. THE DEVELOPER IS RESPONSIBLE FOR PAYING FEES FOR ALL STREET LIGHTS PRIOR TO ACCEPTANCE OF THE PROJECT BY THE CITY FOUR FOOT (4') WIDE SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF ALL RESIDENTIAL STREETS. (SEE DETAIL, INDEXES M-1 AND M-2)
- 23. BIKE PATHS SHALL BE CONSTRUCTED EIGHT FEET (8') IN WIDTH ALONG ARTERIAL HIGHWAYS AS DIRECTED BY THE CITY. (SEE DETAIL INDEXES M-1 24. STANDARD TURNING RADII FOR INTERSECTIONS
- RESIDENTIAL STREETS WITH STATE & COUNTY ROADWAYS OR MAJOR THOROUGHFARES WITHIN THE CITY
- ENTRANCES TO COMMERCIAL SITES OFF OF CITY STREETS
 35 FT
- INTERSECTIONS INTERIOR IN SUBDIVISIONS
- 38. SHOULD THE COUNTY OR THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DETERMINE THAT LARGER RADII ARE WARRANTED WITHIN THEIR RIGHT-OF-WAY, THE LARGER RADII SHALL PREVAIL 39. ALL CONTRACTORS THAT ARE PERFORMING THE CONSTRUCTION OF LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS (INCLUDING WATER MAINS, SANITARY SEWER MAINS, RECLAIMED WATER MAINS, STORM WATER PIPES AND INLETS, ROADWAYS, AND PARKING FACILITIES) SHALL BE
- CERTIFIED WITH THE STATE OF FLORIDA BOARD OF PROFESSIONAL REGULATIONS 9BPR) FOR THE TYPE OF WORK THAT THEY PERFORM . ALL CONTRACTORS THAT ARE PERFORMING THE CONSTRUCTION WORK OF LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS SHALL BE LICENSED BY THE STATE OF FLORIDA AND REGISTERED WITH THE CITY. THE LICENSE AND REGISTRATION SHALL PERTAIN DIRECTLY TO THE TYPE
- OF WORK BEING PERFORMED 41. CONCRETE COLLARS SHALL NOT BE PERMITTED/PLACED AROUND SANITARY/STORM MANHOLES. CONTRACTORS SHALL PROVIDE AND COMPACT SUBBASE, BASE & ASPHALT ADJACENT TO STRUCTURES.

DEVELOPMENT SERVICES DEPARTMENT ROADWAY CONSTRUCTION REQUIREMENTS

COMPACTION RATE IS 98% OF MAXIMUM DRY DENSITY, PER THE MODIFIED PROCTOR TEST.

- SOIL BORINGS BY A CERTIFIED TESTING LAB ARE REQUIRED WITHIN THE ROAD RIGHT-OF-WAY AT EVERY 200-FOOT INTERVALS AND TO A MINIMUM
- DEPTH OF 6 FEET; THE LOCATIONS MUST BE STAGGERED FROM THE RIGHT SIDE, LEFT SIDE OR CENTERLINE, AT THE DISCRETION OF THE TESTING ROADWAY FILL MATERIAL SHALL BE GOOD, CLEAN SAND. CLASSIFICATIONS A3, FREE OF DEBRIS, COMPACTED IN 12-INCH LIFTS AND TESTED FOR COMPACTION IN EACH LIFT AT 200-FOOT INTERVALS. THE TEST LOCATIONS WILL BE AT THE DISCRETION OF THE TESTING LAB. THE MINIMUM
- ROADWAY SUBGRADE COMPACTION TESTS ARE REQUIRED EVERY 200-FEET. THE TEST LOCATIONS WILL BE AT THE DISCRETION OF THE TESTING LAB. THE MINIMUM COMPACTION RATE IS 98% OF MAXIMUM DRY DENSITY ROADWAY BASE MATERIAL SHALL BE LIMEROCK AND SHALL BE TESTED FOR COMPACTION EVERY 200-FEET AND AT EACH UTILITY MANHOLE OF INLET WITHIN THE PAVEMENT. THE LIMEROCK BASE THICKNESS SHALL BE DETERMINED FROM THE SITE DETAILS AND SPECIFICATIONS. THE TEST
- LOCATIONS WILL BE AT THE DISCRETION OF THE TESTING LAB OR THE CITY ENGINEER. SHELL BASE MATERIAL AND SOIL CEMENT IS NOT ALLOWED. THE MINIMUM COMPACTION RATE OF THE LIMEROCK BASE IF FLORIDA BEARING VALUE (FBV) 75 OR LIMEROCK BEARING RATION (LBR) 40. THE WEARING COURSE SHALL BE 1.1/2" MINIMUM THICKNESS, TYPE I, TYPE S-3 OR TYPE S-1 ASPHALTIC CONCRETE, AN EXTRACTION TEST IS REQUIRED ON THE ASPHALTIC CONCRETE WEARING COURSE. THE CITY ENGINEERING DEPT. MUST INSPECT THE IN-PLACE BASE SURFACE PRIOR
- TO THE CONTRACTOR PLACING THE WEARING COURSE. CORE BORINGS OF THE ASPHALTIC CONCRETE WEARING COURSE AND THE BASE MATERIAL ARE REQUIRED TO DETERMINE THE IN-PLACE THICKNESS AT SELECTED LOCATIONS BY THE CITY ENGINEER.
- THE ABOVE TESTS ARE TO BE PERFORMED BY A CERTIFIED TESTING LAB, AT THE EXPENSE OF THE DEVELOPER, AND ALL TEST RESULTS MUST BE SUBMITTED TO THE CITY ENGINEER, AS THEY BECOME AVAILABLE. ALL TEST RESULTS ARE REQUIRED TO BE SIGNED, SEALED AND DATED BY A

SANITARY SEWER NOTES)PRIVATE UTILITIES ONLY)

- 1. THE LOCAL UTILITY COMPANY SHALL BE GIVEN A MINIMUM OF 48 HOURS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY SANITARY SEWER CONSTRUCTION 2 ALL GRAVITY SANITARY SEWER MAIN LINES SHALL BE 8" DIAMETER MINIMUM COMMERCIAL SERVICE LATERALS WITH MULTIPLE CONNECTIONS
- SHALL BE GREEN 8" DIA. OR LARGER. ALL SINGLE FAMILY RESIDENTIAL SERVICE LATERALS SHALL BE 6" SINGLE. ALL GRAVITY SANITARY SEWER LINES SHALL BE GREEN PVC SDR 35, ASTM D-3034. IN PLACES WHERE A MINIMUM COVER OF 3.0' CANNOT BE MAINTAINED, AWWA C-900 OR C-905 GREEN PVC DR-25, CLASS 100 OR CONCRETE ENCASEMENT SHALL BE USED. WATER LINES, REUSE LINES, AND STORM DRAINAGE CROSSINGS SHALL ALSO FOLLOW THE CONCRETE ENCASEMENT REQUIREMENT PER THESE STANDARDS AND AS PER
- REGULATORY REQUIREMENTS.
- MINIMUM GRAVITY SANITARY SEWER SLOPES ARE AS FOLLOWS: 4" PIPE 1.00%
- 6" PIPE 0.65% 8" PIPE 0.40%
- 10" PIPE 0.30% 12" PIPE 0.22%
- OR OTHERWISE NOTED BY THE CITY ENGINEER GRAVITY SANITARY SEWER LINES SHALL BE INSTALLED WHENEVER POSSIBLE UNDER PAVED AREAS WITHIN PUBLIC RIGHTS-OF-WAY. UTILITY
- EASEMENTS SHALL BE PROVIDED WHENEVER PUBLICLY-OWNED SEWER LINES ARE CONSTRUCTED OUTSIDE OF A PUBLIC RIGHT-OF-WAY. 6. GRAVITY SANITARY SEWER LINE CONSTRUCTION SHALL BE ACCOMPLISHED BY THE USE OF A LASER INSTRUMENT UNLESS ANOTHER METHOD IS PREVIOUSLY APPROVED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR SHALL AT ALL TIMES, DURING PIPE LAYING OPERATIONS, DEWATER THE GROUND SUFFICIENTLY TO KEEP THE GROUNDWATER
- ELEVATION A MINIMUM OF 6" BELOW THE PIPE BEING LAID WITHIN THE AREA OF THE TRENCH. 8. ALL PIPES SHALL BE LAID ON A FIRM FOUNDATION. SOFT OR SPONGY BEDDING FOR PIPES IS NOT ACCEPTABLE. ANY UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH A DRY COMPACTED, GRANULAR MATERIAL SATISFACTORY TO THE LOCAL UTILITY COMPANY
- ON ALL EXCAVATION AND BACKFILLING THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING AND BRACING IN ORDER TO PROVIDE FOR THE
- SAFETY OF WORKMEN, AS WELL AS REPRESENTATIVES OF THE LOCAL UTILITY COMPANY, THE DESIGN ENGINEER AND THE DEVELOPER. ALL TRENCHES SHALL BE BACKFILLED WITH ACCEPTABLE MATERIAL AND COMPACTED TO THE SPECIFIED MINIMUM COMPACTION (95% IN UNPAVED AREAS AND 98% IN PAVED AREAS) OF THE OPTIMUM DENSITY OF THAT MATERIAL BASED ON THE AASHTO T-180 MODIFIED
- 11. THE CONTRACTOR SHALL INSTALL A #8 COPPER WIRE, OR SIMILAR DEVICE AS MAY BE APPROVED BY THE CITY FOR THE FULL LENGTH OF ALL PVC SEWAGE FORCE MAINS. THIS PIPE LOCATOR AID SHALL BE INSTALLED BETWEEN 15" AND 24" BELOW FINISHED GRADE OR AS DIRECTED BY THE MANUFACTURER. TAPE SHALL BE COLOR CODED GREEN FOR SANITARY SEWER AND FORCE MAIN.
- 12. STANDARD MANHOLES SHALL BE LOCATED AT INTERVALS NOT EXCEEDING 300 FEET, UNLESS OTHERWISE NOTED ON PLANS. MANHOLE RIMS SHALL MATCH FLUSH WITH THE FINISH GRADE ELEVATION IN PAVED AREAS AND A MINIMUM OF 0.2 FEET AND MAXIMUM OF 0.5 FEET ABOVE GRADE FOR UNPAVED AREAS.
- ALL SEWER LINES WHICH ARE CONSTRUCTED OUTSIDE OF PUBLIC RIGHT-OF-WAY WITHIN SIDE YARDS, BACKYARDS, AND OTHER POORLY ACCESSIBLE AREAS SHALL BE CONSTRUCTED OF DUCTILE IRON OR C-900 PVC. ABSOLUTELY NO USE OF PLASTIC STYRENE FITTINGS SHALL BE
- 15. SEWER LATERAL LOCATIONS SHALL BE MARKED ALONG THE OUTSIDE OF THE CURB WITH A SAW CUT "V" OR BY A METAL TAB SET INTO THE 16. EZ-WRAP PLASTIC, AS MANUFACTURED BY PRESS SEAL GASKET CORPORATION, SHALL BE USED ON THE OUTSIDE OF ALL MANHOLE AND WETWELL
- JOINTS. APPLY ONE LAYER OF 9" WRAP CENTERED ON EACH JOINT. A CITY INSPECTOR SHALL PERSONALLY INSPECT ALL JOINT SEALS PRIOR TO **BACKFILLING OPERATIONS**
- 17. ALL IN-LINE SANITARY SEWER FORCE MAIN VALVES SHALL BE FULL BORE PLUG VALVES. 18. WITH RESPECT TO TIE-IN CONNECTIONS AND CORING OPERATIONS, THE LOCAL UTILITY COMPANY RESERVES THE RIGHT TO REQUIRE CONNECTIONS TO BE PERFORMED DURING PERIODS OF LOW FLOW (MIDNIGHT TO 6:00 AM) IN ORDER TO MINIMIZE SERVICE DISRUPTION TO
- **EXISTING CUSTOMERS** 19. ALL WORK PERFORMED UPON SANITARY SEWER FACILITIES OWNED OR PROPOSED TO BE OWNED BY THE LOCAL UTILITY COMPANY SHALL BE CONSTRUCTED BY A LICENSED UNDERGROUND UTILITY CONTRACTOR OR LICENSED GENERAL CONTRACTOR WHO IS LICENSED IN THE STATE OF FLORIDA AND REGISTERED WITH THE CITY.

UPON CONSTRUCTION COMPLETION AND ACCEPTANCE OF THE SYSTEM, IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT

THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AS-BUILTS ARE PROVIDED TO THE LOCAL UTILITY COMPANY PRIOR TO ANY USE OF THE SYSTEM. ALL HDPE PIPE INSTALLED FOR SEWAGE FORCE MAINS SHALL BE SDR 11 UNLESS SPECIFICALLY NOTED OTHERWISE. THE HDPE PIPE SHALL BE SIZED TO MATCH THE EXTERNAL DIAMETER OF THE PVC OR DIP TO WHICH IT IS ATTACHED.

- 22. THE CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY AT HIS OWN EXPENSE TO INSURE THAT COMPACTION OF ALL FILL MATERIAL IS COMPLETED PROPERLY. TESTS SHALL BE DONE ONE FOOT ABOVE THE PIPE AND THEN AT ONE FOOT VERTICAL INTERVALS UNTIL FINAL GRADE IS REACHED. TESTING SHALL BE COMPLETED AND TEST DOCUMENTS SUBMITTED TO THE LOCAL UTILITY COMPANY AT A MINIMUM FREQUENCY OF ONE SET OF TESTS PER EACH 300 FOOT OF PIPING AND ONE ADDITIONAL SET OF TESTS AT EVERY MANHOLE. IDENTIFICATION OF TEST LOCATIONS SHALL BE CLEARLY INDICATED ON TEST REPORTS. TEST RESULTS SHALL BE FORWARDED PROMPTLY TO THE LOCAL UTILITY COMPANY DESIGNATED SITE INSPECTOR.
- 23. ALL TESTING REQUIRED BY THE LOCAL UTILITY COMPANY SHALL BE PAID FOR BY THE CONTRACTOR/DEVELOPER. THE LOCAL UTILITY COMPANY RESERVES THE RIGHT TO REQUIRE THE DEVELOPER TO PERFORM VACUUM TESTING OF ALL SANITARY MANHOLES AND TO AIR TEST SEWER MAINS.
- 25 ALL PROPOSED SEWER FORCE MAINS SHALL BE FLUSHED, PRESSURE TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY COMPANY DESIGNATED SITE INSPECTOR WHO SHALL COORDINATE THE THE LOCAL UTILITY COMPANY PERSONNEL AT THE WATER OR WASTEWATER TREATMENT PLANT (AS APPROPRIATE) AT LEAST 24 HOURS PRIOR TO BEGINNING A FULL DIAMETER FLUSH OF THE MAINS PRIOR TO THE COMMENCEMENT OF PRESSURE TESTING PRESSURE TESTING (SUBJECT TO AVAILABILITY). SANITARY SEWER FORCE MAINS SHALL BE PRESSURE TESTED TO 100 PSI FOR 2 HOURS.
- CONCRETE COLLARS SHALL NOT BE PERMITTED/PLACED AROUND SANITARY/STORM MANHOLES. CONTRACTOR SHALL PROVIDE AND COMPACT SUBBASE, BASE & ASPHALT ADJACENT

AS-BUILT DRAWING REQUIREMENTS

IN ORDER TO ENSURE THAT NEW SUBDIVISIONS AND SITE PLANS ARE CONSTRUCTED SUBSTANTIALLY IN ACCORDANCE WITH CITY REGULATIONS AND THE APPROVED DRAWINGS, THE FOLLOWING INFORMATION (WHERE APPLICABLE) IS REQUIRED ON ALL AS-BUILT DRAWINGS.

- PAVEMENT AND CURB WIDTHS SHALL BE VERIFIED AND DIMENSIONED FOR EACH STREET AT EACH BLOCK. (FOR SUBDIVISIONS) AND AS APPROPRIATE TO CONFIRM PAVING LIMITS (ON SITE PLANS). ALL RADII AT INTERSECTIONS SHALL BE VERIFIED AND DIMENSIONED. THIS INFORMATION IS TO BE CLEARLY INDICATED ON THE AS-BUILT
- ROADWAY ELEVATIONS SHALL BE RECORDED AT ALL GRADE CHANGES, 100' INTERVALS ALONG ROADWAY, AND OTHER INTERVALS AS NEEDE ALONG ALL STREETS. STREET CENTERLINE AND CURB INVERT ELEVATIONS SHALL BE RECORDED AS NOTED. THE AS-BUILT CENTERLINE PROFILE OF ALL STREETS SHALL ALSO BE SHOWN ON THE PLAN AND PROFILE SO IT MAY BE COMPARED TO THE DESIGN PROFILE GRADE LINES. IN THE EVENT THAT THE AS-BUILT CENTERLINE LONGITUDINAL GRADE DOES NOT MEET THE CITY MINIMUM STANDARDS. ADDITIONAL LONGITUDINAL GRADES OF THE ADJACENT CURBING AND SIMILAR ROADWAY CROSS-SECTION SURVEYS TO VERIFY THE CORRECT CROSS SLOPE, SHALL BE
- REQUIRED TO VERIFY THAT THE SYSTEM WILL FUNCTION AS ORIGINALLY DESIGNED. STORM DRAINAGE STRUCTURES SHALL BE LOCATED AND/OR DIMENSIONED FROM CENTERLINES OR LOT LINES AS APPROPRIATE. EACH STRUCTURE SHALL BE LOCATED BY SUB-METER GPS WITH LATITUDE, LONGITUDE AND ELEVATION DATA PROVIDED. STORM DRAINAGE PIPE INVERT AND INLET ELEVATIONS SHALL BE RECORDED AND CLEARLY DENOTED AS AS-BUILT INFORMATION. DESIGN
- ELEVATIONS SHALL BE CROSSED OUT AND AS-BUILT INFORMATION WRITTEN NEXT TO IT. STORM DRAINAGE PIPE MATERIAL, LENGTH, AND SIZE SHALL BE MEASURED AND/OR VERIFIED. THIS INFORMATION IS TO BE CLEARLY INDICATED AS AS-BUILT INFORMATION. ALL APPLICABLE TOPOGRAPHIC INFORMATION PERTINENT TO THE ON-SITE DRAINAGE SYSTEM, SUCH AS DITCHES, SWALES, LAKES, CANALS, ETC.
- THAT ARE DEEMED NECESSARY BY THE CITY TO VERIFY THE FUNCTIONAL PERFORMANCE OF THE STORMWATER SYSTEM, SHALL BE NOTED. NORMALLY, RECORDING ELEVATIONS EVERY 100 FEET AT THE TOP OF BANK AND TOE OF SLOPE WILL BE REQUIRED. RETENTION AREAS SHALL HAVE THEIR TOP-0F BANK AND BOTTOM ELEVATIONS RECORDED. ACTUAL MEASUREMENTS SHALL BE TAKEN AND DIMENSIONS RECORDED OF THE SIZE OF ALL RETENTION AREAS. MEASUREMENTS SHALL BE DONE FROM TOP-OF- BANK TO TOP-OF-BANK WITH SIDE SLOPES INDICATED. SEPARATE CALCULATIONS SHALL BE SUBMITTED TO INDICATE REQUIRED AND PROVIDED RETENTION VOLUMES.
- ACTUAL MATERIALS USED AND ELEVATIONS AND DIMENSIONS OF OVERFLOW WEIR STRUCTURES AND SKIMMERS SHALL BE NOTED ON THE STORM DRAINAGE SWALE CENTERLINES SHALL BE LOCATED AND ELEVATIONS OF FLOW LINE AND TOP OF BANK SHALL BE RECORDED EVERY 100 FEET. SIDE SLOPES SHALL ALSO BE INDICATED.
- SANITARY SEWER MANHOLES SHALL BE VERIFIED AND DIMENSIONED FROM STREET CENTERLINES OR LOT LINES AS APPROPRIATE. ALL RIM AND INVERT ELEVATIONS SHALL BE VERIFIED AND RECORDED. THIS INFORMATION SHALL BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION. DESIGN ELEVATIONS SHALL BE CROSSED OUT AND AS-BUILT INFORMATION WRITTEN NEXT TO IT FOR SUBDIVISIONS, PROPOSED DESIGN FINISHED FLOOR ELEVATIONS SHALL APPEAR ON ALL SUBDIVISION LOTS ON THE APPROPRIATE PLAN AND
- PROFILE SHEET AS WELL AS ON THE MASTER DRAINAGE PLAN. SANITARY SEWER LINE LENGTHS, SIZES, MATERIAL, ETC. SHALL BE VERIFIED AND RECORDED. THIS INFORMATION IS TO BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION.
- SEWER LATERALS SHALL BE VERIFIED AND RECORDED AT THEIR CLEAN-OUT LOCATIONS. STATIONING AND OFFSET DISTANCES SHALL BE MEASURED FROM DOWNSTREAM MANHOLES TOWARDS UPSTREAM. 15. LIFT STATIONS AND FORCE MAINS SHALL BE VERIFIED AND DIMENSIONED FROM STREET CENTERLINES OR LOT LINES AS APPROPRIATE. FORCE MAIN DEPTH AND LOCATION INCLUDING VALVES WILL BE PROVIDED AND TIED TO PERMANENT ABOVE GRADE FEATURES. DIMENSIONAL AND ELEVATION INFORMATION INDICATED ON THE APPROVED PLAN SHALL BE VERIFIED AND RECORDED. THIS INFORMATION SHALL BE CLEARLY

INDICATED AS BEING AS-BUILT INFORMATION. BURIED ELECTRICAL SERVICE LINE SHALL BE CLEARLY DIMENSIONED, LOCATED, AND LABELED

- EACH LIFT STATION SHALL BE LOCATED BY SUB-METER GPS WITH LATITUDE, LONGITUDE AND ELEVATION DATA PROVIDED. CURB CUTS OF METAL TABS, USED TO MARK SEWER LATERALS, WATER SERVICES AND WATER VALVES, SHALL BE VERIFIED FOR PRESENCE AND
- POTABLE AND RECLAIMED WATER MAIN LINES SHALL BE DIMENSIONED OFF THE BASELINE CONSTRUCTION. WATER MAIN LINE MATERIAL, SIZE LENGTH AND DEPTH PLACED SHALL BE NOTED. LOCATIONS OF VALVES SHALL ALSO BE TIED TO BASELINE CONSTRUCTION. THIS INFORMATION SHALL BE CLEARLY INDICATED AS BEING AS-BUILT INFORMATION. POTABLE AND RECLAIMED WATER VALVES, TEES, BENDS, ALL SERVICES, AND FIRE HYDRANTS SHALL BE LOCATED BY TYING THEM TO BASELINE
- CONSTRUCTION (STA. & OFFSET) SIMILARLY, FORCE MAIN VALVES, TEES AND BENDS SHALL BE LOCATED IN THE SAME MANNER. STATIONING AND OFFSET DISTANCES SHALL BE MEASURED FROM DOWNSTREAM MANHOLES TO UPSTREAM MANHOLES. ALL VALVES AND HYDRANTS SHALL BE LOCATED BY SUB-METER GPS WITH LATITUDE. LONGITUDE AND ELEVATION DATA PROVIDED. FOR PERPENDICULAR CROSSINGS OF STORMWATER, SANITARY SEWER, POTABLE WATER, OR RECLAIMED WATER, THE AS-BUILT PLANS SHALL CLEARLY INDICATE WHICH UTILITIES ARE LOCATED OVER OR UNDER OTHER UTILITIES, AS NECESSARY
- ANY SPECIAL FEATURES SUCH AS CONCRETE FLUMES, LAKE BANKS, WALLS, FENCING, ETC., WHICH WERE A PART OF THE APPROVED CONSTRUCTION DRAWING SHOULD ALSO BE LOCATED AND DIMENSIONED. IF AN APPROVED SUBDIVISION PLAT OR SITE PLAN SHOWS A CONSERVATION EASEMENT, THE PROJECT SURVEYOR SHOULD PROVIDE THE EXACT LOCATION OF THE SPECIMEN TREE(S) FROM THE RIGHT-OF-WAY OR PROPERTY LINES AND PROPOSED EASEMENT BOUNDARIES ON THE AS-BUILT
- DRAWING. THE AS-BUILT LOCATION OF THESE TREES WILL HELP VERIFY THE SUFFICIENCY OF THE CONSERVATION EASEMENT PRIOR TO PLAT WHEN STORMWATER, POTABLE WATER, RECLAIMED WATER, OR SANITARY SEWER IMPROVEMENTS ARE LOCATED WITHIN AN EASEMENT, THE AS-BUILT DRAWING SHALL ACCURATELY DEPICT THE LOCATION OF THE EASEMENT ITSELF AS WELL AS THE EXACT LOCATION OF THE IMPROVEMENTS WITHIN THE EASEMENT. THIS IS REQUIRED IN ORDER TO VERIFY THAT THE IMPROVEMENTS HAVE BEEN PROPERLY LOCATED AND TO ENSURE THAT FUTURE SUBSURFACE EXCAVATION TO PERFORM REMEDIAL REPAIR CAN BE ACCOMPLISHED WITHOUT DISTURBANCE BEYOND THE EASEMENT

- 1. THE NOTES ON THIS PAGE ARE GENERAL CONSTRUCTION NOTES ONLY AND DO NOT CONTAIN ALL CITY/COUNTY STANDARD CONSTRUCTION NOTES FOR WHICH THIS PROJECT IS LOCATED. REVIEW ALL PLANS FOR ANY ADDITIONAL CITY/COUNTY STANDARD
- 2. SEE SITE WORK SPECIFICATIONS FOR ADDITIONAL INFORMATION.

STORM DRAINAGE CONSTRUCTION NOTES

- ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION)
- ALL STORM SEWERS AND CULVERTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF CLASS III REINFORCED CONCRETE PIPE, OUTSIDE OF ROADWAY EASEMENTS AND R.O.W. PIPE MAY BE MADE OF ALTERNATE MATERIALS INCLUDING:
- a. SMOOTH INNER WALL HIGH DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH AASHTO M-294, AASHTO MP7, ASTM D3350 AND ASTM
- ALL STORM SEWER PIPE JOINTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE ENTIRELY WRAPPED WITH FILTER FABRIC WITH A MINIMUM WIDTH OF 42" AND A MINIMUM OF 24" OVERLAP SECURED WITH PLASTIC OR STAINLESS BANDS. GASKETS ARE NOT PERMITTED AS AN EQUIVALENT SUBSTITUTE FOR MEETING THIS REQUIREMENT. THIS PRACTICE IS ENCOURAGED ON PRIVATE SITES
- ADDITIONALLY. ALL JOINTS SHALL BE RUBBER GASKETED FOR BOTH ROUND AND ELLIPTICAL PIPE. DEPTH OF COVER MEASURED TO THE TOP OF PIPE (NOT INCLUDING THE BELL JOINT) SHALL BE A MINIMUM OF 1 FOOT. DEVIATION FROM THIS REQUIREMENT MAY BE ALLOWED BY INCREASING THE PIPE'S STRUCTURAL CAPACITY. THIS DEVIATION MUST BE SPECIFIED ON THE PLANS
- APPROVED FOR CONSTRUCTION AND SUBSEQUENTLY REFLECTED ON THE SHOP DRAWINGS AND AS-BUILT PLANS ALL STORM DRAINAGE PIPES LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF TWELVE INCH (12") DIAMETER OR EQUIVALENT. STORM DRAINAGE PIPES SMALLER THAN 15" ARE PERMITTED ON PRIVATE SITE PLANS PROVIDING THAT MAINTENANCE SHALL BE PERFORMED BY THE OWNER
- STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE EITHER POURED IN PLACE OR PRECAST REINFORCED CONCRETE. STRUCTURES SHALL BE REQUIRED AT EACH CHANGE OF PIPE SIZE OR CHANGE IN PIPE DIRECTION. ALL STRUCTURES SHALL BE IN COMPLIANCE WITH ASTM C-478 AND SHALL HAVE 8" THICK WALLS. 6" THICK WALLS MAY BE PERMITTED PROVIDING THAT THE PLANS SPECIFY INCREASED REINFORCEMENT IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 201 IN ADDITION THIS REQUIREMENT MUST BE REFLECTED ON BOTH THE SHOP DRAWING AND
- FOR CONNECTIONS BETWEEN INLETS WITH PIPING 15" IN DIAMETER AND LARGER, THE MAXIMUM DISTANCES BETWEEN INLETS AND/OR CLEAN-OUT JUNCTION BOXES SHALL BE 300 FEET, UNLESS OTHERWISE NOTED ON PLANS. CULVERTS SHALL BE SLOPED TO MAINTAIN A MINIMUM
- SELF-CLEANING VELOCITY OF 2.5 FEET PER SECOND USING A MANNING'S 'N' OF 0.012. SPACING FOR CLEAN-OUTS AND INLETS FOR SMALLER PIPING SHALL BE REDUCED AND EVALUATED ON A CASE BY CASE BASIS. ALL SWALES AND DITCHES SHALL HAVE A MAXIMUM PERMITTED SIDE SLOPE NOT GREATER THAN 3:1 AT MINIMUM. THE MAXIMUM PERMITTED
- BACKSLOPE SHALL BE 3:1 PROVIDED THAT A 2' WIDE BERM IS INSTALLED. DESIGN CENTERLINE AND TOP-OF-BANK ELEVATIONS SHALL BE NOTED AT INTERVALS OF 100'. PIPED STORMWATER SYSTEMS SHALL HAVE A MINIMUM DRAINAGE MAINTENANCE EASEMENT WIDTH OF 20 FEET, AND MAY BE INCREASED
- DEPENDING UPON THE SIZE AND DEPTH OF PIPE. CONCRETE EROSION CONTROL MUST BE PROVIDED WHERE SWALES OR CULVERTS INTERCEPT DRAINAGE DITCHES. SOIL EROSION CONTROL MEASURES, SATISFACTORY TO THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND THE CITY, SHALL BE
- EMPLOYED DURING CONSTRUCTION. ADEQUATE MAINTENANCE EASEMENTS OR RIGHTS-OF-WAY AS APPROVED BY THE CITY SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF ALL LAKES AND ASSOCIATED OUTFALLS DISCHARGING INTO AND OUT OF LAKES. APPLICABLE CROSS SECTIONS SHALL BE INCLUDED ON ALL FINAL
- IN GENERAL, ALL RETENTION / DETENTION SITES MUST BE CONSTRUCTED ON ALL PROJECTS PRIOR TO ANY ROAD, PARKING LOT, OR BUILDING CONSTRUCTION COMMENCING OR AS CURRENT PERMIT CONDITIONS DICTATE. SEWER AND WATER MAINS MAY BE INSTALLED PRIOR TO RETENTION/ DETENTION SITE CONSTRUCTION IF DEWATERING IS NOT REQUIRED.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY AND ALL DEWATERING PERMITS THAT MAY BE REQUIRED. 14 WHEN CUI VERTS ARE INSTALLED TO MAINTAIN THE FLOW OF EXISTING DRAINAGE WAYS WHERE NEWLY PROPOSED ROADS WOULD OTHERWISE SEVER THE DRAINAGE WAY THEN CUI VERTS CROSSING RIGHTS-OF-WAY SHALL EXTEND FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE LINDER THE ROADWAY. CULVERTS SHALL BE DESIGNED TO ACCOMMODATE THE FLOW FROM THE 100 YEAR - 24 HOUR STORM EVENT WITHOUT FLOODING
- AD IACENT PROPERTY OR SURCHARGING THE SAID ROADWAY IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND MAINTAIN A COPY OF THE SJRWMD PERMIT AT THE CONSTRUCTION SITE. AND ABIDE BY ALL CONDITIONS OF THE PERMIT

POTABLE WATER/SANITARY SEWER MAINS SEPARATION NOTES (PRIVATE LINES ONLY)

- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER, THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSE GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE, HOWEVER, IT IS
- PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER. AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER.

FOR ALL UTILITIES WITHIN A PUBLIC R.O.W., SEE ST JOHNS COUNTY UTILITY GENERAL NOTES, SHEET GN-1

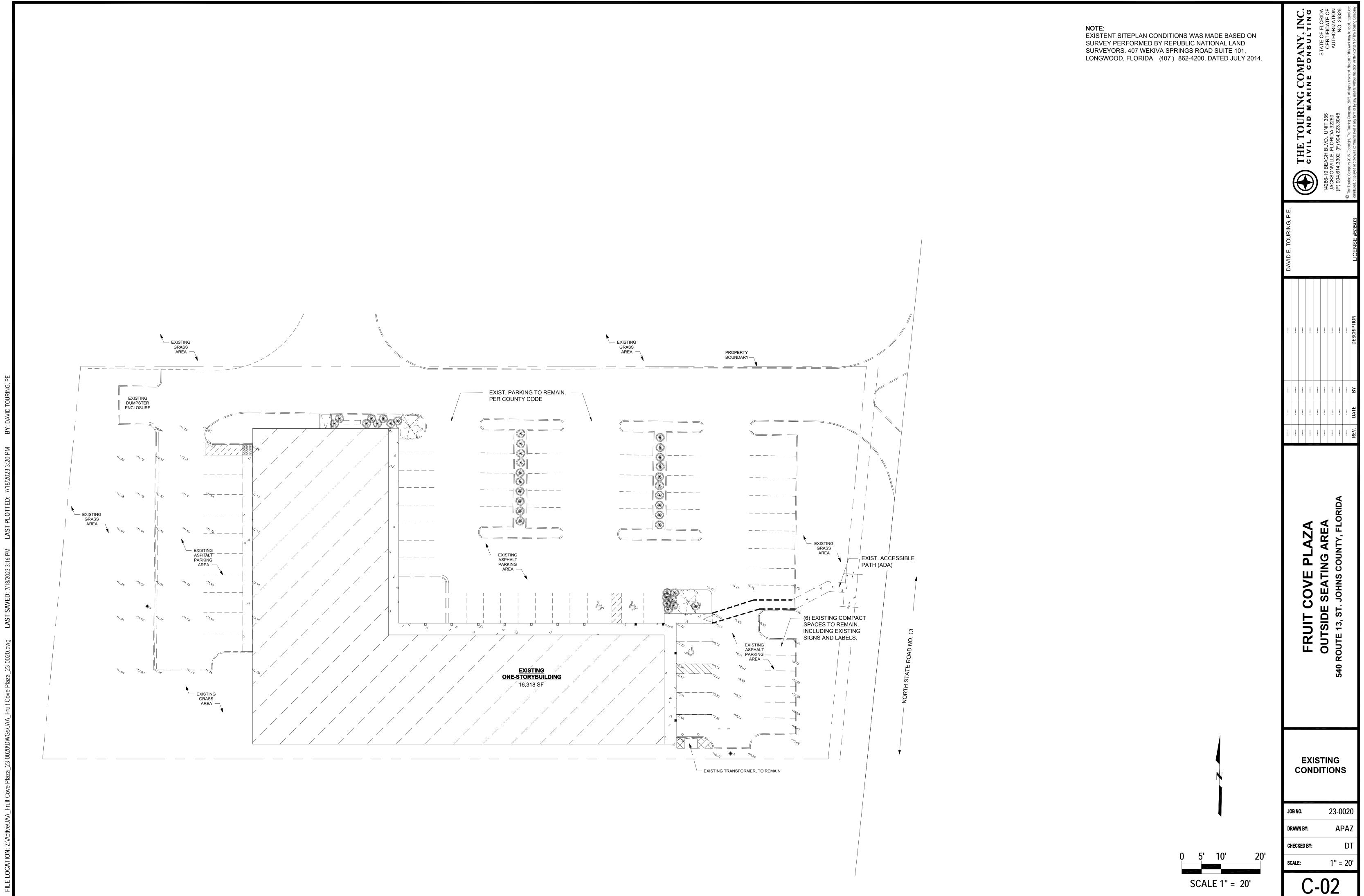
16. COMPACTING FOR BACKFILL SHALL COMPLY WITH FDOT SPECIFICATIONS.

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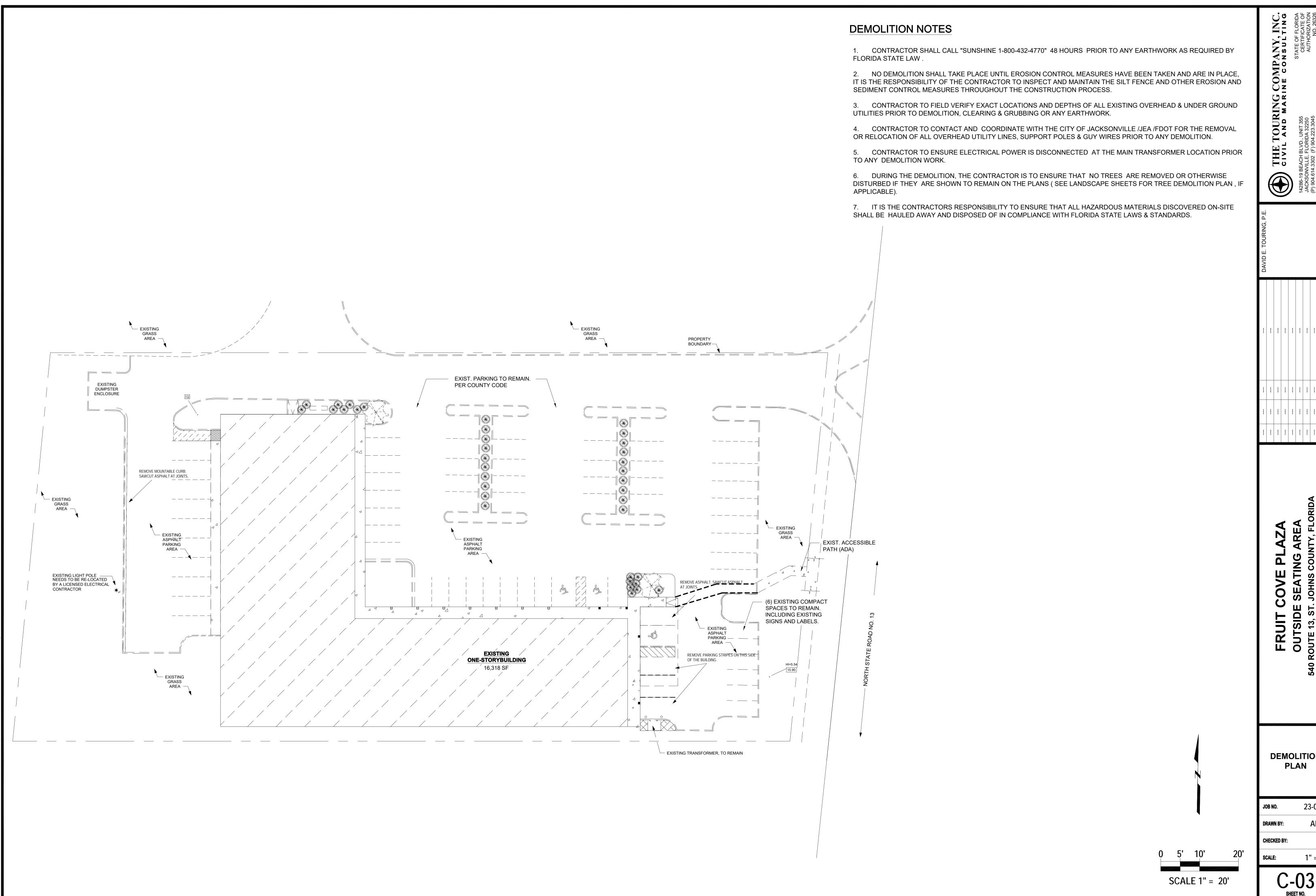
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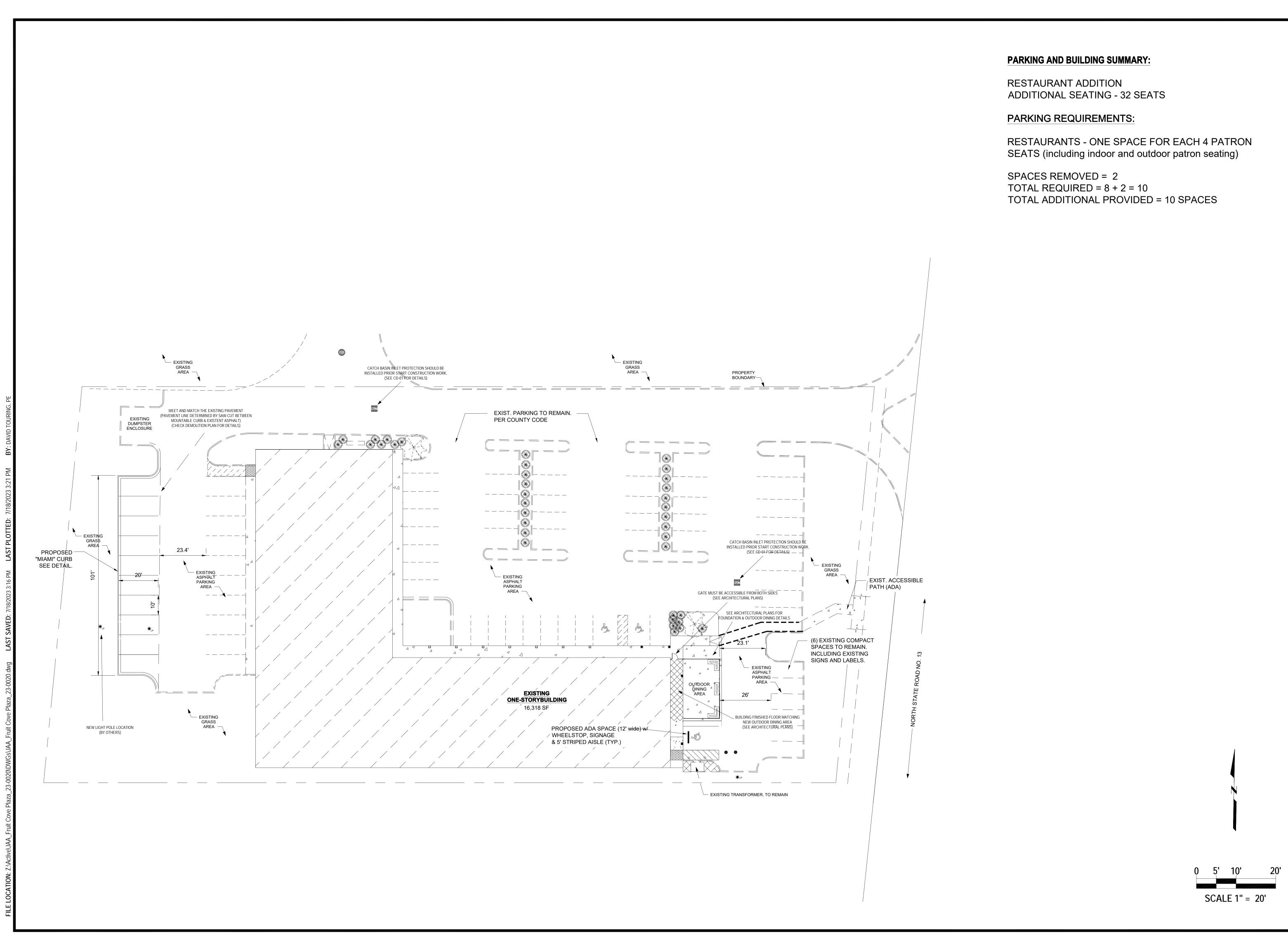


C-02
SHEET NO.



DEMOLITION PLAN

23-0020



FRUIT COVE PLAZA

OUTSIDE SEATING AREA

ROUTE 13, ST. JOHNS COUNTY, FLORIDA

THE TOURING COMPANY, INC.

CIVIL AND MARINE CONSULTING

STATE OF FLORIDA

STATE OF FLORIDA

CERTIFICATE OF
AUTHORIZATION

NO. 26326

SITE GEOMETRY & LAYOUT PLAN

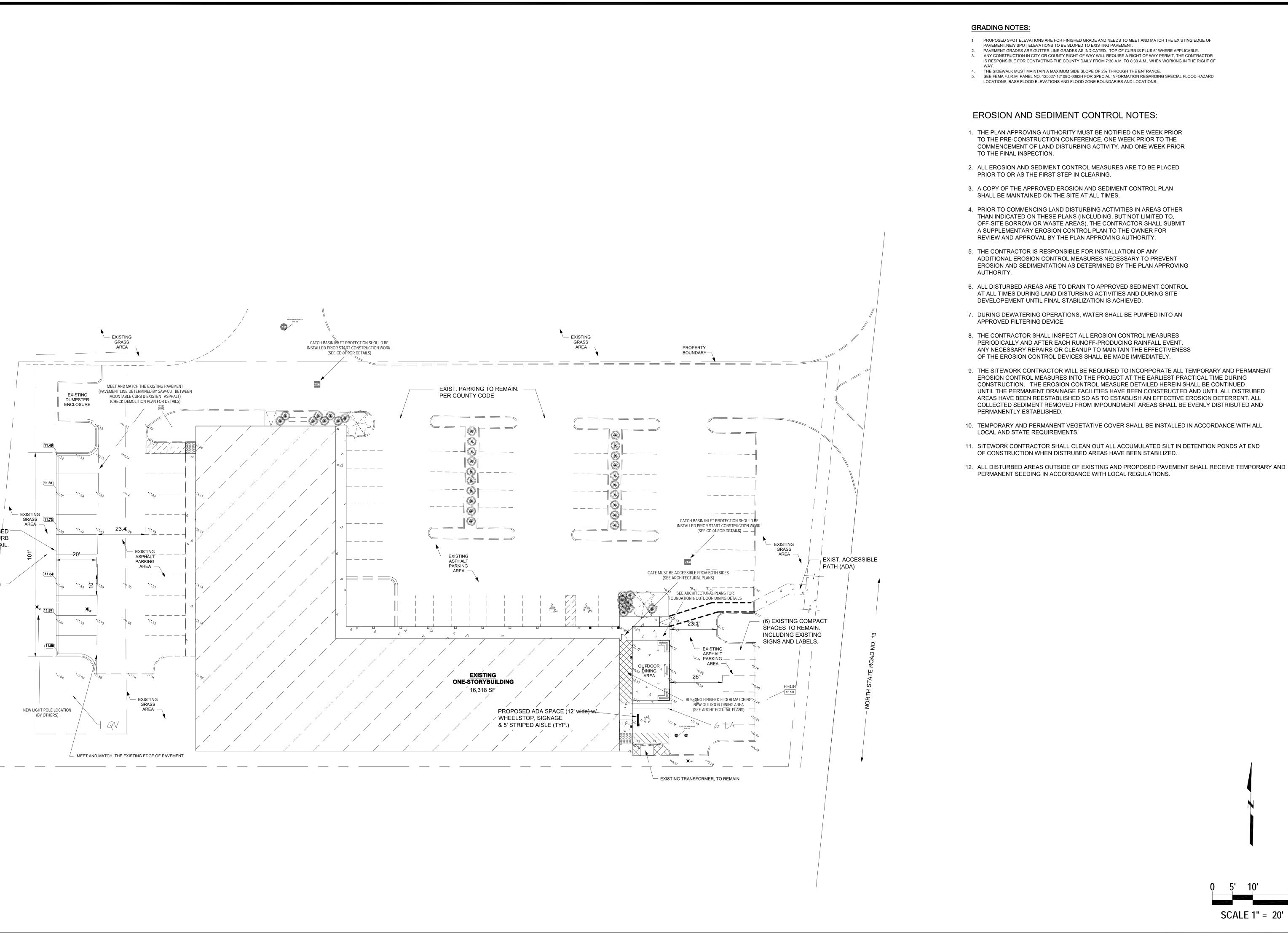
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DRAWN BY: APAZ

CHECKED BY: DT

SCALE: 1" = 20'

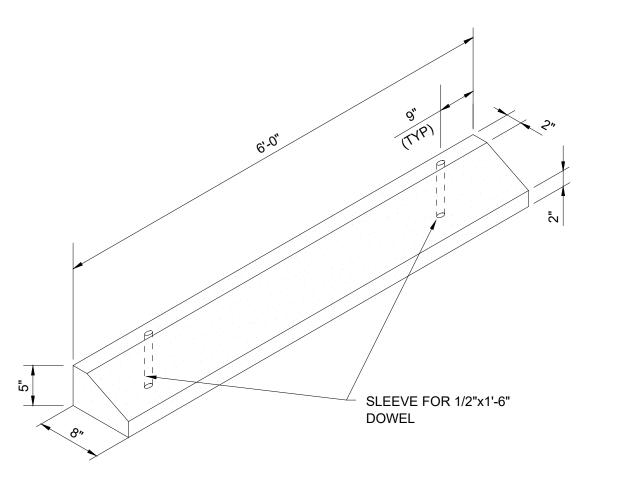
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STATE OF I CERTIFIC AUTHOR MP

GRADING PLAN

23-0020 JOB NO. **CHECKED BY:**



WHEELSTOP DETAIL

 WHEN USED ON HIGH SIDE OF PAVEMENT THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON THE PLANS. SEE SPECIFICATIONS FOR CONCRETE TYPE AND STRENGTH REQUIREMENTS.

NOTES:

MOUNTABLE (MIAMI) CURB

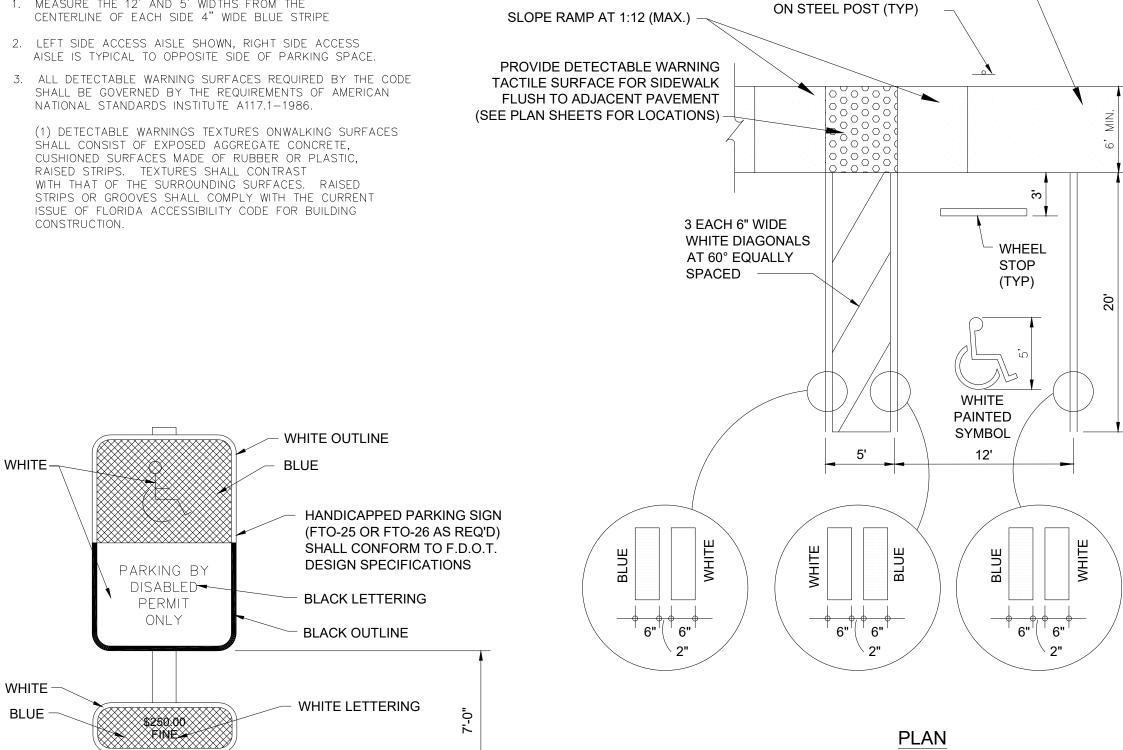
HANDICAPPED SIGN

CONCRETE SIDEWALK -

SECTION

- 1. MEASURE THE 12' AND 5' WIDTHS FROM THE
- 3. ALL DETECTABLE WARNING SURFACES REQUIRED BY THE CODE SHALL BE GOVERNED BY THE REQUIREMENTS OF AMERICAN NATIONAL STANDARDS INSTITUTE A117.1—1986.

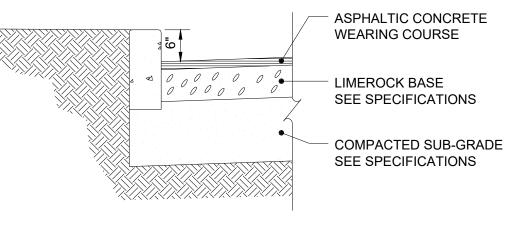
(1) DETECTABLE WARNINGS TEXTURES ONWALKING SURFACES SHALL CONSIST OF EXPOSED AGGREGATE CONCRETE, RAISED STRIPS. TEXTURES SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACES. RAISED STRIPS OR GROOVES SHALL COMPLY WITH THE CURRENT ISSUE OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.



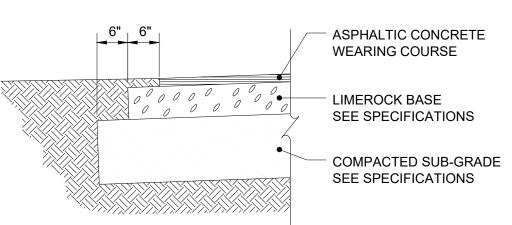
SIGN DETAIL

FINISH GRADE

A.D.A. PARKING SPACE



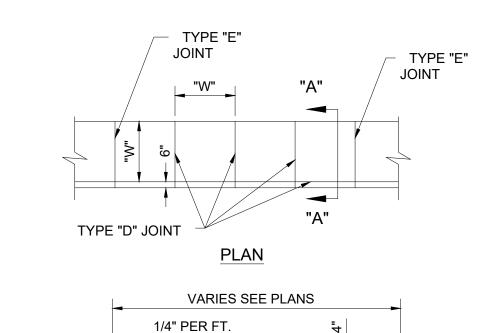
HEADER CURB OR CURB AND GUTTER

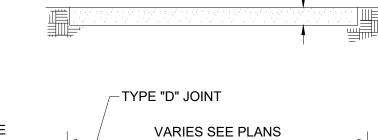


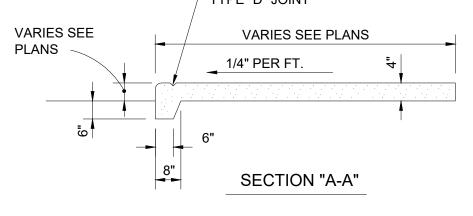
NO CURBING

PAVEMENT STRUCTURE THICKNESS TABLE					
TYPE	SUB-GRADE	BASE	WEARING COURSE		
AUTO PAVEMENT	12"	6"	1 1/2"		
TRUCK PAVEMENT	12"	8"	2"		
R/W PAVEMENT	12"	6"	1 1/2"		

ASPHALT PAVEMENT







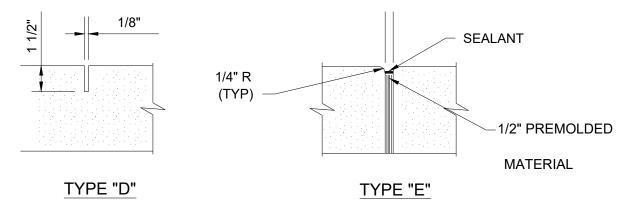
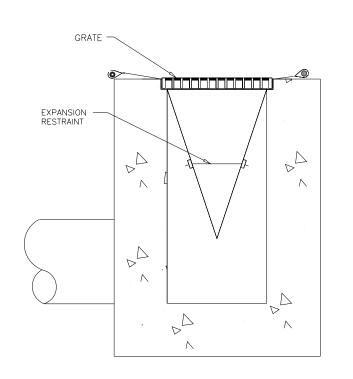


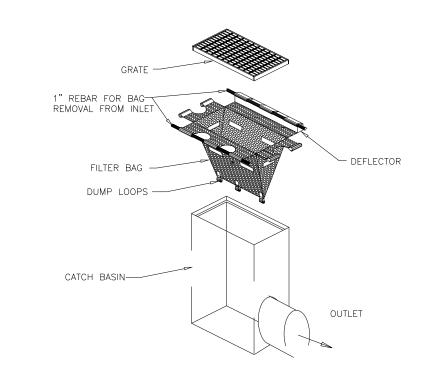
TABLE OF SIDEWALK JOINTS						
TYPE LOCATION						
"D"	TRANSVERSE JOINT AT INTERVALS EQUAL TO THE SIDEWALK WIDTH EXCEPT EVERY FOURTH JOINT WHICH IS A TYPE "E" JOINT.					
"E"	EVERY FOURTH TRANSVERSE JOINT, P.C AND P.T. OF CURVES, ABRUPT CHANGES IN DIRECTION, AND WHERE NEW SIDEWALK ABUTS EXISTING SIDEWALK OR OTHER EXIST. CONCRETE SURFACE STRUCTURES.					

NOTE: TYPE "D" JOINT MAY BE EITHER TOOLED IN WET CONCRETE OR SAWCUT WITHIN 18 HOURS OF PLACEMENT OF CONCRETE.

SIDEWALK







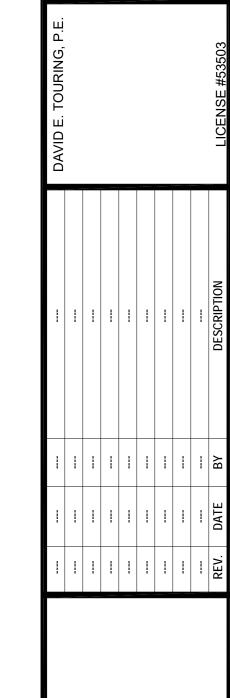
SECTION

INSTALLATION

<u>NOTES</u>

- 1. INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK. 2. FILTER TYPES SHALL BE APPROVED BY THE INSPECTOR PRIOR
- TO INSTALLATION.
- 3. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
- 4. FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE.
- 5. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
- FILTER BAGS SHALL NOT BE ALLOWED IN EXISTING TOWN OR NCDOT

CATCH BASIN **INLET PROTECTION**



CONSULTING
STATE OF FLORIDA
CERTIFICATE OF
AUTHORIZATION
NO. 26326

SITE **DETAILS PLAN**

23-0020 JOB NO. **APAZ** DRAWN BY: **CHECKED BY:** SCALE:

CD-01

LANDSCAPE CALCULATIONS

REQUIRED LANDSCAPE, INTERIOR VUA NEW VUA: 200 SF.

PROVIDED: 20+ SF. TREES: | TREE

SHRUBS: |0| FT @ 25% = 26 SF 26 SF @ 3 SF/SHRUB = 9 SHRUBS

TREES: | TREE

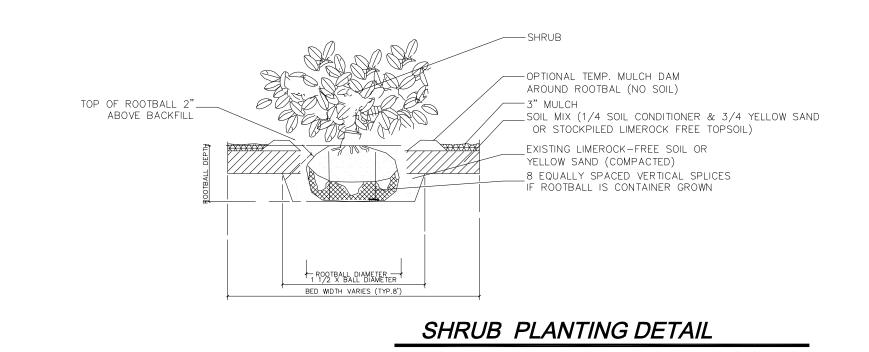
REQUIRED: 20 SF.

MITIGATION CALCULATIONS

TOTAL TREES TO BE REMOVED = 0" TREES TO BE REPLACED AT 1:1 TOTAL TREES (INCHES) TO BE PROVIDED = 0" TOTALS: TOTAL TREES REQUIRED: 21 TREES (66 INCHES) TOTAL TREES PROVIDED: 21 TREES (66 INCHES) TOTAL SHRUBS REQUIRED: 35 SHRUBS

TOTAL SHRUBS PROVIDED: 35 SHRUBS

SHRUB CREDITS: 27 SHRUBS TO REMAIN



3/4" STRAP THROUGH 3/4" WIRE___ CINCH BUCKLE TÉNSIONED TIGHT OVER 2X4 WOOD BOARD (LENGTH EQUAL TO ROOTBALL DIAMETER) TOP OF ROOTBALL 2"____ ABOVE BACKFILL 3/4" WIDE POLYESTER STRAP WITH BLACK PLASTIC OR METAL TOGGLE - 2 OR 4 PER TREE (ANCHOR SYSTEM 2)

WATER BAG IF NO AUTOMATIC IRRIGATION IF B&B, REMOVE TOP 1/2 OF BURLAP & WIRE CAGE & ALL NYLON STRING, STRAPS, & PLASTIC WRAP ----WOOD SCREW

AROUND ROOTBAL (NO SOIL) ___SOIL MIX (1/4 SOIL CONDITIONER & 3/4 YELLOW SAND

OR STOCKPILED LIMEROCK FREE TOPSOIL)

__EXISTING LIMEROCK-FREE SOIL OR YELLOW SAND (COMPACTED) __8 EQUALLY SPACED VERTICAL SPLICES
IF ROOTBALL IS CONTAINER GROWN ___2 - 2X2 PINE OR STEEL U-CHANNEL FENCE POST ANCHOR STAKE (ONE ON EACH SIDE OF

ROOTBALL (ANCHOR SYSTEM 1)

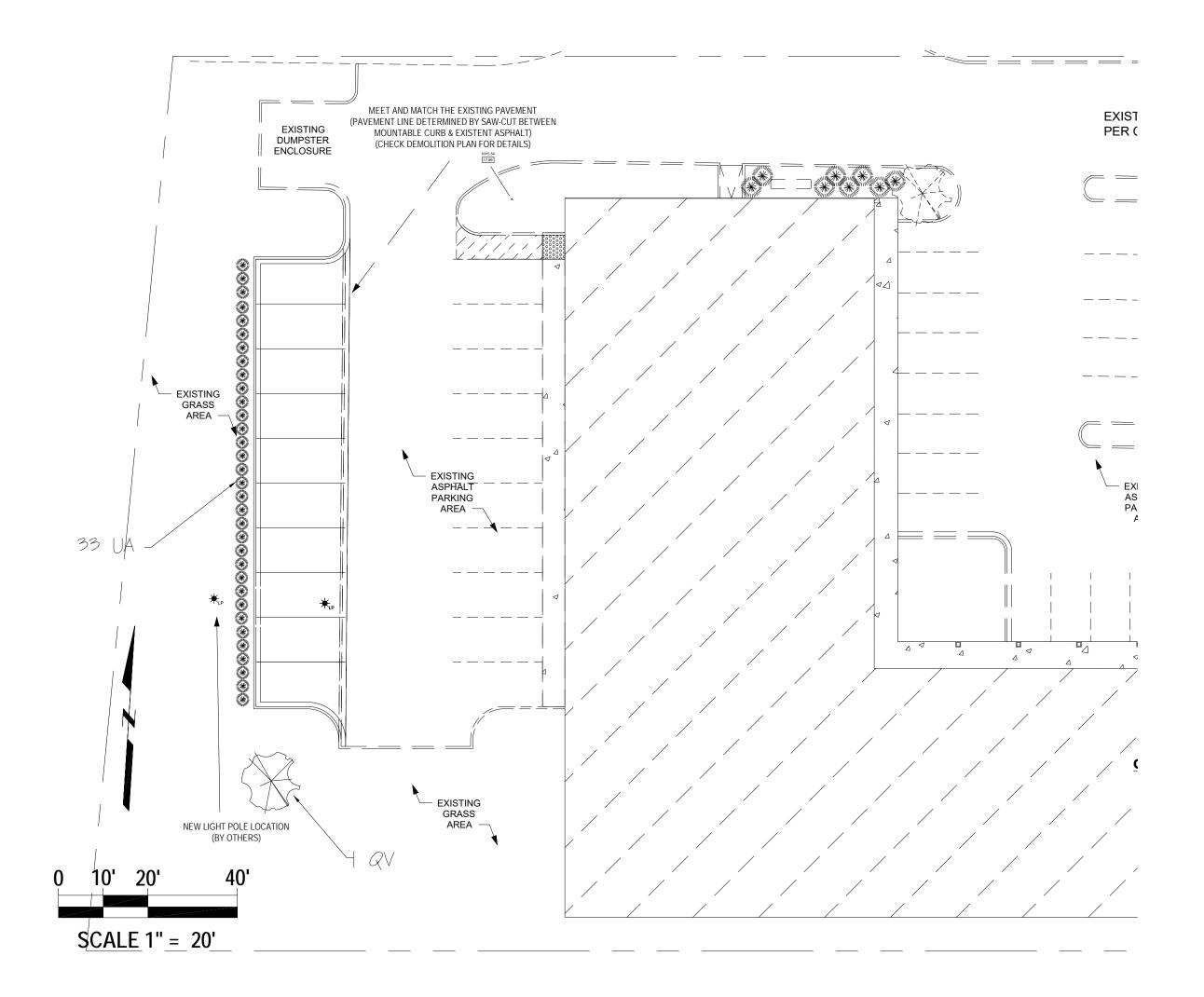
TREE PLANTING DETAIL

IRRIGATION PROVIDED BY EXISTING SYSTEM. NO ADDITIONAL IRRIGATION IS PROPOSED.

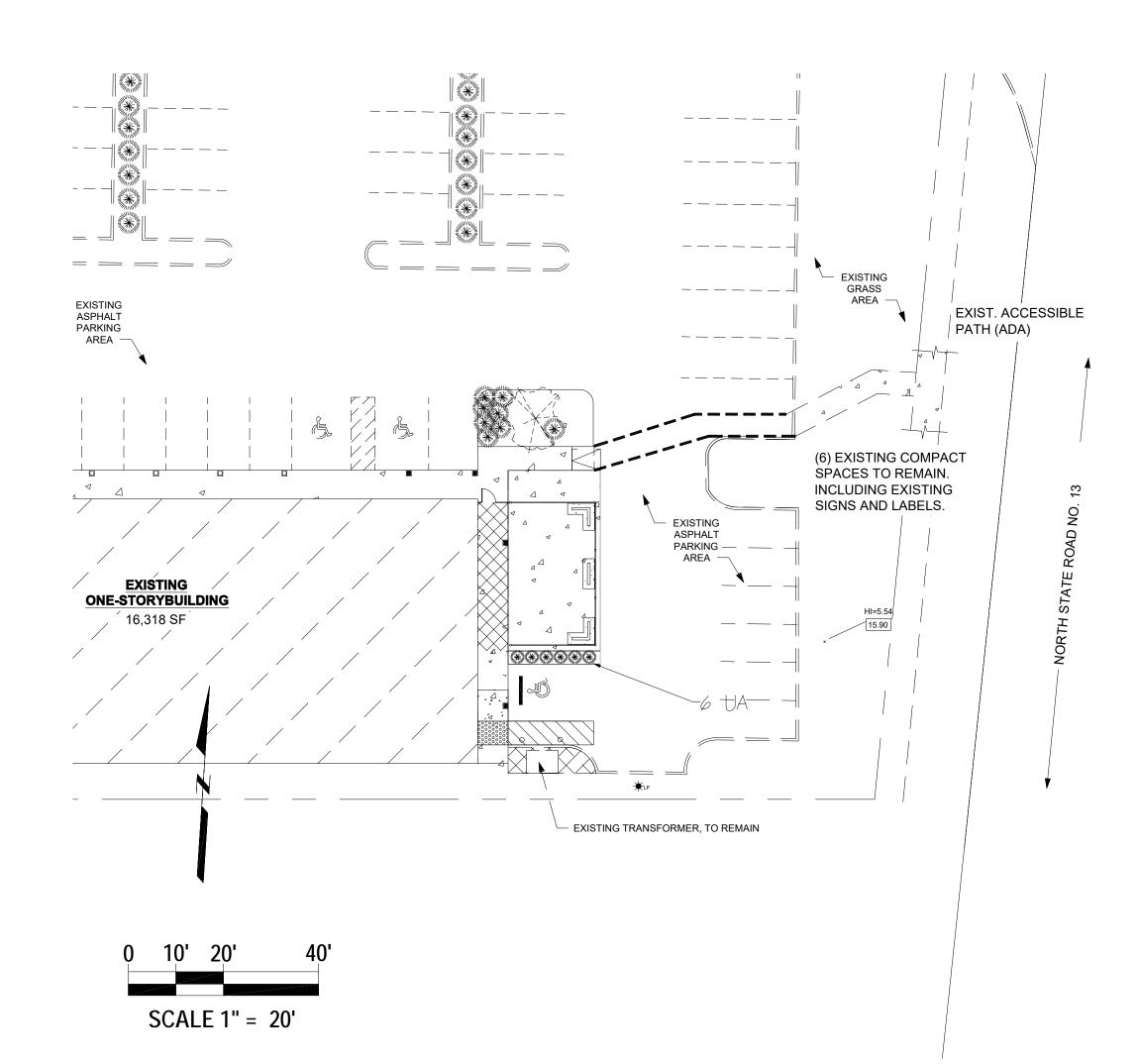
PLANT LIST

QTY SYM	DESCRIPTION DESCRIPTION	SIZE	SPACING	* NOTES	INCHES
& QV	QUERCUS VIRGINIANA "CATHEDRAL LIVE OAK"	14'-16' x 7-9', 4" CAL., 6' CT, MATCHED	AS SHOWN	N, FYN, FF, WW	48
39 🕷 UA	DWARF WALTER'S VIBURNUM / VIRBURNUM OBOVATUM	18"ht. x 18" SPD. MINIMUL FULL 4 DENSE	3' O.C.	N, FYN, FF, WW	8

*PLANT LIST LEGEND: N-NATIVE, FYN- FLORIDA YARDS & NEIGHBORHOODS 2006, FF- FLORIDA FRIENDLY, WW- WATER WISE 2008, OHE - JEA OVERHEAD ELECTRIC (ACCEPTABLE PLANT LIST)



LANDSCAPE AND IRRIGATION PLAN



LANDSCAPE AND IRRIGATION PLAN

#

COMPANY, INC.
INE CONSULTING
STATE OF FLORIDA
CERTIFICATE OF
AUTHORIZATION
NO. 26326

TOURING

LANDSCAPE IRRIGATION

AS SHOW

LI-01



ORDER ST. JOHNS COUNTY, FLORIDA PLANNING AND ZONING AGENCY

RE: Bella Vista

540 State Road 13 N

Suite 10

St. Johns, FL 32259

FILE NUMBER: SUPMAJ 2023-10

<u>LEGAL:</u> Exhibit A

PARCEL ID: 005145-0000

DATE OF HEARING: October 5, 2023

ORDER DENYING SPECIAL USE APPROVAL

The above referenced application for a Special Use Permit to allow on-site sales and consumption of alcoholic beverages pursuant to Section 2.03.02 of the Land Development Code, and to allow Outdoor Seating on a property zoned for commercial uses that is located within a Residential Future Land Use Map (FLUM) designation pursuant to Section 2.04.05.B, specifically located at 540 State Road 13 N., came before the Planning & Zoning Agency for public hearing on October 5, 2023.

FINDINGS OF FACT

Having considered the application, along with supporting documents; the Staff report prepared by staff; statements by the applicant; and all evidence presented during public hearing, the Agency finds as follows:

- 1. The Special Use cannot be granted without substantial detriment to the public good and will substantially impair the intent and purpose of the St. Johns County Comprehensive Plan or Land Development Code.
- 2. The Use is not compatible with the contiguous and surrounding area and will impose an excessive burden or have a substantial negative impact on surrounding or adjacent uses or on community facilities or services.
- 3. The use, which is listed as a Special Use in the Commercial General (CG) zoning district does not comply with all required regulations and standards of Article II of the Land Development Code.

Date Filed

- 4. The request is not in compliance with Section 2.03.01.A, Section 2.03.02, and Article XII of the Land Development Code.
- 5. The request is in conflict with the Future Land Use Map designation of Residential-B.
- 6. The allowance for the on-site sale and consumption of alcoholic beverages, consistent with a State of Florida Type 2COP license in conjunction with a proposed restaurant at this location, does not promote the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity, or the general welfare of the residents of the area.
- 7. The requested Use is in conflict with the development patterns of the area.

NOW THEREFORE, based on the said Findings of Fact, the Agency hereby denies the Special Use Permit to allow on-site sales and consumption of alcoholic beverages under the regulation of the State of Florida Type 2COP license in conjunction with a proposed restaurant located within Commercial General (CG) zoning and pursuant to Land Development Code Section 2.03.02, specifically located at 540 State Road 13 N.

This decision may be appealed to the St. Johns County Board of County Commissioners within thirty (30) days of the signing of this Order, pursuant to Section 9.07.03 of the Land Development Code.

Deed Restrictions, if	any, are not affected by the a	actions of the Agency or this Order.	
DATED THIS	DAY OF	, 2023.	
PLANNING AND ZO	ONING AGENCY OF ST. JO	DHNS COUNTY FLORIDA	
Chair/Vice-Chair		_	
Order of the Planning	g and Zoning Agency is a tru	g Agency of St. Johns County, Florida certifies that the and correct rendition of the Order adopted by said and Zoning Agency minutes.	
Clerk Growth Management	t Department	_	
		_	